

## Application for listed building consent for alterations, extension or demolition of a listed building Planning (Listed Buildings and Conservation Areas Act) 1990

### Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website.

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application

### 1. Applicant Name and Address

Title: **MR** First name: **CARL DAVID**  
Last name: **JUBB**  
Company (optional): **-**  
Unit: **-** House number: **20** House suffix: **-**  
House name: **-**  
Address 1: **CHURCH STREET**  
Address 2: **-**  
Address 3: **-**  
Town: **PRITCHETT**  
County: **LANCASHIRE**  
Country: **-**  
Postcode: **PR3 3XP**

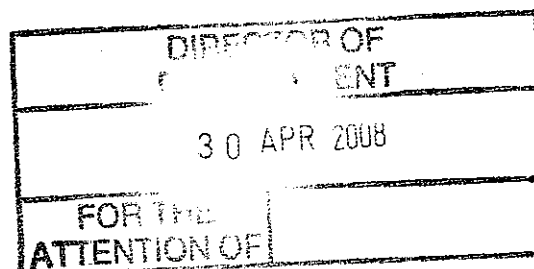
### 2. Agent Name and Address

Title: **-** First name: **-**  
Last name: **-**  
Company (optional): **-**  
Unit: **-** House number: **-** House suffix: **-**  
House name: **-**  
Address 1: **-**  
Address 2: **-**  
Address 3: **-**  
Town: **-**  
County: **-**  
Country: **-**  
Postcode: **-**

### 3. Description of Proposed Work

Please describe the proposals to alter, extend or demolish the listed building(s):

**INTERNAL ALTERATIONS TO AMEND LAYOUT OF STAIRS  
NEW KITCHEN / DINER EXTENSION**



## Description of Proposed Work (continued)

Has the work already started without consent?

☐ Yes ☒ No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work been completed without consent?

☐ Yes ☒ No

If Yes, please state the date when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

## 4. Site Address Details

Please provide the full postal address of the application site

Unit:  House number:  House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

Description of location or a grid reference (must be completed if postcode is not known):

Easting:  Northing:

Description:

## 5. Related Proposals

Are there any current applications, previous proposals or demolitions for the site?

☒ Yes ☐ No

If Yes please describe and include the planning application reference number(s), if known:

Description	Reference number
PLANNING APP	3/2007/1132
LB CONSENT	3/2007/1133
PLANNING APP	3/2008/0245
L.B. CONSENT APP	3/2008/0246

## 6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☒ Yes ☐ No

If Yes, please complete the following information about the advice you were given (This will help the authority to deal with this application more efficiently).

Please tick if the full contact details are not known, and then complete as much as possible: ☐

Officer name:

Reference:

Date (DD/MM/YYYY): (must be pre-application submission)

Details of pre-application advice received?

## 7. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal?

☒ Yes ☐ No

If Yes, please provide details:

ADJACENT OWNERS  
LOCAL HISTORY SOCIETY  
PARISH COUNCIL CLERK  
COUNCILLOR IAN SAYERS

## 8. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council?

☐ Yes ☒ No

If Yes, please provide details:

## Materials

Use provide a description of existing and proposed materials and finishes to be used in the building (demolition excluded):

	Existing (where applicable)	Proposed	Not applicable	Don't Know
External walls	DRESSED SANDSTONE / PUBBLE SANDSTONE	AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Roof covering	WENSH RIVEN SLATES	"	<input type="checkbox"/>	<input type="checkbox"/>
Chimney	BRICK / TERRACOTTA POTS	"	<input type="checkbox"/>	<input type="checkbox"/>
Windows	PAINTED SG TIMBER	AS EXISTING - NEW PATTERN TO FRONT METAL + TIMBER DG TO REAR	<input type="checkbox"/>	<input type="checkbox"/>
External doors	PAINTED G SG TIMBER	MATERIALS AS EXISTING - NEW PATTERN DG. PAINTED S.W TO REAR	<input type="checkbox"/>	<input type="checkbox"/>
Ceilings	LATH + PLASTER 60% PLASTER BOARD 40%	AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Internal walls	LOAD-BEARING - MASONRY NON " - TIMBER STUD W/ P BOARD	AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Floors	GIF = SOLID IIF = TIMBER	AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Internal doors	PLY FACED - 4N. L+B P.S.W - 1N.	AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Rainwater goods	UPJC / 4 CAST IRON	CAST IRON	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)	FENCES WALLS HEDGES	AS EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard standing	N/A		<input type="checkbox"/>	<input type="checkbox"/>
Lighting	N/A		<input type="checkbox"/>	<input type="checkbox"/>
Others (add description)	.		<input type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted drawings or plans?  
If Yes, please state plan(s)/drawing(s) references:

☒ Yes

☐ No

SEE DWG ISSUES SHEET

~~FOR~~ PWS DESIGN & ACCESS STATEMENT - REVA MARCH 08

**Demolition**

Does the proposal include the partial or total demolition of a listed building?

☐ Yes ☒ No

If Yes, which of the following does the proposal involve?

- a) Total demolition of the listed building: ☐ Yes ☒ No
- b) Demolition of a building within the curtilage of the listed building: ☐ Yes ☒ No
- c) Demolition of a part of the listed building: ☐ Yes ☒ No

If the answer to c) is Yes:

i) What is the total volume of the listed building?(cubic metres)	
ii) What is the volume of the part to be demolished?(cubic metres)	
iii) What was the (approximate) date of the erection of the part to be removed? (MM/YYYY) (date must be pre-application submission)	

Please provide a brief description of the building or part of the building you are proposing to demolish:

Why is it necessary to demolish or extend (as applicable) all or part of the building(s) and or structure(s)?

TO PUT THE BUILDING BACK INTO HABITABLE CONDITION & OCCUPATION AS FAMILY HOME

**11. Listed Building Alterations**

Do the proposed works include alterations to a listed building?

☒ Yes ☐ No

If Yes, do the proposed works include: (you must answer each of the questions)

- a) Works to the interior of the building? ☒ Yes ☐ No
- b) Works to the exterior of the building? ☒ Yes ☐ No
- c) Works to any structure or object fixed to the property (or buildings within its curtilage internally or externally)? ☐ Yes ☐ No
- d) Stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)? ☒ Yes ☐ No

If the answer to any of these questions is Yes, please provide plans, drawings, photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support and state references for the plan(s)/drawing(s):

**12. Listed Building Grading**

Please state the grading (if known) of the building in the list of Buildings of Special Architectural or Historic interest? (Note: only one box must be ticked)

Grade I ☐ Ecclesiastical Grade II ☐

Grade II ☒ Ecclesiastical Grade II\* ☐

Grade II\* ☐ Don't know ☐

Ecclesiastical Grade I ☐

**13. Immunity From Listing**

Has a Certificate of Immunity from Listing been sought in respect of this building?

☐ Yes ☒ No ☐ Don't know

If Yes, please provide the result of the application:

## certificates

One Certificate A, B, C, or D, must be completed with this application form

### CERTIFICATE OF OWNERSHIP - CERTIFICATE A

**Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

29/4/08

### CERTIFICATE OF OWNERSHIP - CERTIFICATE B

**Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that I have/ the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates

Name of Owner	Address	Date Notice Served
N/A		
A		

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

### CERTIFICATE OF OWNERSHIP - CERTIFICATE C

**Certificate under Article 7 of the Town and Country Planning (General Development Procedure) Order 1995 & Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that:

§ Neither Certificate A or B can be issued for this application

§ All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so

The steps taken were:

--

Name of Owner	Address	Date Notice Served
N/A		

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

## Certificates (continued)

## CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

certify/ The applicant certifies that:

§ Certificate A cannot be issued for this application

§ All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so

The steps taken were:

N A

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

## 15. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

3 copies of a completed and dated application form:



3 copies of other plans and drawings or information necessary to describe the subject of the application:



3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:



3 copies of the completed, dated Ownership Certificate (A, B, C, or D - as applicable):



## 16. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

29/4/08

(date cannot be pre-application)

## 17. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

julbb.jubb@virgin.net

## 18. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

## 19. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☐ Yes

☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ Agent

☒ Applicant

☐ Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

Contact name:

CARL JUBB

Telephone number:

01254 820842

Email address:

**DESIGN AND ACCESSSS STATEMENT  
TO SUPPORT  
PLANNING APPLICATION  
LISTED BUILDING CONSENT APPLICATION**

IN RESPECT OF  
24 CHURCH STREET  
RIBCHESTER  
PR3 3XP

Revision A - March 2008

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**Appendices**

Bat Survey  
Head teacher's Letters  
References

## **USE**

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- The building was constructed as a dwelling and cottage industry workplace circa 1790.
- The building is likely to have been used for handloom weaving and accommodated a single-family unit.
- The building is believed to have been in continuous occupation until September 2006 when the previous building owner died.
- The building is now unoccupied. This is contributing to the decline in the social facilities of the village (see Head teacher's letter to parents).
- The building is in poor condition and not compliant with Decent Homes standards.

### **Proposal**

- To return the property to decent homes standard
- To use the building for a family dwelling

### **Rationale / Compliance with Policy**

- Re-use is desirable in compliance with the District's Empty Homes Strategy.
- Re-use contributes to vibrancy and sustainability in the community
- Economic re-use secures the historic fabric (PPG15)



## **AMOUNT OF DEVELOPMENT RELATIVE TO EXISTING SCALE**

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- The existing accommodation comprises 80s.m of net internal floor area
- Parts of the internal and external spaces are under-utilised
- The existing building footprint is smaller than the historic building footprint
- Records show the full width historic single storey room to the rear was extant from at least 1830 to 1960. The constructional form suggests it was contemporary to the build date and later flyover photographs are pending from the National Monuments Record to establish the date of partial demolition.
- The full width extension was extant at the time of designation of schedule monument playing field to the rear. It is very likely to have been extant at the time of conservation area designation. No record can be found to establish conservation area consent for partial demolition which would have been required at the time.
- The building line of adjacent properties extends beyond the proposed development building line (i.e. all the proposed development is within existing building lines)

### **Proposal**

- To extend accommodation into an under-used and difficult to maintain and secure, north-facing space forming a modern kitchen-diner to the rear ground floor.
- To contain any development within existing building
- To restore building footprint to recent extents

### **Rationale / Compliance with Policy**

- Intensifying use in underused spaces provides much-needed family accommodation in villages such as Ribchester where floodplains and landscape impact prohibit new land take. (PPS3)
- Restoration of the building to its historic extents improves interpretation of the surviving historic fabric. Development which improves the interpretation of historic significance is to be encouraged (Ribchester Conservation Area Statement).
- Restoration of historic extents and utilising under-used spaces enhances the economic performance of the building securing the historic fabric. (PPG15)

## **LANDSCAPING**

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The existing garden is to be retained in the current form.

## **APPEARANCE**

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- The existing appearance to the front elevation is blighted by the inclusion of modern fenestration, which is in poor condition and contributes negatively to the interpretation of historic development in the conservation area.
- The existing appearance to the rear elevation is similarly affected. Moreover, the ground floor is poorly connected to the garden spaces and historic openings have been closed off.

### **Proposal**

- To renew the fenestration in keeping with the character of the conservation area
- To improve the relationship of the building's interior to the garden to the rear
- To improve building security by inferring overlooking to private spaces at the rear.
- To remove functionless and un-overlooked external spaces which are difficult to secure.

### **Rationale / Compliance with Policy**

- Inappropriate fenestration has been identified as a key issue in the Conservation Area Appraisal for Ribchester
- The gardens are key to the character of these properties as private open space provides relief to the dense grain of the village.
- Opportunities for forced entry should be designed-out (Secure by Design)

## **SPECIAL / HISTORIC INTEREST**

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- The building was listed Grade 2 in 1983.
- The building's special interest arises from its relationship with street scene and it's historical association with the development of craft industry in Ribchester in the late C18th.
- A build date of 1793 is inferred from the buildings deeds and the surviving dateable details. Few dateable details survive internally:
  - The beam to the middle ground floor room is hand-sawn, with chamfers and chamfer stops suggesting it is contemporary to the surmised build date.
  - The rear room is solid masonry construction with stone mullioned window openings. The connection of the rear wall to the South wall of No. 25 has been visibly severed giving clear evidence of the historic building footprint (known to be extant at 1830).
  - Tithe maps show that full width rear rooms were the predominant building form around the time of construction. The remaining South and West wall of No. 24 is the only surviving example of this building form.
  - Wide floorboards are used in the first floor construction.
  - Some plaster survives in the roof void suggesting it may have been occupied as accommodation at some time.
  - There are square-section rafters and hardwood purlins visible in the roof void, which can be assumed to be contemporary to the build date.
  - There is evidence that ceilings at first floor were raised when the loft room fell out of use (C19th / early C20th) and the cill height has been raised in the front first floor room.
  - A C19th fireplace survives in the first floor front room.
  - The fire opening survives with stone surround in the ground floor front room.
- Many historic features had been removed by date of listing
  - No staircases or windows survive
  - Most of the roof frame, covering and the rear first floor ceilings are of modern sawn softwood construction (with plasterboard finishes to ceilings).
  - Internal partitioning for room division is modern plasterboard on stud.

## Proposal

The following principles apply to protect the buildings special historic interest

- The standards of repair are to be compliant in all respects with current housing fitness standards and building regulations, save where intervention will adversely affect the historic fabric. If the intervention affects the historic fabric the best standard possible will be provided within the limitations of the physical fabric.
- The materials and details are to be like-for-like replacements. This applies to roofing slates, masonry for piecing-in, mortar for pointing.
- The historic elements, which contribute to the buildings special interest are to be protected, retained and conserved in-situ.
- All work to historic elements is to be the minimum necessary to secure the repair.
- Any interventions are to be carried out in such a way that their future repair or removal does not adversely affect the retained historic fabric.
- Where new fabric is introduced, it shall be compatible with the existing, formed from matching natural and traditional patterns, compatible with streetscape.
- Where historic fabric is inevitably affected by the work and needs to be removed, it will be recorded and appraised in-situ prior to external consultation and approval for removal (e.g. electrical plaster chases, etc.)
- Where inappropriate modern interventions affect the appearance and fabric of the building, these are to be replaced in traditional materials: e.g. uPVC gutters to be replaced in cast iron.
- Where new construction is to take place (e.g. to the kitchen/diner area) the new work is to be stylistically differentiated from historic fabric so as to aid interpretation.

## Rationale / Compliance with Policy

- These repair principles are as per PPG15
- These principles follow the guidance of English Heritage 'Conservation Principles'

## **ARCHAEOLOGICAL INTEREST**

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- The site is recognised in the Extensive Urban Survey of Historic Towns and Villages as being of considerable archaeological interest.
- Desk study of this document shows that it is very likely that below ground archaeology exists across the whole subject site.

### **Proposal**

- The new work is designed to bear off existing substructures as far as possible
- The new work to the projecting bay is designed to cantilever out from the historic building footprint to avoid intervention to below ground archaeology as far as possible.
- A new pier is proposed to carry the imposed loads of the new development. This is intended to reduce the interventions to below ground archaeology to one small bore. For this remaining inevitable intervention, preservation by recording approach is appropriate and it is anticipated this can be controlled by a planning condition requiring an archaeological watching brief.

### **Rationale / Compliance with Policy**

- This approach is advocated in PPG16

## **SUSTAINABILITY**

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- The site use and economics are recognised factors in overall sustainability
- The energy demands of the existing use are currently met by mains electricity and mains natural gas.

### **Proposal**

- Providing more family accommodation in walking distance of employment opportunities, public transport, shops, recreation facilities and a school reduces overall fuel use.
- Providing an adequate amount of family accommodation close to services sustains that service provision.
- The continuing use of natural gas and electricity from non-renewable sources is not sustainable. The aim is to provide new installations which use only renewable energy by the following measures

- Installing dual fuel central heating and hot water to permit the majority of winter heating needs to be met by the use of wood from sustainable sources.
- To convert the electricity supply to use only electricity from renewable sources.
- To increase natural light and ventilation to usable spaces to reduce reliance on fuel.
- To use internal spaces without natural light for low intensity uses (circulation and ancillary)
- To exploit the South-facing pitch of the rear roof to site a solar heat collector to provide hot water for Spring, Summer and Autumn seasons.
- To design the new electrical installation and appliances to use less fuel. Install aerated water flow faucets to reduce water use.
- To provide adequate utility space for recycling and home craft.

## **ECOLOGY**

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- The building is contained within a well-established sub-urban ecosystem with good biodiversity.
- The building's impact on the adjacent ecosystem is currently neutral.

### **Proposal**

- Prior to development a Bat survey has been undertaken to assess whether any 'at risk' species are likely to be affected by the work. The report (appended) suggests that no 'at risk' species could be found at the time of inspection.
- The impact of the proposal on the surrounding Ecosystem is thought to be negligible.

### **Rationale / Compliance with Policy**

- Minor impacts on Ecosystems are tolerable under policy.

## **ACCESS**

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- The existing vehicular access to the site is good by Church Street, which is adopted highway. No change to vehicular access is proposed.
- Disabled access to and within the site is fair.

### **Proposal**

- New work to generate no new vehicular movements
- New work to provide equivalent or improved access for people with disabilities.

## **CONSULTATION**

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The following consultations have been carried out:

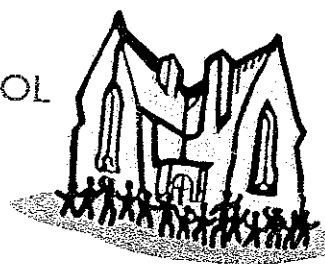
- Adjacent owners
- Ecological consultant
- Pre-application meeting with Conservation and Design Officer

### **Proposal**

Formal and statutory consultations are to be carried out by the Local Authority in determining the planning and listed building consent applications.

RIBCHESTER ST. WILFRID'S C OF E PRIMARY SCHOOL

Church Street, Ribchester, Preston, Lancashire. PR3 3XP  
Tel: 01254 878300 Fax/Answer Phone: 01254 878069  
Email: head@st-wilfrids-ce12.lancsngfl.ac.uk



6<sup>th</sup> July 2007

Dear Parents / Carers,

I am pleased to be in the position where we can share with you the finalised arrangements for the September term now that we have final pupil numbers and also the appointment of a 0.5 teacher. Mrs Lucy Mitcham was appointed on Tuesday of this week, she comes with a wealth of experience both from within teaching and from her work in Environmental Education.

The structure of the classes will be as follows:

- Reception and Year 1 will be taught together and will have Mrs Farran and Mrs Stott with them for the whole of the day.
- Year 2 will be taught the core subjects of Literacy, Numeracy, Science and ICT by Mrs Mitcham as a group of 9 pupils each morning. I will then teach them the foundation subjects of History, Geography, Art and Design Technology over three afternoons per week.
- For two afternoons each week the 3 classes will join together, a total of 30 pupils, for their classes in Music, PE and drama. They will be taught by Mrs Farran and supported by Mrs Stott during these sessions

Given the fact that we have had to lose a full time teacher I am delighted with the arrangements we have now been able to put into position. The combining of Reception and Year 1 enables us to best implement the transition that Government is looking for between Foundation Stage and Key Stage 1, yet still within a very high adult/pupil ratio of 1:10. The Year 2 has access to a small class set-up of only 9 pupils for their core and foundation subjects yet will still have the opportunities to mix with their peers in Key Stage 1 for 2 afternoons per week. As ever we will be flexible in the delivery of our curriculum to ensure we are best meeting our pupils' needs by enabling pupils to access certain parts of the curriculum with other year groups where this is appropriate. Many small, rural schools combine classes in a variety of ways to meet with the number on roll and having taken extensive advice from senior authority advisors I feel we have constructed a model that is extremely fit for purpose.

We will be maintaining the current structure in the Key Stage 2 department with Mr Bentley teaching Y3 and Y4 in Ribble Class and Mrs Jones teaching Y5 and Y6 in Wyre class.

If you have any worries or queries on any of these issues please do not hesitate to contact me at school.

Yours sincerely

C. M Thomas

Headteacher



# RIBCHESTER ST. WILFRID'S C OF E PRIMARY SCHOOL

Church Street, Ribchester, Preston, Lancashire PR3 3XP  
Tel: 01254 878300 Fax/Answer Phone: 01254 878069  
Email: head@st-wilfrids-cel2.lancsngfl.ac.uk



15<sup>th</sup> May 2007

Dear Parents/Carers

I am writing to inform you about forthcoming changes to our staffing structure and class organisation from September. Our school roll has been falling over the past few years during which time the Governors have pledged to maintain a complement of 4 teachers by utilising the school reserves. The budget for the current year is not sufficient to maintain this level of staffing and so we unfortunately will not be able to renew Miss Howarth's contract at the end of this academic year.

The Governors have pledged to use the small reserves that are now left to enable the school to employ a teacher on a 0.5 basis. The likely structure we will be employing is as follows:

Calder Class	Reception / Year 1	Mrs Farran / Mrs Stott
Hodder Class	Year 2 (mornings only)	<i>to be appointed</i>
Ribble Class	Year 3 / Year 4	Mr Bentley
Wyre Class	Year 5 / Year 6	Mrs Jones

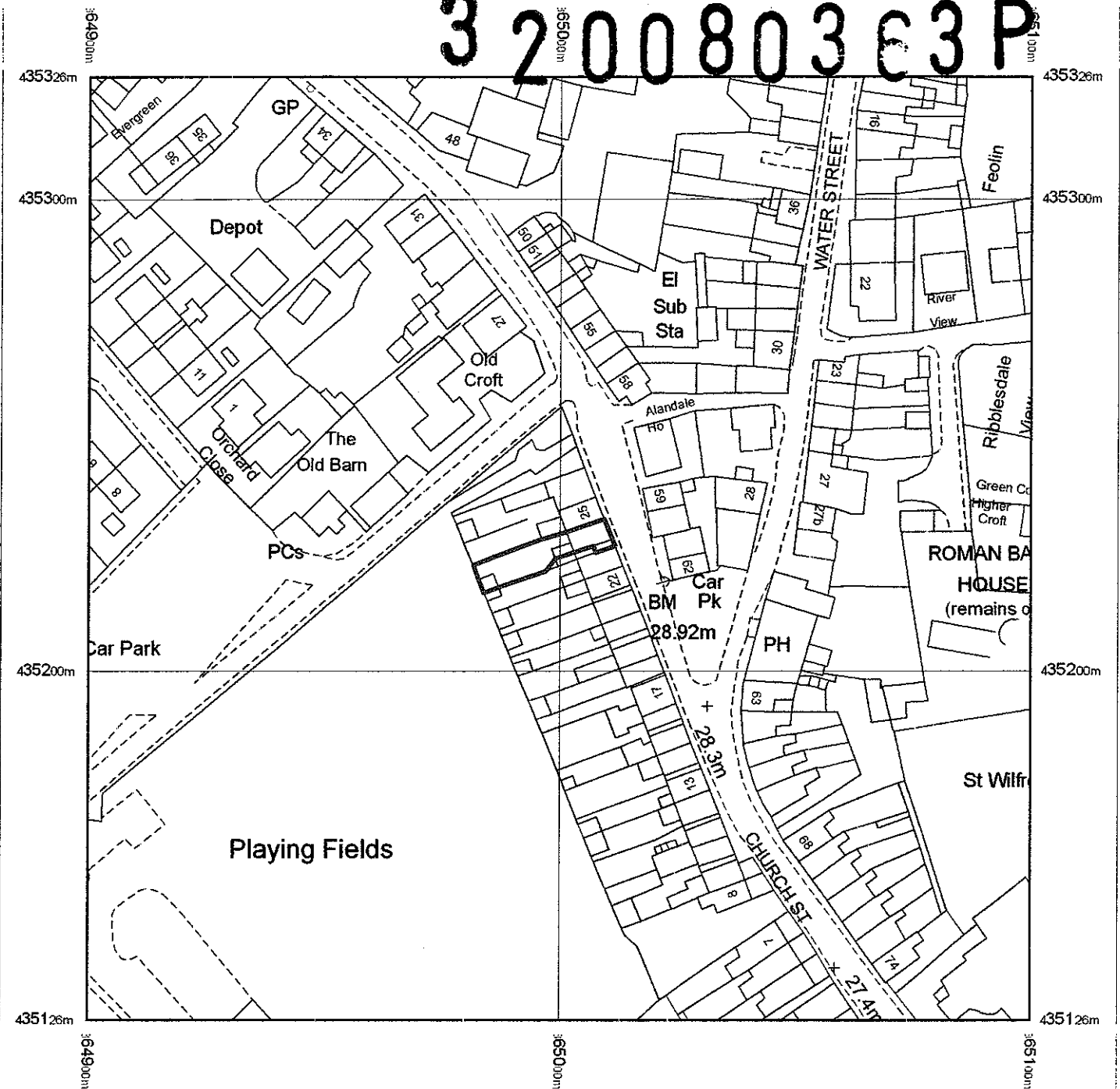
It is expected that the Year 2 class will have the core subjects of English, Mathematics, Science and ICT taught in the morning and they will then access the Foundation Subjects as appropriate in the afternoon. The proposed model of class organisation has been reached in consultation with Advisors from the Local Authority to ensure the best outcome is achieved for all the pupils. This arrangement will be confirmed once pupil numbers are finalised.

If you have any queries or concerns regarding these matters please do not hesitate to contact me here in school.

Yours sincerely

Mrs C.M. Thomas

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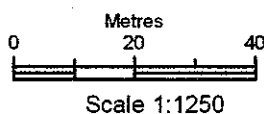
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The representation of features as lines is no evidence of a property boundary



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Centre coordinates: 365000 435226

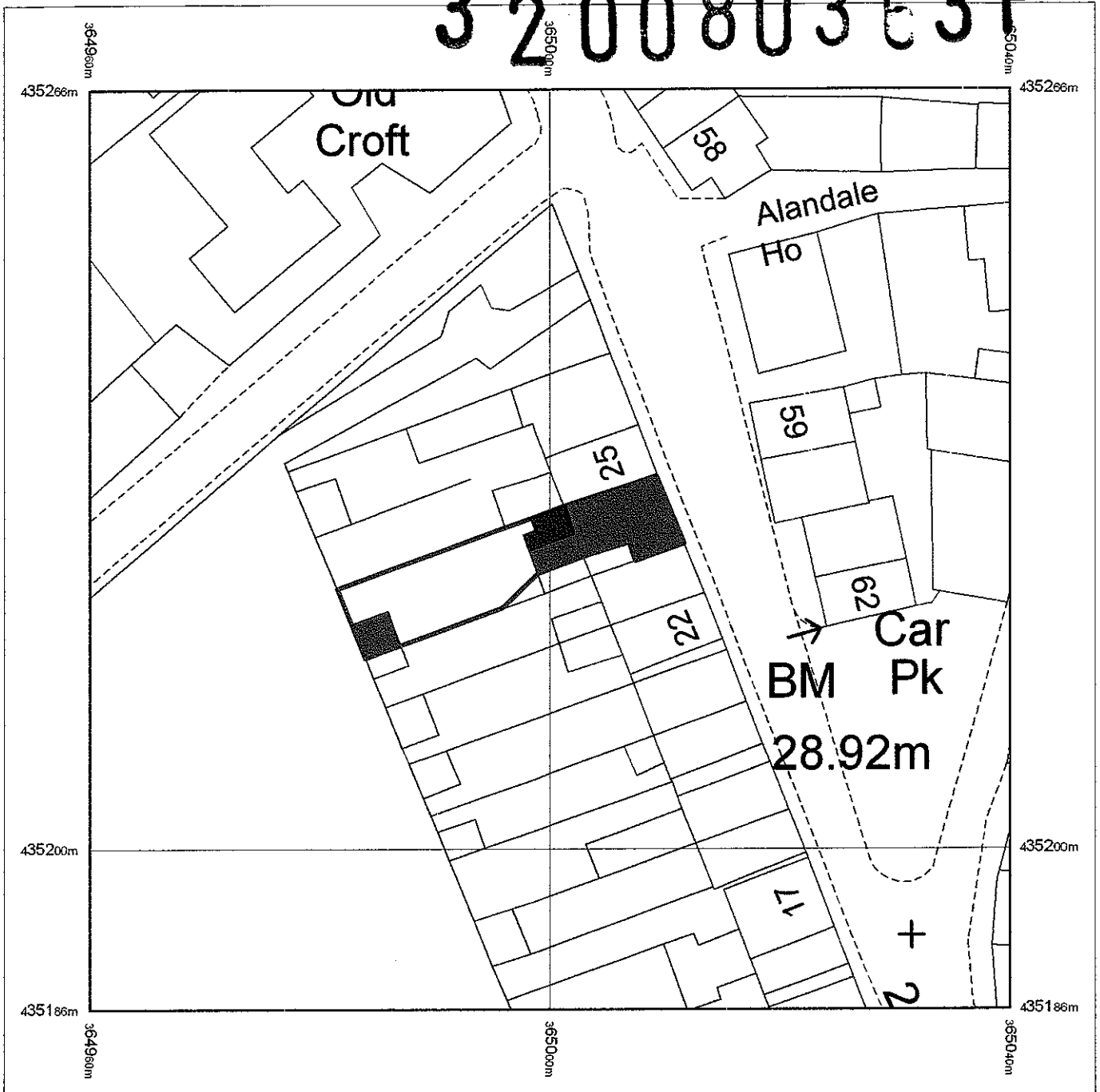
Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:  
[www.ordnancesurvey.co.uk](http://www.ordnancesurvey.co.uk)

**Applicants Contact**  
Mrs and Mrs C D Jubb  
c/o 20 Church Street  
Ribchester 01254 820842

**Location Plan 1:1250**  
24 Church Street  
Ribchester  
PR3 3XP

**Drawing 24/01**

3 2 0 0 8 0 3 6 3 P



Existing Footprint  
 Additional Footprint

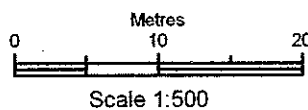
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Supplied by: **Outlet User**  
Serial number: 00589100  
Centre coordinates: 365000 435226

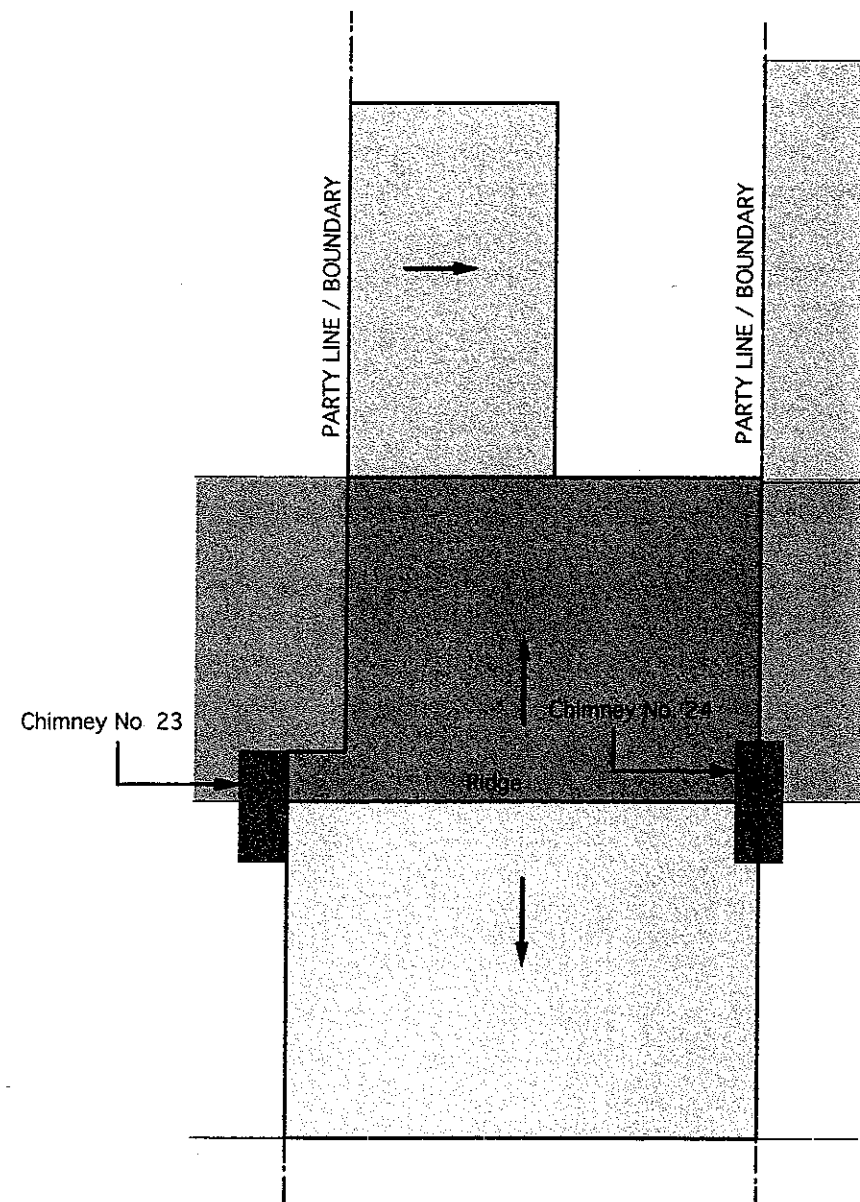
Further information can be found on the OS Sitemap Information leaflet or the Ordnance Survey web site:  
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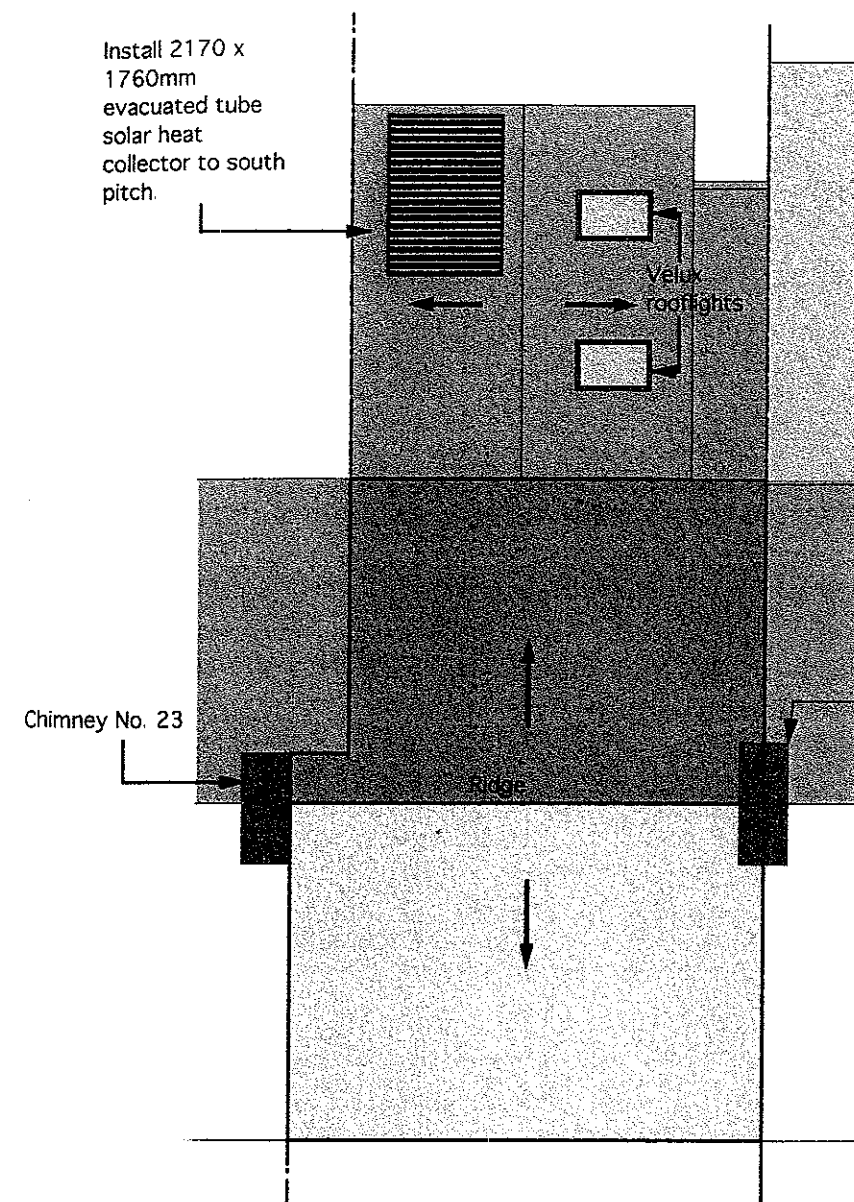
**Block Plan 1:500**  
24 Church Street  
Ribchester  
PR3 3XP

**Drawing 24/02 Revision D**

3 2 0 0 8 0 3 6 3 P



ROOF PLAN AS EXISTING



ROOF PLAN AS PROPOSED

Repair like for like in-situ chimney to No. 24 re-using brick and stone bedded in nhl 5 hydraulic lime mortar (sample to be agreed with Conservation Officer)

## NOTES

Revision D

Dwg No  
24/06

Revision D  
Date 27/04/08

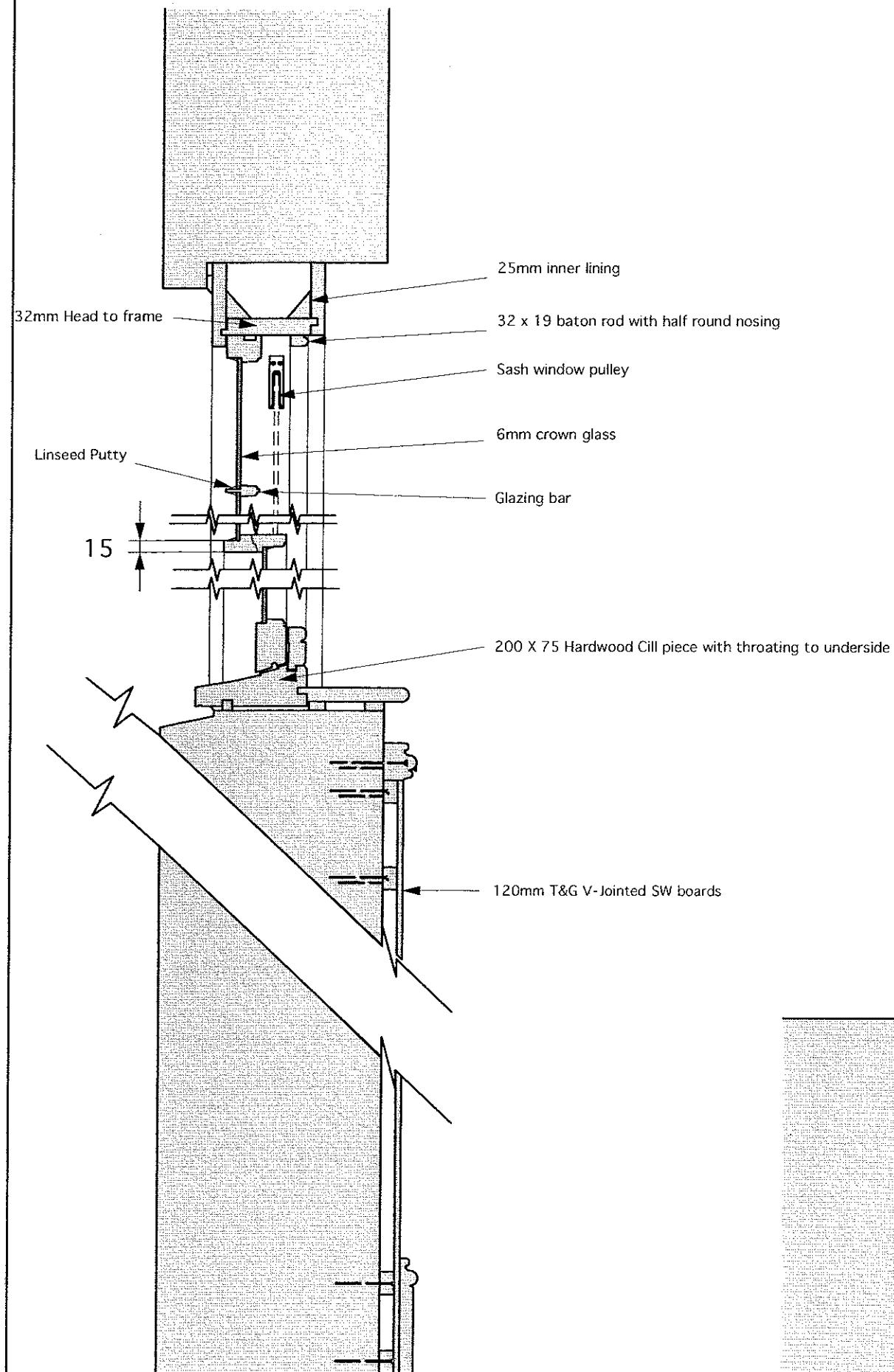
Property Address

24 Church Street, Ribchester, Lancashire, PR3 3XP

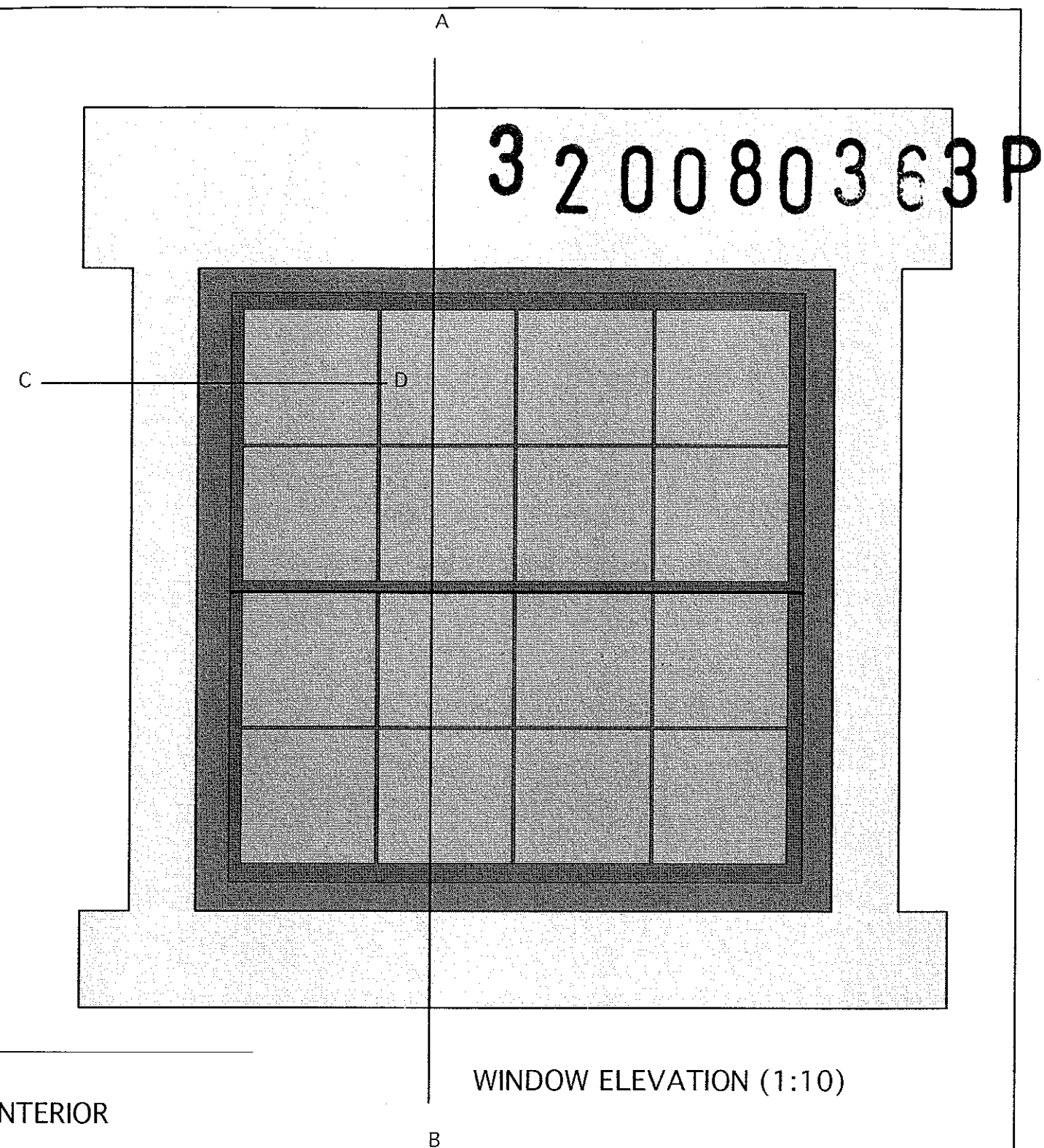
Roof Structure  
EXISTING AND PROPOSED  
SCALE 1:100

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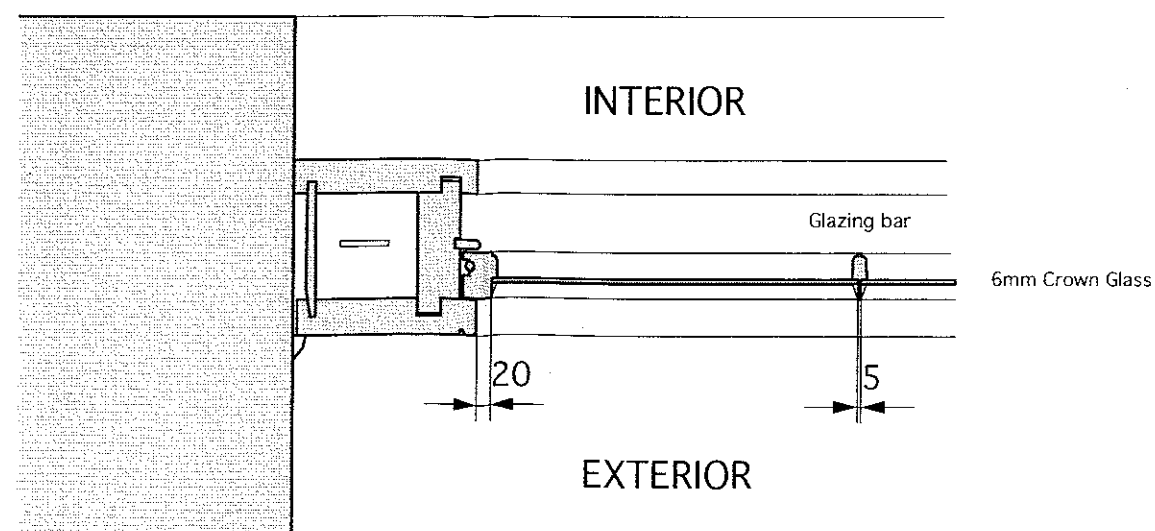
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DETAIL SECTION A-B INCLUDING WAINSCOTTING  
FOR DAMP CONTROL.

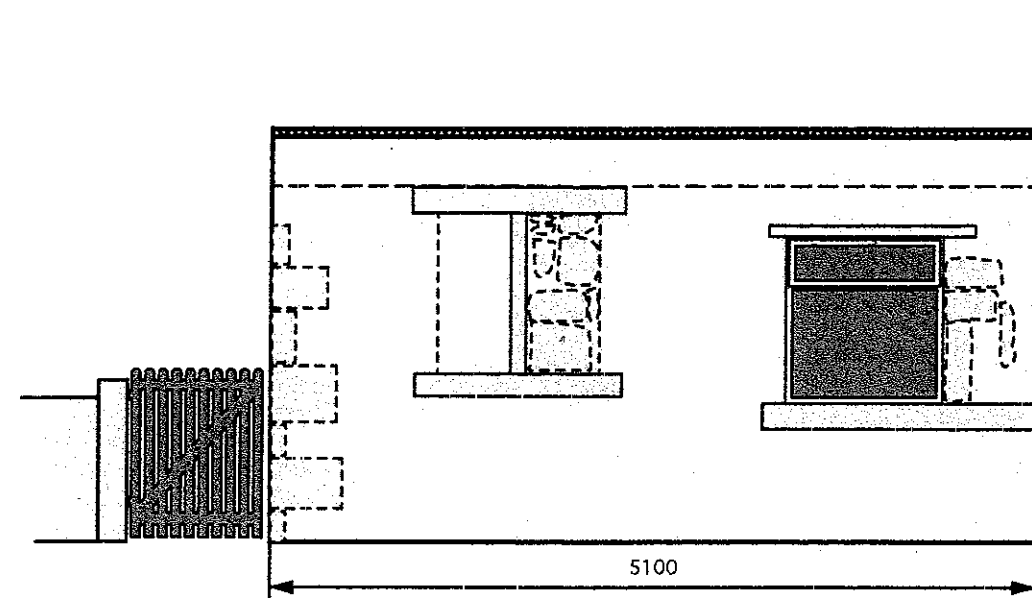


WINDOW ELEVATION (1:10)

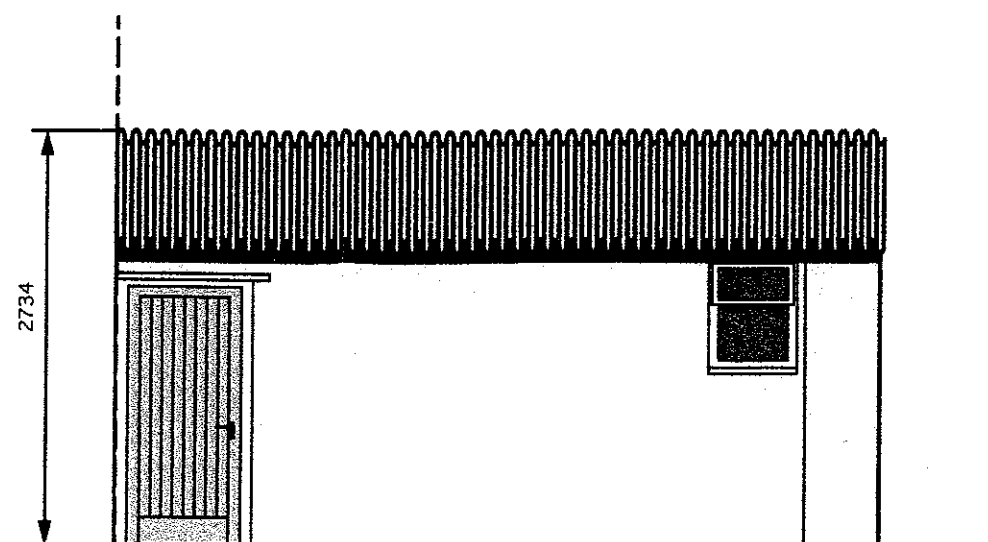


DETAIL WINDOW SECTION C-D

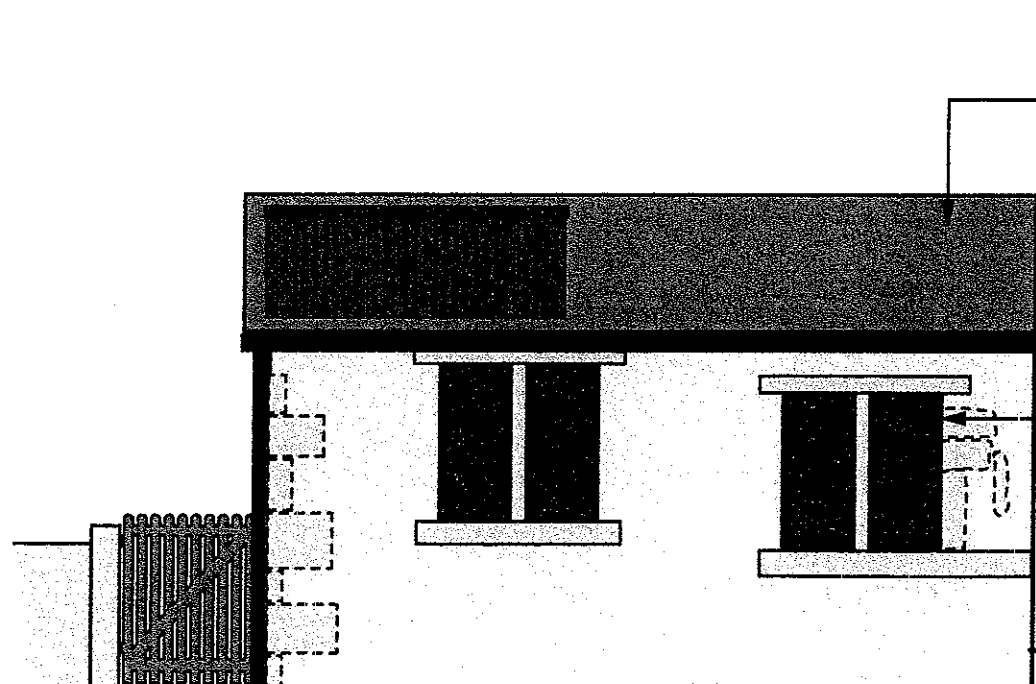
Applicants and contact address	
Mrs and Mrs Jubb 20 Church Street Ribchester, PR3 3XP Tel: 01254 820842 email: jubb.jubb@virgin.net	
Dwg No 24/08	Revision - B Date 19/03/08
Property Address 24 Church Street, Ribchester, Lancashire, PR3 3XP	
PROPOSED WINDOW SECTIONS AND WAINSCOTTING SCALE VARIOUS	
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SOUTH (SIDE) ELEVATION AS EXISTING



NORTH (SIDE) ELEVATION AS EXISTING



SOUTH (SIDE) ELEVATION AS PROPOSED

**Roof**

New riven Welsh slate pitched roof, with cast iron gutters.  
Install evacuated tube solar hot water collector to south pitch

**Windows**

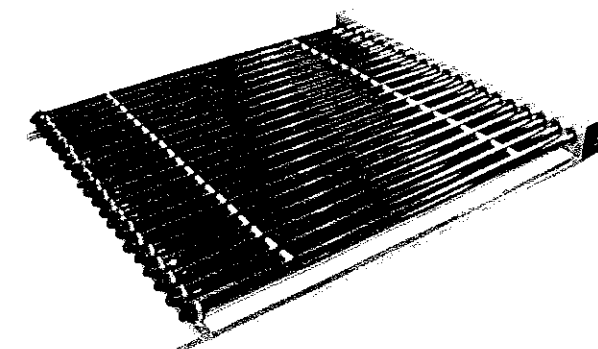
Install new (Obscured glazing to South Side) double glazed dark grey powder coated steel windows, including to previously blocked (left) window. To right window include new hand-dressed stone mullion and lintol.

**Walls**

Rake out and hack off cement pointing and rendering. Repoint in 1:3 lime mortar (Sample to Conservation Officer approval)

NOTES

Evacuated tube Solar Hot Water Collector



3 2 0 0 8 0 3 6 3 P

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Dwg No  
24/05

Revision - D  
Date 27/04/08

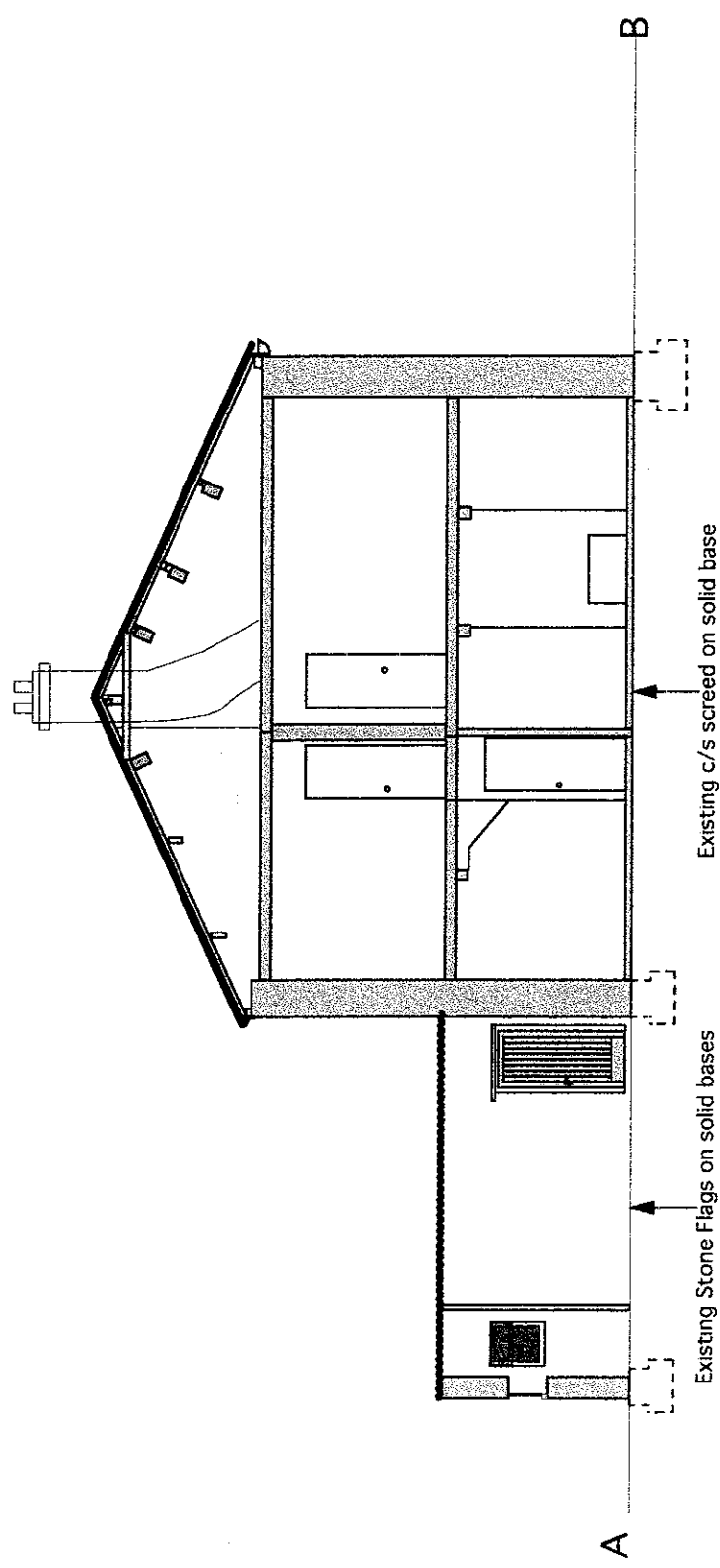
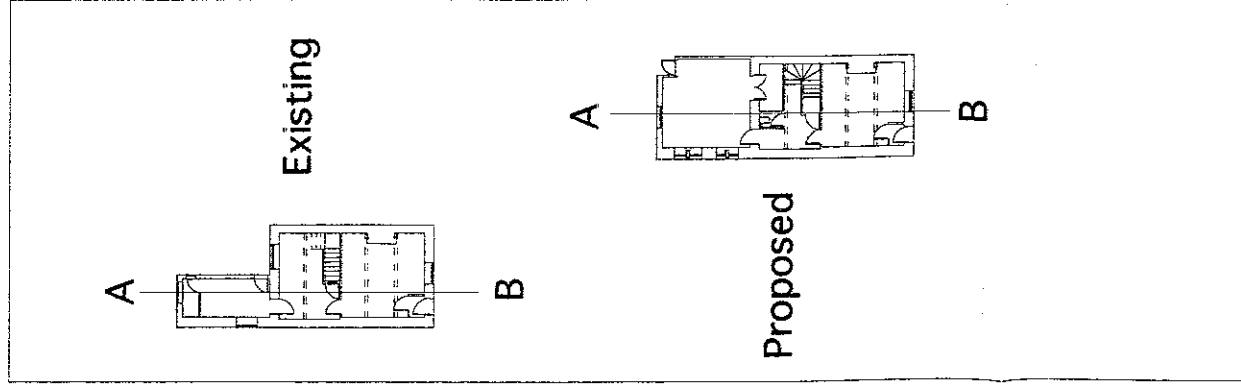
Property Address  
24 Church Street, Ribchester,  
Lancashire, PR3 3XP

SIDE ELEVATIONS  
SCALE 1:50

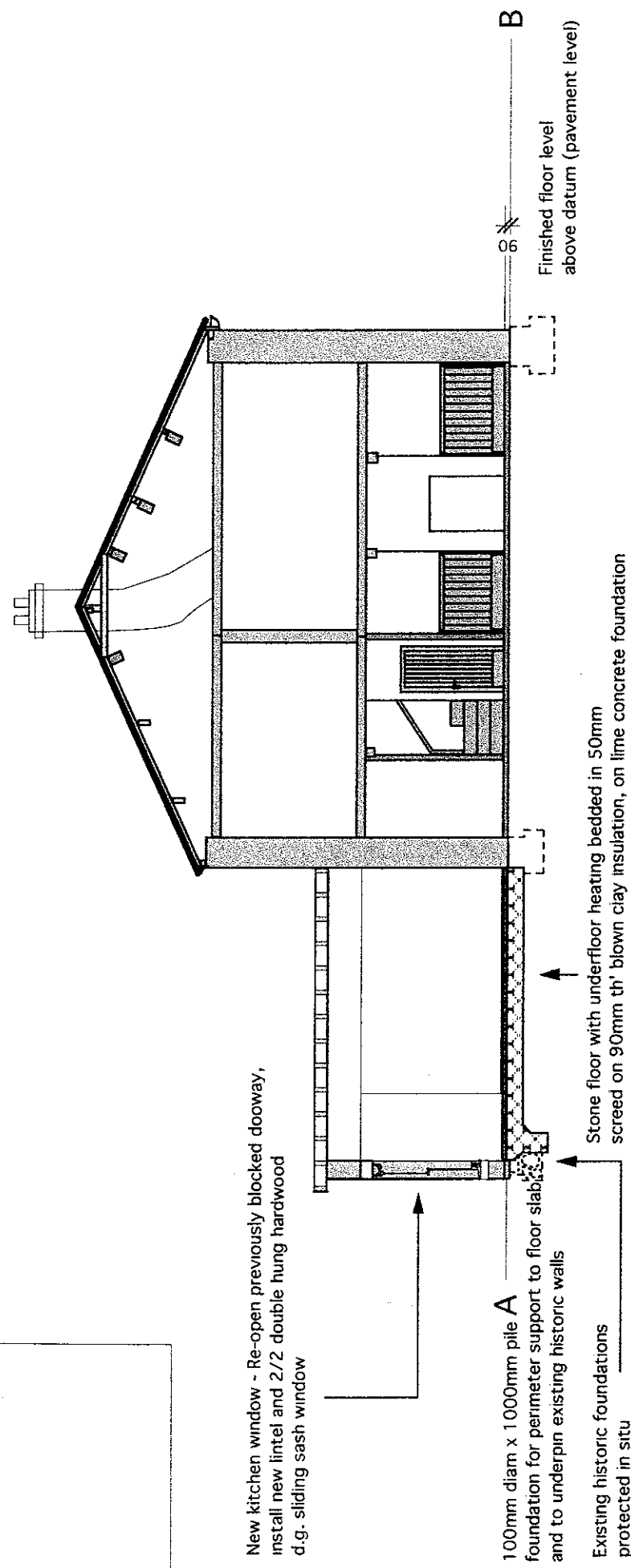
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# Section Lines Ground Floor



SECTION AS EXISTING



SECTION AS PROPOSED

Notes

Revision D

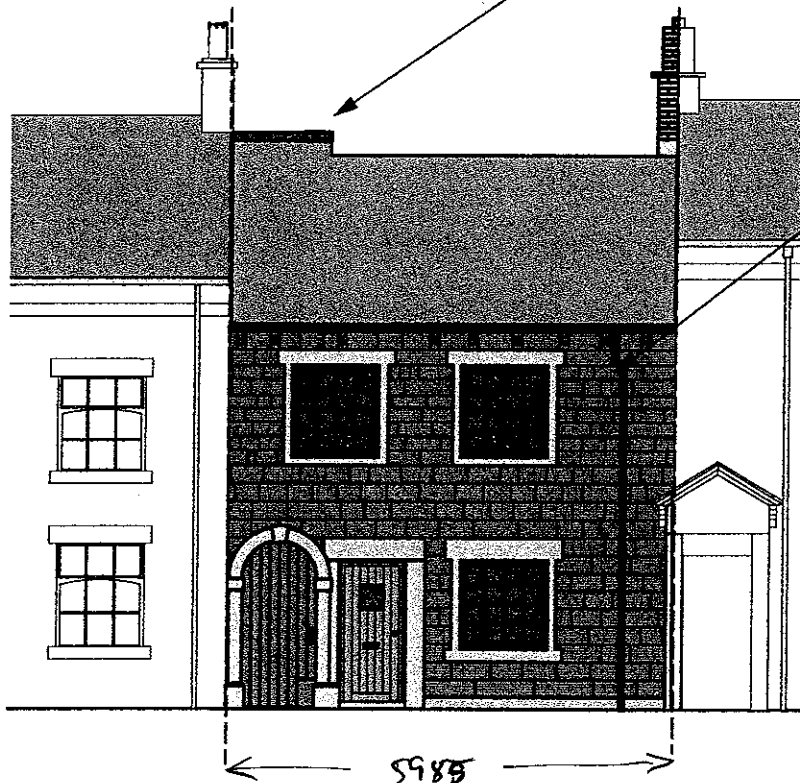
320080363P

Applicants and contact address	Dwg No
Mrs and Mrs Jubb	24/07
20 Church Street, Ribchester, PR3 3XP	
Tel: 01254 820842	Revision D
email: jubb.jubb@virgin.net	Date 28/4/08
Property Address	
24 Church Street, Ribchester, Lancashire, PR3 3XP	
SECTION	
AS EXISTING AND PROPOSED	
SCALE 1:100	
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FRONT ELEVATION AS EXISTING



FRONT ELEVATION AS PROPOSED

#### ROOFS

##### Front pitch upper roof

To remain exactly as existing

##### Rear pitch upper roof and shed roofs

Repair like for like re-using existing slates wherever possible

##### Rear kitchen extension

1. Remove existing asbestos sheet roof and form dual pitch timber frame.
2. South facing pitch of extension roof (visible on side elevation only) to include 2170mm x 1760mm evacuated tube Solar energy collector
3. North facing pitch to include 2No. 700mm x 500mm Velux rooflights.
4. Wide stepped valley-gutter and upstand detail to abut existing wall of No. 25

#### WINDOWS AND DOORS

##### Front Elevation

1. New double-hung hardwood sliding sash windows with single glazed crown glass, pattern to match historic 8/8 sashes with narrow glazing bars, moulded section (see detail sheet for construction sizes and specification).
2. Install new hardwood vertically boarded door with 330 x 300mm fixed glazed light and traditional black cast iron letter plate, hinges and door knob.
3. Decorate new joinery in traditional dark flat oil (Colour to be agreed)

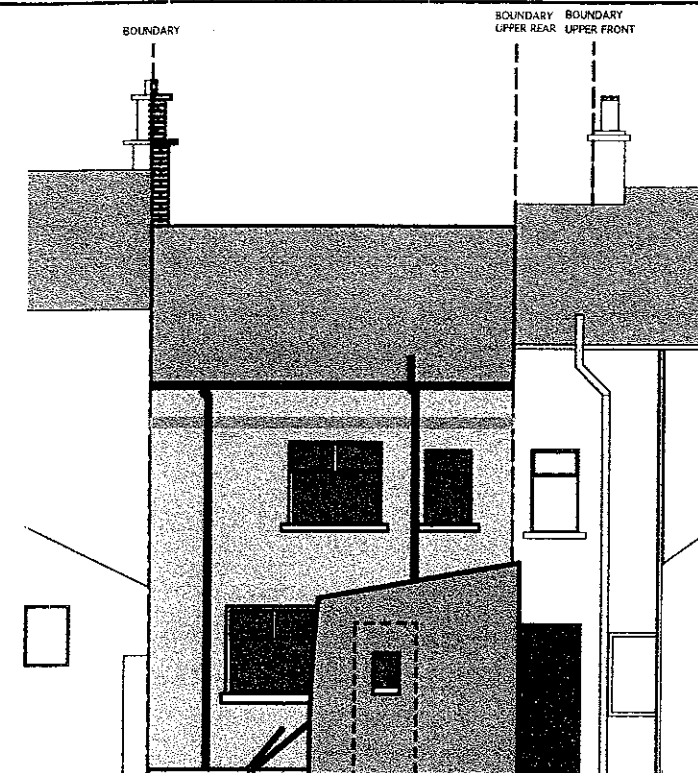
##### Rear Elevation

1. First floor - new double-hung hardwood sliding sash windows with double glazed low emissivity units, pattern as shown.
2. Ground floor side - new dark grey powder-coated steel double-glazed obscured glass fixed lights
3. Garden door - three-quarter light (double-glazed) painted hardwood door.
4. New kitchen window - Re-open previously blocked doorway. Install new lintel and 2/2 double hung hardwood d.g. sliding sash window

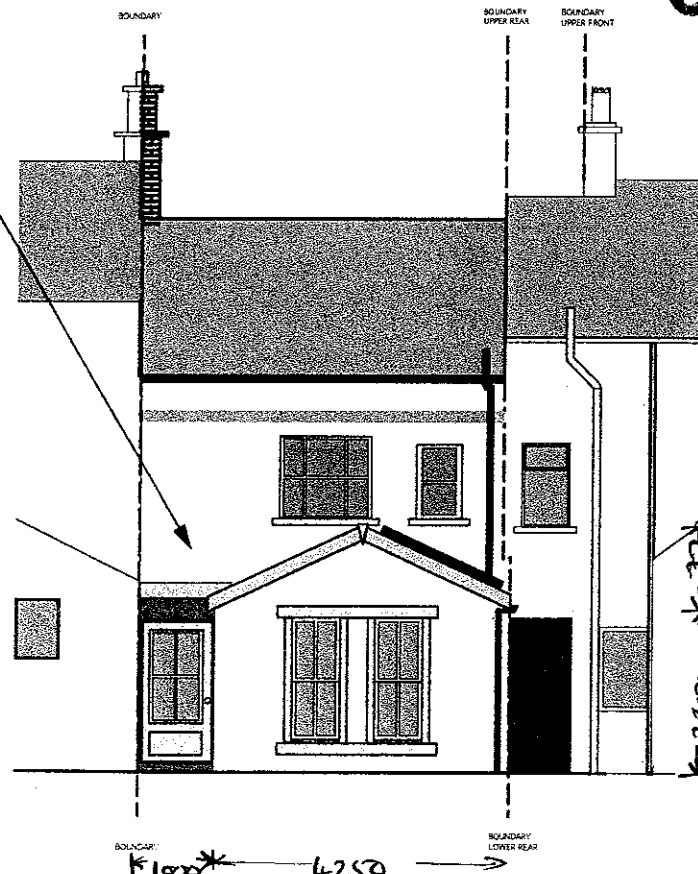
#### WALLS

**Front Elevation** - As existing. Peck out prominent cement pointing. Repoint and make good in lime mortar.

**Rear Elevation** - Patch repair render finish and finish all walls above lower roof level in mineral paint or equivalent. (Colour to be agreed - close match to neighbours' cream / buff). Ground floor walls, make good / build up in random stone (salvaged hand-made brick to inner face) to match existing. Replace existing cracked cement render to ground floor in new pigmented lime render / lime slurry build up - sample to Conservation Officer approval.



REAR ELEVATION AS EXISTING



REAR ELEVATION AS PROPOSED

#### NOTES

320080363P

#### Notes

Revision D

Applicants and contact address

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email: jubb.jubb@virgin.net

Dwg No  
24/04

Revision D  
Date 28/04/08

Property Address

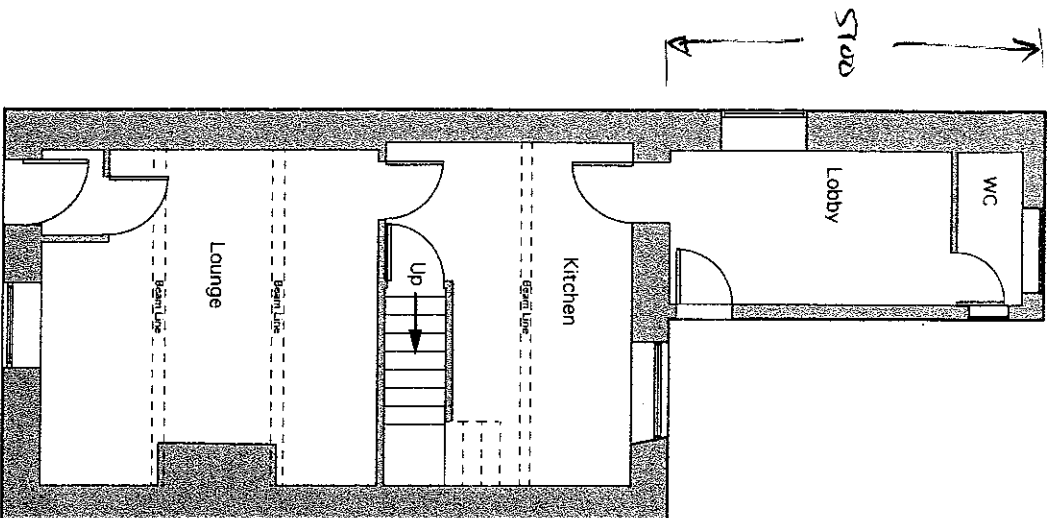
24 Church Street, Ribchester, Lancashire, PR3 3XP

ELEVATIONS  
FRONT AND REAR  
SCALE 1:100

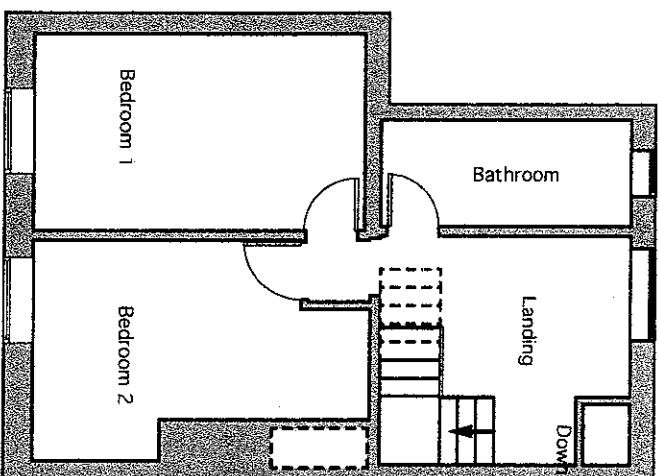
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3 2 0 0 8 0 3 6 3 P



GROUND FLOOR PLAN AS EXISTING FIRST FLOOR PLAN AS EXISTING

**Existing Condition**

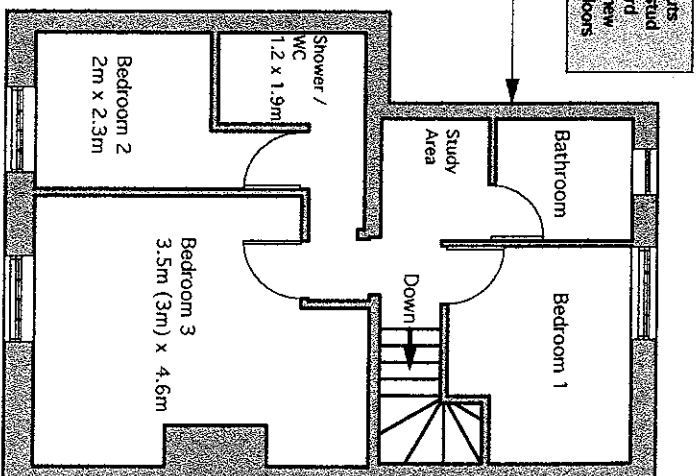
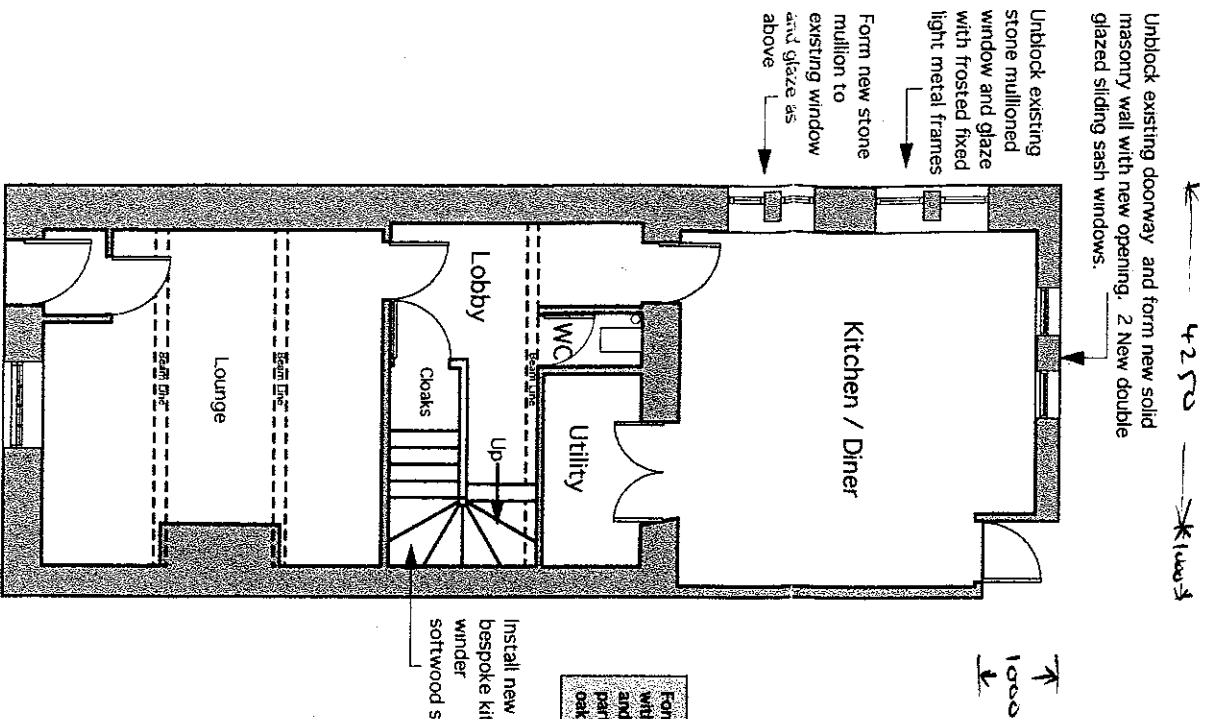
**Floors -**  
Ground floor  
Floors have been cement screeded to ground floor rooms other than rear lobby where cracked and uneven sandstone floor survives. All floors damp and uneven.

**First Floor**  
Fair condition. Some deflection. Condition of beams to lounge ceiling concealed by softwood cladding. Wide pine boards to front room.  
Stairs, modern softwood in fair condition.

**Walls**  
Generally, lime plastered masonry with applied paper finishes.  
Wall between kitchen and passage rebuilt in machined brick. Query condition of left party wall to whole height and right chimney above ceiling level.  
All ground floor walls damp to about 1m above finished floor level.

**Ceiling**  
Lime plaster on lath survives to front bedrooms but plasterboard to rear landing and bathroom. Ground floor ceilings fair other than to lobby and WC where poor quality dry lining underdraws fibre cement sheet roof.

**Services**  
Water - Mains cold water. Hot water from immersion heater to landing. Electric overbath shower.  
Electricity - mains 240V supply. Modern consumer unit but distribution and fittings vary in age.  
Heating - None.



GROUND FLOOR PLAN PROPOSED FIRST FLOOR PLAN PROPOSED

**Repair and refurbishment specification**

**Walls**  
Strip paper finishes and patch repair in 2 coat lime plaster.  
Dry line ground floor walls with painted softwood wainscoting.

**Floors**  
Make good screeds with new dpm and apply latex levelling screeds.

**Ceilings**  
Replace existing plasterboard ceilings with new plasterboard and skim. Repair lath and plaster ceilings.

**Services**  
Electrical system  
Test and rewire as necessary to suit new layout.

**Heating system**  
Install new woodburning stove to lounge with primary circulation to serve calorifier and radiators.

**Hot Water**  
Locate solar heat collector on kitchen roof to serve secondary circulation in calorifier.

**Below Ground Drainage**  
Repair as existing.

**New electric shower to bathroom.**

**Ventilation**  
Provide mechanical ventilation to utility room.

**Agree all service routes with Conservation Officer.**

## NOTES

Revision B - Amended for LBC / Planning applications  
Revision C - Planning withdrawn - LBC Consent Only  
Revision D - extension layout amended for LBC and Planning

Applicants and contact address

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Property Address

24 Church Street, Ribchester, Lancashire, PR3 3XP

Dwg No  
24/03

Revision D  
Date 28/04/08

FLOOR PLANS  
EXISTING AND PROPOSED  
SCALE 1:100

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