



RIBBLE VALLEY
BOROUGH COUNCIL

For office use only

Application No.

Date received 320110555 P

Fee paid £

Receipt No:

Council Offices, Church Walk, Clitheroe, Lancashire, BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.

If you require any further clarification, please contact the Authority's planning department

1. Applicant Name, Address and Contact Details

Title:	Mr	First name:	Anthony	Surname:	Evans	
Company name:						
Street address:	3 Springfield Close			Country Code	National Number	Extension Number
				Telephone number:		
				Mobile number:		
Town/City:	Whalley			Fax number:		
County:	Lancashire			Email address:		
Country:	England					
Postcode:	BB7 9BW					
Are you an agent acting on behalf of the applicant?						
☒ Yes ☐ No						

2. Agent Name, Address and Contact Details

Title:	Mr	First Name:	James	Surname:	Alderson	
Company name:	Leeming Associates					
Street address:	8 - 10 Preston Old Road			Country Code	National Number	Extension Number
	Freckleton			Telephone number:	01772	632556
				Mobile number:		
Town/City:	Preston			Fax number:		
County:	Lancashire			Email address:		
Country:	United Kingdom					
Postcode:	PR4 1PD			jamesalderson@leemingassociates.com		

3. Description of Proposed Works

Please describe the proposed works:

Ground and first floor extension and remodelling to house and garage. Works to include external elevational treatments. Formation of a new balcony to the first floor master bedroom to the rear elevation.

Has the work already been started without planning permission?

☐ Yes ☒ No

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:	3	Suffix:	
House name:			
Street address:	SPRINGFIELD CLOSE		
	WHALLEY		
Town/City:	CLITHEROE		
County:			
Postcode:	BB7 9BW		

Description of location or a grid reference
(must be completed if postcode is not known):

Easting:	373632
Northing:	436986

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle
access proposed to or from
the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian
access proposed to or
from the public highway?

☐ Yes ☒ No

Do the proposals require any
diversions, extinguishment and/or
creation of public rights of way?

☐ Yes ☒ No

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within
falling distance of your proposed development?

☐ Yes ☒ No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☐ Yes ☒ No

8. Parking

Will the proposed works affect existing car parking arrangements?

☒ Yes ☐ No

If Yes, please describe:

The garage will increase in size so 2 cars can park inside with storage areas, and a small area of existing tarmac driveway will be removed to form a planted area to the front of the house

9. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☐ Yes ☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ The agent ☐ The applicant ☒ Other person

If Other has been selected, please provide:

Contact name:

Title: Mrs First name: Claire Surname: Evans

Telephone number:

Country code: 07778 National number: 341395 Extension number:

Email Address: chlevans@btinternet.com

11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

11. (Materials continued)

320110555 P

Walls - description:

Description of *existing* materials and finishes:

House and garage walls are all painted render in a light cream colour.

Description of *proposed* materials and finishes:

Render Finish - painted external grade textured masonry paint Dulux Bleached Lichen No2 Ref:30YY 58/082

Walls to receive new stone cladding system - supplied by Fernhill Stone Limited, Ref: Derwent Stone, Coursed Weather Edged Sandstone cladding

Roof - description:

Description of *existing* materials and finishes:

House and garage are concrete slates, Hardrow Ref: Solos concrete roof slates.

Description of *proposed* materials and finishes:

All new roof areas are to match existing. Areas of redundant roof slates are to be reused.

Windows - description:

Description of *existing* materials and finishes:

Windows are a mixture of white uPVC and stained timber.

Description of *proposed* materials and finishes:

All windows to be replaced. New timber windows to be painted in Dulux external grade weathershield Bleached Lichen No2 Ref:30YY 58/082

Doors - description:

Description of *existing* materials and finishes:

Front - White glazed uPVC entrance door and porch.

Rear - White glazed uPVC door

Description of *proposed* materials and finishes:

New doors to be glazed painted timber doors, colour Dulux Bleached Lichen No2 Ref:30YY 58/082

Boundary treatments - description:

Description of *existing* materials and finishes:

Fencing to rear - timber panel & concrete post fence with gravel board

Description of *proposed* materials and finishes:

Fencing to remain unchanged.

Vehicle access and hard standing - description:

Description of *existing* materials and finishes:

Tarmac driveway to front, paved patio area to rear, with concrete perimeter pathway to main house.

Description of *proposed* materials and finishes:

Tarmac driveway to remain, new patio areas to rear in paving

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Refer to drawing 2319.024 Proposed Elevations. This drawing details the location and extent of proposed elevation treatments.

12. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: Mr First name: James Surname: Alderson

Person role: Agent

Declaration date: 13/07/2011

☒ Declaration made

12. Certificates (Agricultural Land Declaration)

Agricultural Land Declaration

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates as listed below:

If any part of the land is an agricultural holding, of which the applicant is the sole tenant, the applicant should complete part (B) of the form by writing 'sole tenant - not applicable' in the first column of the table below

Title: Mr First Name: James Surname: Alderson

Person role: Agent

Declaration date: 12/07/2011

☒ Declaration Made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information



Date

12/07/2011

3 Springfield Close, Whalley



ASSOCIATES
8 - 10 Preston Old Road
Freckleton
Preston
PR4 1PB
Tel: 01772 632556
Fax: 01772 679085
Email: loerningcqs@btconnect.com

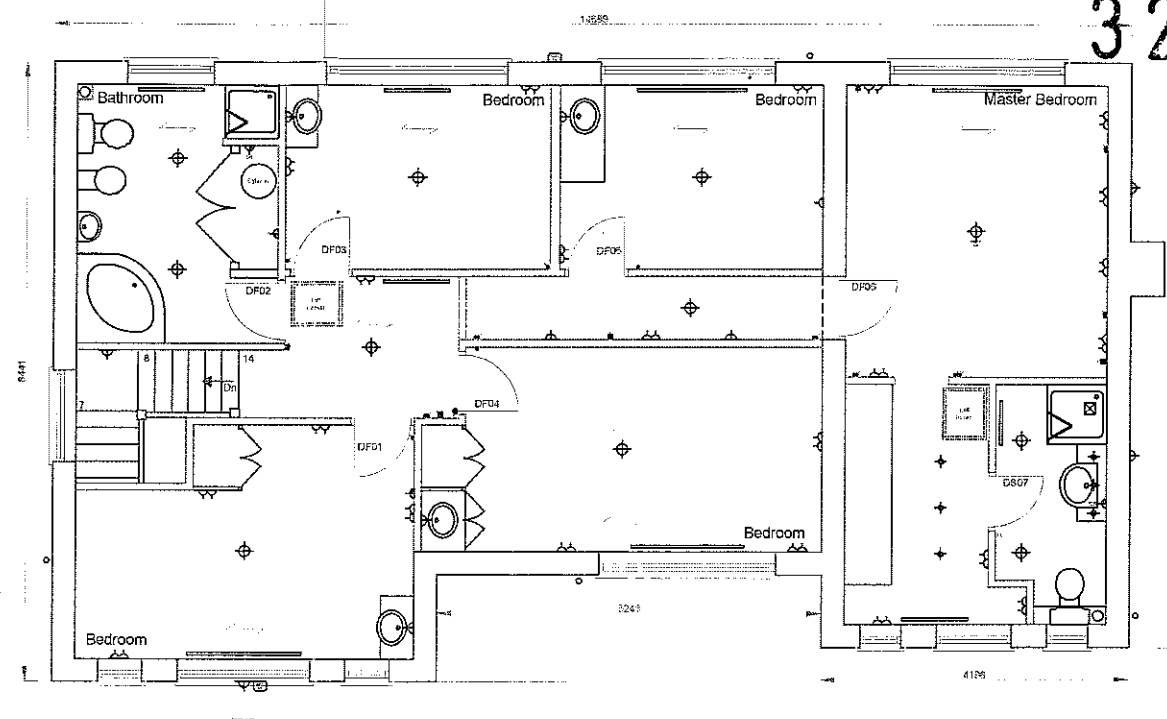
Project
3 Springfield Close
Whalley
BB7 9BW

Scale 1:1250 @ A3	Date Sept 2010
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Drawing No
2319.006

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A 13.07.11 Dimensions added

LEEMING ASSOCIATES
8 - 10 Preston Old Road
Freckleton
Preston
PR4 1PB
Tel: 01772 632556
Fax: 01772 679085
Email: leemingcqs@btconnect.com

Client
Mr & Mrs Evans

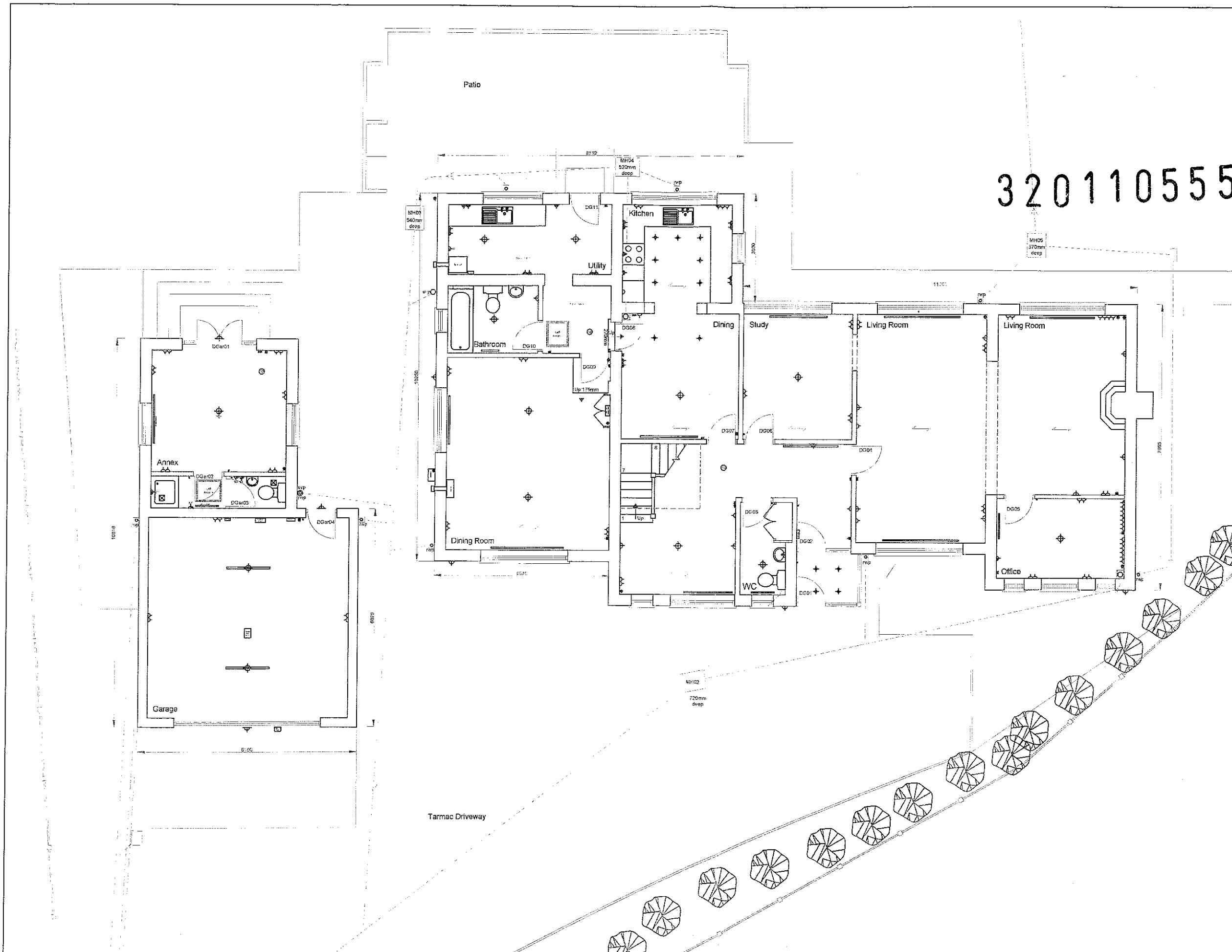
Project
3 Springfield Close
Whalley
BB7 9BW

Drawing
Existing First Floor Plans

Scale 1 : 100 @ A3	Date July 2010
	Drawn JCA

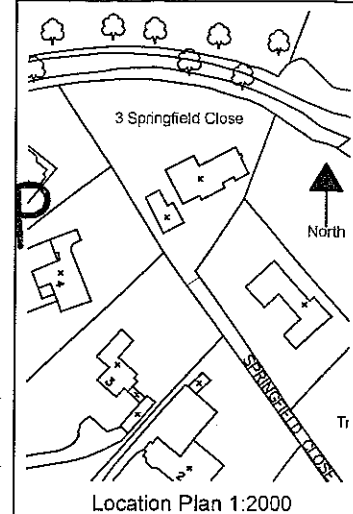
Drawing No. 2319.002	Rev. A
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3 Springfield Close, Whalley



3 Springfield Close, Whalley

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A 113.07.11 Dimensions added

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Client
Mr & Mrs Evans

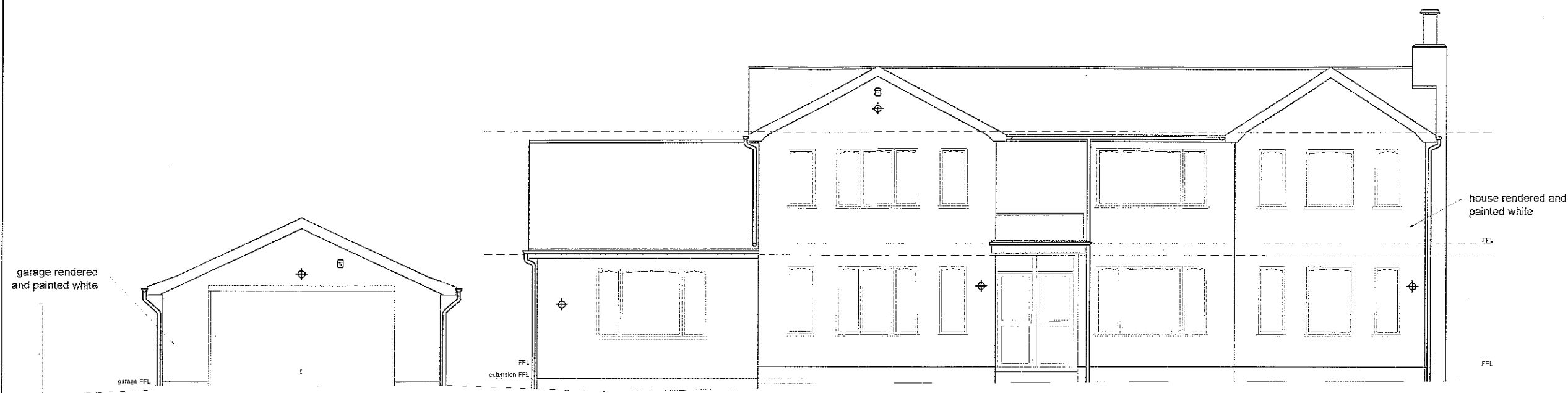
Project
3 Springfield Close
Whalley
BB7 9BW

Drawing
**Existing Ground
Floor Plans &
Externals**

Scale 1 : 100 @ A3	Date July 2010
	Drawn JCA

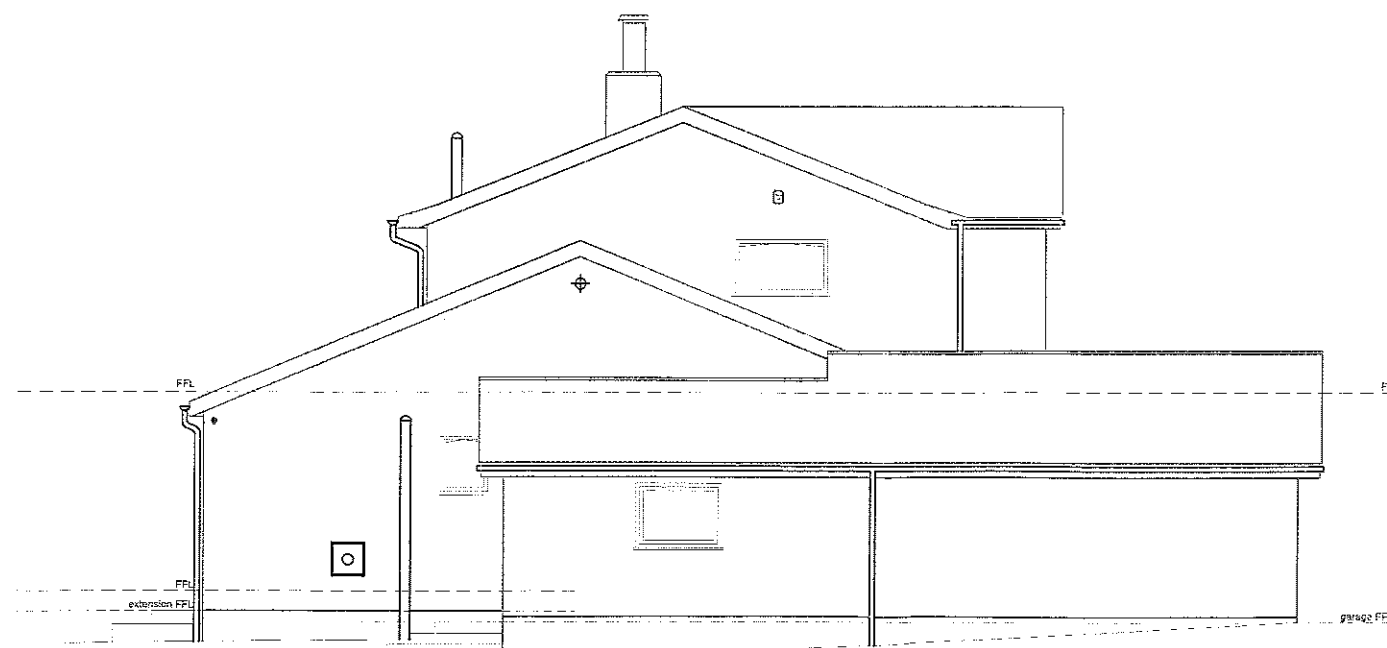
Drawing No. 2319.001	Rev A
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Existing Front Elevation

320110555P



Existing Side Elevation

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Client
Mr & Mrs Evans

Project
3 Springfield Close
Whalley
BB7 9BW

Drawing
**Existing Elevations
Front & Left Side**

Scale 1 : 100 @ A3	Date July 2010
Drawn JCA	

Drawing No. 2319.003	Rev -
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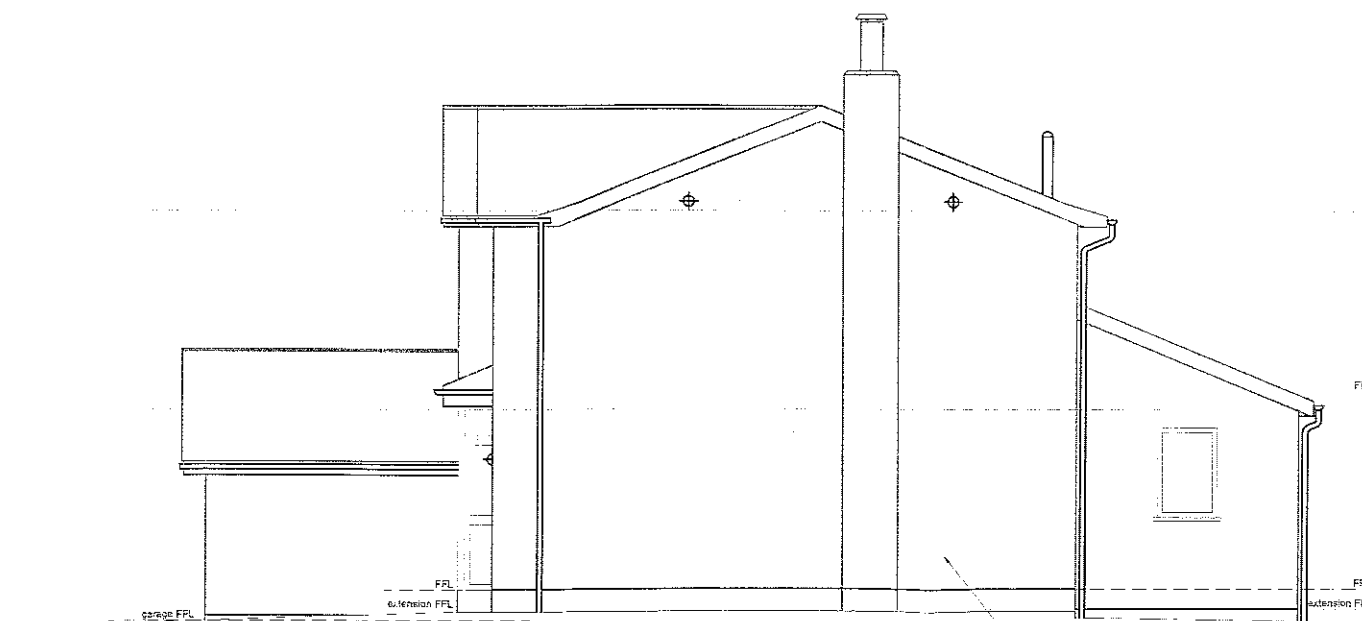
3 Springfield Close, Whalley

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Existing Rear Elevation

320110555P



Existing Side Elevation

house rendered and painted white

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Email: leemingcqs@btconnect.com

Client
Mr & Mrs Evans

Project
3 Springfield Close
Whalley
BB7 9BW

Drawing
**Existing Elevations
Rear & Right Side**

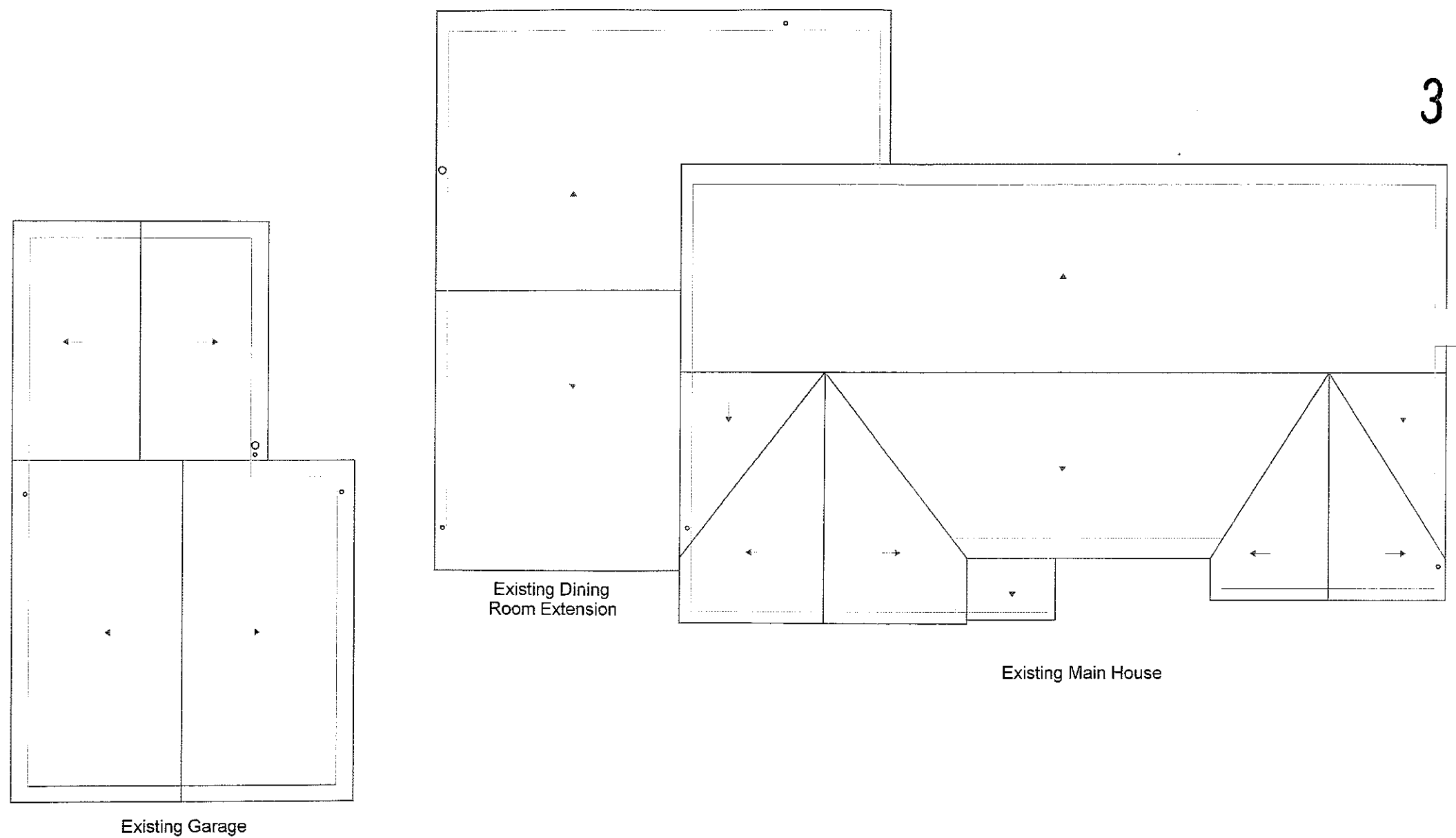
Scale 1 : 100 @ A3	Date July 2010
	Drawn JCA

Drawing No. 2319.004	Rev -
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3 Springfield Close, Whalley

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Client
 Mr & Mrs Evans

Project
 3 Springfield Close
 Whalley
 BB7 9BW

Drawing
Existing Roof Plan

Scale 1 : 100 @ A3	Date July 2010
	Drawn JCA

Drawing No. 2319.005	Rev. -
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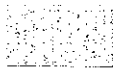
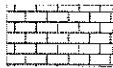
3 Springfield Close, Whalley

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Proposed Front Elevation

Key & Description

-  Render finish, painted in external grade textured masonry paint, colour Dulux Bleached Lichen No2 Ref:30YY 58/082
-  Stone cladding supplied by Fernhill Stone Limited, Ref: Derwent Stone - Coursed Weather Edged Sandstone stone cladding
-  New timber windows painted in external grade weathershield paint colour Dulux Bleached Lichen No2 Ref:30YY 58/082
-  Reconstituted chamfered edge stone cills heads and surrounds to all windows



Proposed Rear Elevation

320110555P

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Client
Mr & Mrs Evans

Project
3 Springfield Close
Whalley
BB7 9BW

Drawing
**Proposed Elevations
with External
Treatments**

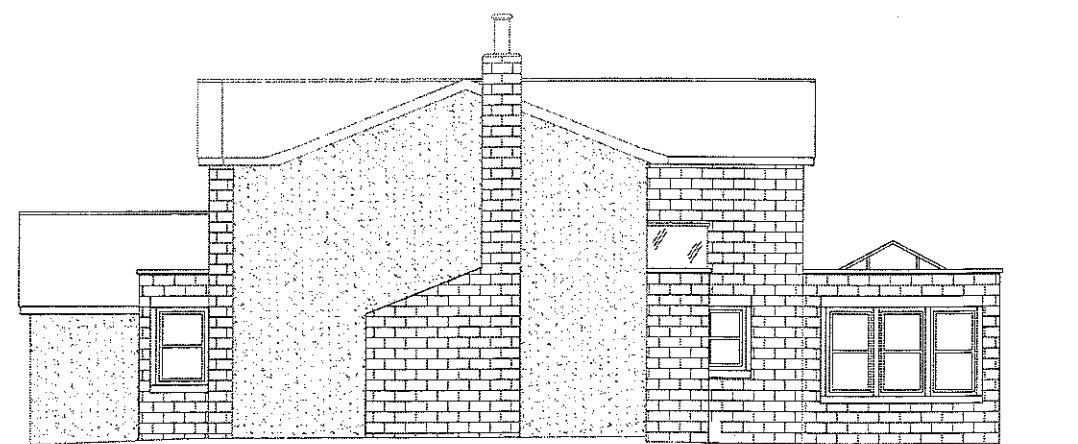
Scale
1 : 100 @ A2

Date
June 2011

Drawn
JCA

Drawing No.
2319 024

Rev-
-



Proposed Side Elevation



Proposed Side Elevation

3 Springfield Close, Whalley

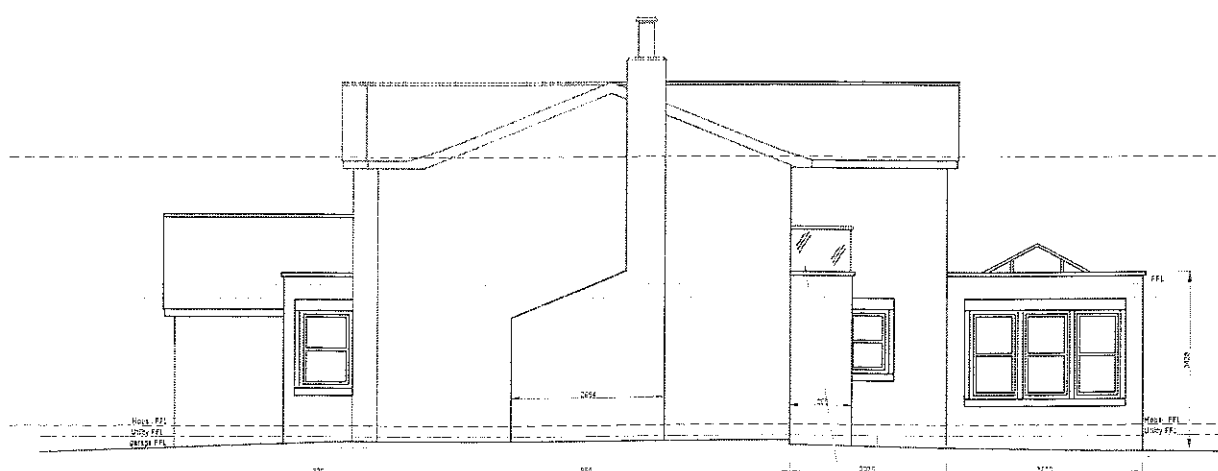
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Proposed Front Elevation

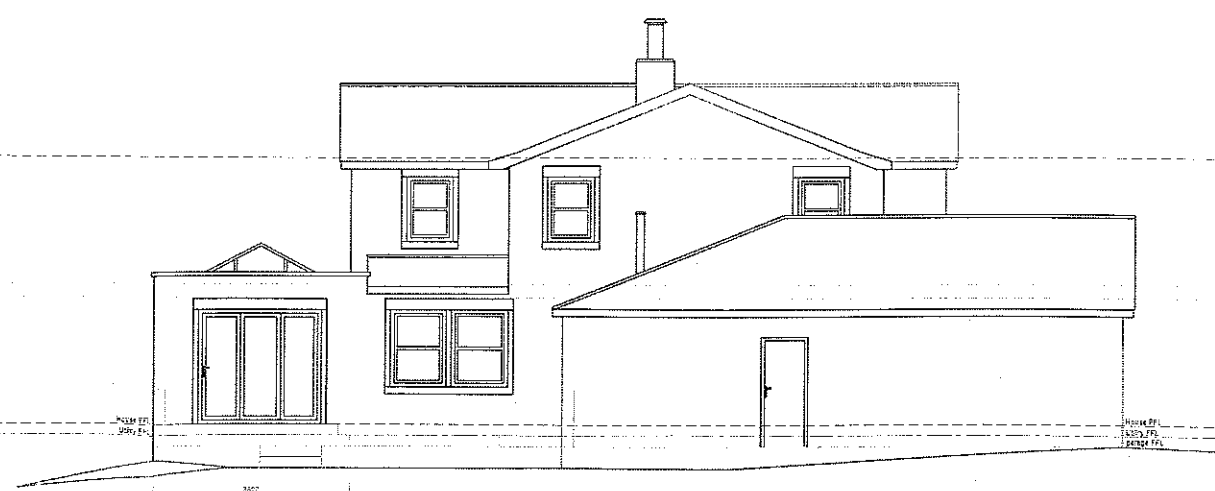


Proposed Rear Elevation



Proposed Side Elevation

balcony off master bedroom
edge protection formed with
toughened glass



Proposed Side Elevation

320110555 P

A 13.07.11 Dimensions added

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Email: office@leemingassociates.com

Client
Mr & Mrs Evans

Project
3 Springfield Close
Whalley
BB7 9BW

Drawing
Proposed Elevations

Scale
1 : 100 @ A2

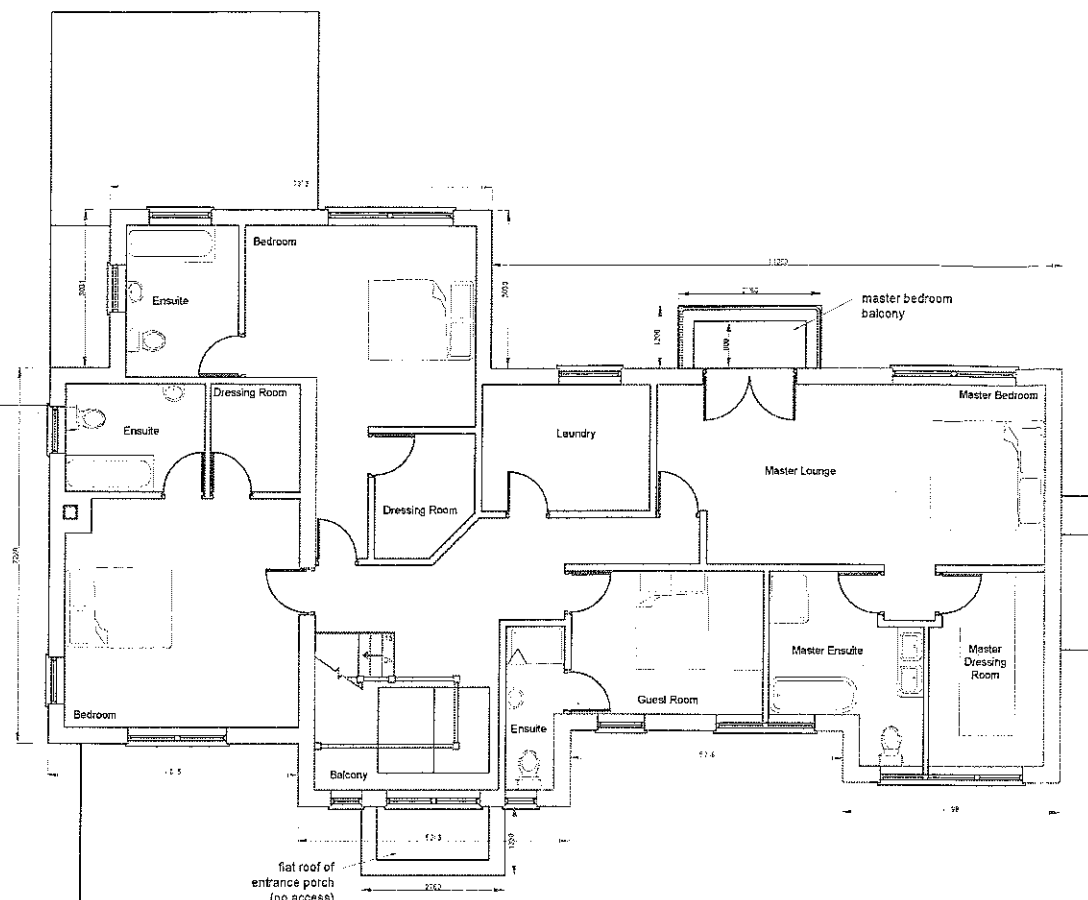
Date
June 2011

Drawn
JCA

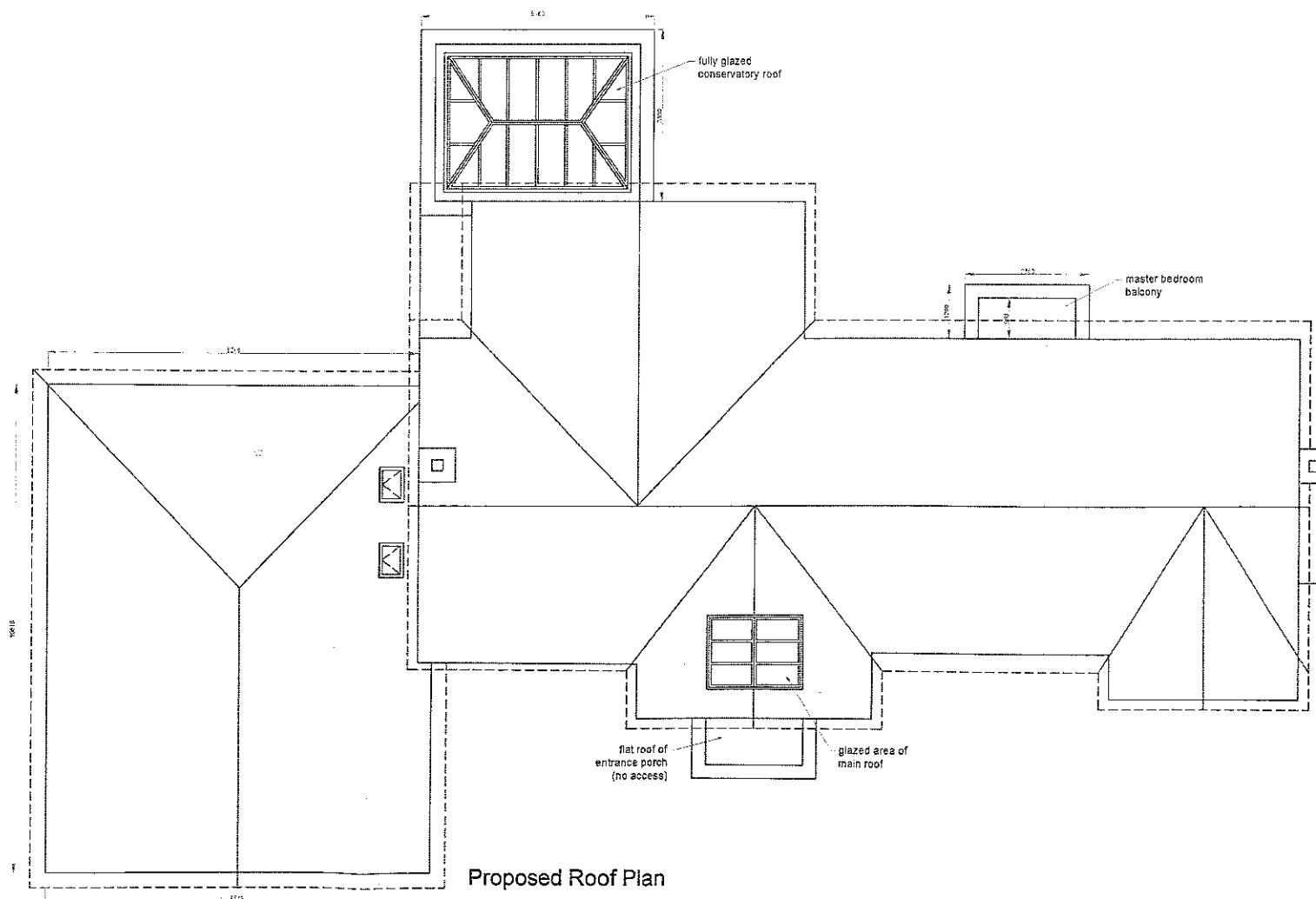
Drawing No.
2319.023

Rev
A

3 Springfield Close, Whalley



Proposed First Floor



Proposed Roof Plan

3 Springfield Close, Whalley

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A 13.07.11 Dimensions added

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Email: office@leemingassociates.com

Client
Mr & Mrs Evans

Project
3 Springfield Close
Whalley
BB7 9BW

Drawing
**Proposed First Floor
& Roof Plan**

Scale
1 : 100 @ A2

Date
June 2011

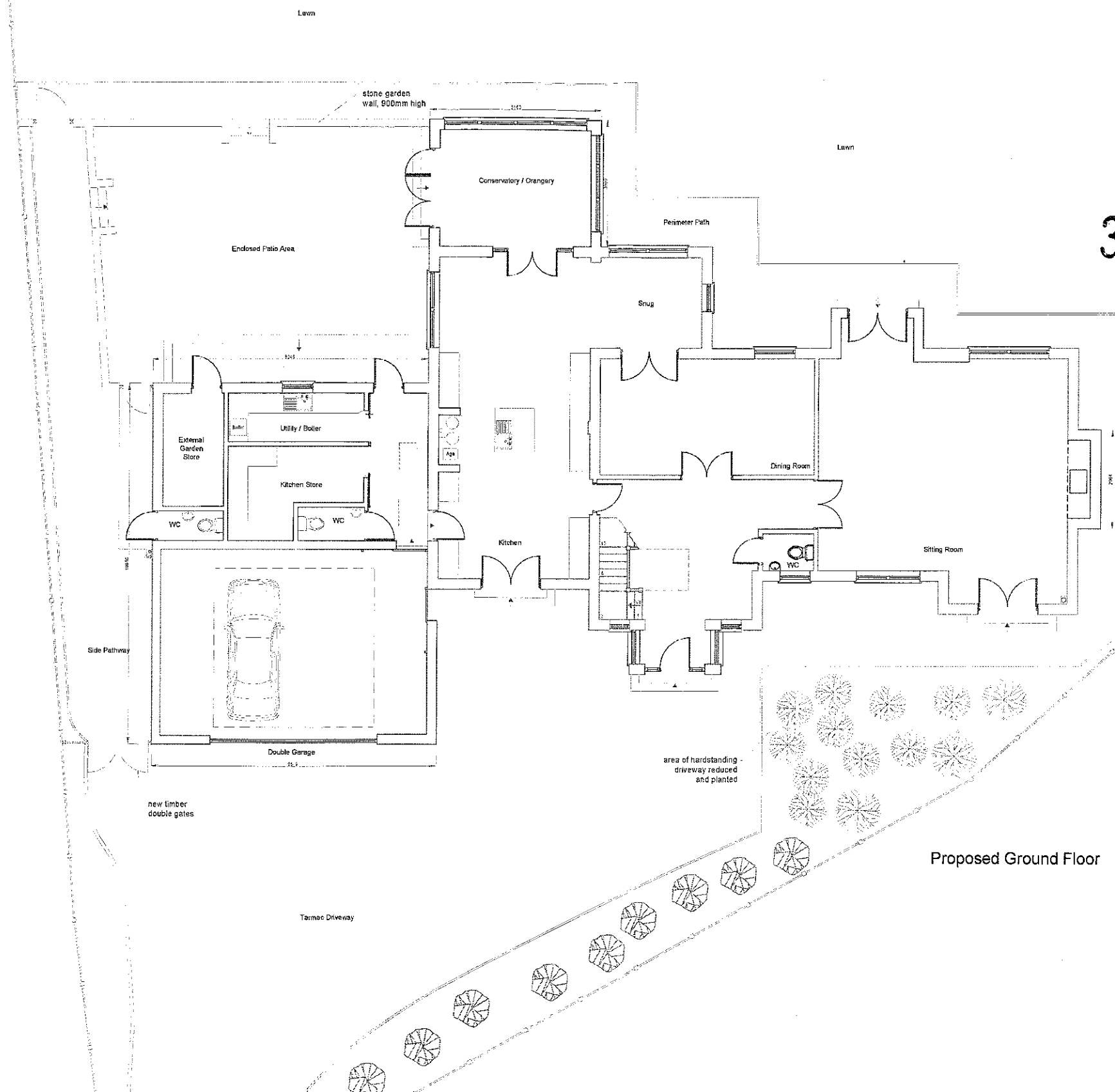
Drawn
JCA

Drawing No.
2319.022

Rev
A

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A 13.07.11 Dimensions added

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Tel: 01772 632556
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Email: office@leemingassociates.com

Client
Mr & Mrs Evans

Project
3 Springfield Close
Whalley
BB7 9BW

Drawing
Proposed Ground Floor & Site Plan

Scale
1 : 100 @ A2
Date
June 2011
Drawn
JCA

Drawing No.
2319.021
Rev
A

3 Springfield Close, Whalley

320110555 P

WILDLIFE SURVEY FOR BATS

AT

**3 Springfield Close
Whalley**



Denis Lambert
Wildlife Survey
Spout Farm, Preston Road
Longridge, Preston, Lancashire PR3 3BE
Tel: **01772 783322** Mob: **07813 140682**
E-mail: denis@wildlifesurvey.co.uk
www.wildlifesurvey.co.uk





320110555 P

BAT SURVEY & REPORT

Commissioned By:

Mrs Evans

Address:

3 Springfield Close
Whalley
Blackburn, BB7 9BW

Tel No:

01254 823448 / 07778 341395

Instruction Method:

Written

Bat Survey Address:

3 Springfield Close
Whalley
Blackburn, BB7 9BW

Visit Date/Time:

21 July 2011 @ 20.00hrs

Weather Conditions:

Overcast with no breeze and a temperature of 15°C

Document Reference:

1384



BAT SURVEY & REPORT

Survey Brief

1. To inspect buildings, assess the value of the site for bats, and compile a report prior to a Planning Application being submitted.
2. The report will identify if bats have ever used the buildings at any time, or not as the case may be.
3. If bats have used the buildings, assess the importance of the site for bats and bat conservation.

Limitations of the report

1. The aim of the survey is to prove use by bats, but does not guarantee their absence.
2. Surveys undertaken when bats are hibernating, may have to be re-assessed during summer months when bats are most active.
3. External walls and internal rooms are inspected from ground level only. Roof voids, attics and lofts will only be inspected when safe access is possible. Buildings whose structure is unsafe in any way, will only be inspected from a safe distance with the use of a pair of binoculars.
4. A bat detector will be used in all cases but daytime visits may only produce limited success. When buildings are inspected during winter months, a bat detector will have very limited results.
5. Buildings with no signs of bats on the date of the survey, may be used by individuals or small numbers of bats, in subsequent weeks, months or years.
6. Thorough inspection should reveal whether bats have been present during previous years. Small bats, e.g. pipistrelles, leave evidence of occupation in small inaccessible crevices which may be extremely difficult to detect if the bats are not present when the survey is being conducted.

Objectives of the report:

1. To thoroughly inspect all buildings, and record any findings indicating the presence or absence of bats.
2. To make recommendations when the presence of bats are found.

Survey Guidelines

This survey follows guidelines recommended by the Bat Conservation Trust (BCT Bat Surveys, Good Practice Guidelines, 2007) and Natural England (Survey objectives, methods and standards- Bat Mitigation Guidelines, 2004) and JNCC Bat Workers Manual

Survey Methods

The purpose of the survey is to look for evidence confirming that bats use, or have used the buildings for resting, feeding, roosting or winter hibernacula, or not as the case may be.

Evidence of use will include the following;

1. Presence of live or dead bats
2. Bat droppings
3. Moth and insect wings and remains.
4. Faint scratch marks on roof timbers.
5. Grease staining marks on roof timbers
6. Odour of bats.

Evening Surveys

For evening surveys, an ultra-sound receiver is used, tuned to different frequencies to pick up the noises emitted by flying bats. Bat emergence time may start half an hour before sunset, to one hour after. Fine tuning the 'bat detector' can be a very accurate way of identifying the presence of bats emerging from roof areas where human access is limited or impossible.

Time spent on suitable evenings, will confirm or not the presence of bats, and bat species identification should be possible if bats are present.

Surveying Equipment

Re-chargeable torches, one at 1 million, the other at ½ million candlepower.

8 x 32 Opticron binoculars

Bat box 'duet' bat detector, a heterodyne type sonar receiver.

Bat Scanner, a heterodyne type instrument which actively scans ultrasound for bats

Petzl headlamp torches.

A variety of folding aluminium ladders

Telescopic inspection mirrors, large and small

BAT SURVEY & REPORT

320110555 P

Bat detection methods

The size of the site or the complexity of the buildings may make daytime searches for bats very difficult. Subsequently, the detection of the presence of bats is undertaken by night visits and relies on the use of a bat detector, an instrument that picks up the ultra-sound emitted by bats, converting it into a sound audible to the human ear. Species may be identified by the frequency on which they 'transmit' and by the sonar graph of their sounds

Evening surveys

Any survey is reliant on the scope and depth of the information sourced. In an attempt to obtain more detail, an evening survey may be conducted around the site or buildings. To give greater coverage and scope, the survey is normally conducted by two persons. Ultra-sound bat detectors were used at varying frequencies throughout the duration of the survey, to pick up noises emitted by bats.

Analysis of results

Dependent on the results indicated by the bat detector, further inspection of the site may be required within the buildings to confirm any findings. Negative results from the bat detector will only indicate that bats are not present at the time of the survey

Bat habits

Bats frequently use trees and building for feeding. Insects are found at all sites, and their presence attracts bats, which may travel up to five kilometres or more, to feast in insect rich habitat. The presence of feeding bats does not indicate that the roost is close by, and this survey is undertaken to establish whether bats use any of the structures on the site as a roost

Adverse weather

Adverse weather conditions affect the ability to collect data on night visits. Cold nights, strong wind and heavy rain may prevent bats from flying, and numbers of insects may be likewise very limited. Subsequent visits should provide sufficient data and prove positive or negative results.

Risk Assessment

The level of probability that Bats are using the property is calculated on the evidence found.

Low risk:

No evidence of use by bats was found

Medium risk:

Implies that the presence or use by Bats has been identified, and the building is probably used as a feeding site.

High risk:

Identifies that Bats use the property, droppings are found and a roost is confirmed or suspected, even if bats are not present at the time of the survey.

BAT SURVEY & REPORT

320110555 P

Property

External Survey Results

Property type

House:
Extension:
Other: Garage

YES	NO
-----	----

☒	☐
☒	☐
☒	☐

Comments: The extension and garage are single storey buildings with apex roof

Construction

Stone
Brick
Other:
Bat Access Places

☐	☒
☒	☐
☐	☐
☐	☒

Comments: All walls are rendered and whitened

Roof

Stone
Tile:
Other: Stone
Bat Access Places

☐	☒
☒	☐
☐	☒
☐	☒

Comments: The rendering to the roof tiles and ridge tiles is in good condition with no bat access places

Bat Signs

Bats seen
Droppings
Bat Detector Results

☐	☒
☐	☒
☐	☒

Comments: The build quality of the premises is high with no bat access places

External Conclusions:

No signs of use by bats could be found

Risk Assessment: Low

BAT SURVEY & REPORT

320110555 P

Internal Survey Results

Is the building lived In?: Yes

Construction

Stone
Brick
Other/plaster:
Bat Access Places

YES	NO
	✓
✓	
✓	
	✓

Comments:

Roof space, attic or loft

Beams
Cracks in beams
Lined roof: Underfelt
Bat Access Places

	✓
	✓
✓	
	✓

Comments:

Bat signs

Bats seen
Droppings
Bat Detector Results
Staining on beams
Moth + insect wings present
Suspect summer roost
Suspect winter hibernacula

	✓
	✓
	✓
	✓
	✓
	✓
	✓

Comments:

Internal Conclusions:

No signs of use by bats could be found.

Risk Assessment: Low

BAT SURVEY & REPORT

320110555 P

Evening Survey

Date: 21 July 2011

Start Time: 21.00 hours

End Time: 22.15 hours

Weather: Dry and overcast with no wind, and a temperature of 15°C

Bat Suitability Evening:

Numerous midges and flying moths made this evening very suitable for foraging bats.

Survey Details:

The survey was conducted with continuous monitoring of the buildings and with the help of a 'bat detector' set at 45Khz.

Survey Findings:

The first bat to appear, a common Pipistrelle, was located flying around mature trees outside the property boundary at 21.37hrs. Three other Pipistrelles appeared in the same area and all proceeded to feed and forage around the trees and surrounding garden areas.

No bats emerged from any of the buildings under surveillance.

Evaluation of the Survey Results:

The survey could find no evidence of bats occupying the buildings.

Risk Assessment:

Low

SURVEY SUMMARY

Proposed Development

The proposal is to create additional accommodation above the existing single storey rooms

Site Description

The buildings form part of a residential development on the outskirts of a rural village. Agricultural land with mature trees adjoin the site.

Survey Results

The survey could find no evidence of bats using or ever having occupied any of the buildings

Importance of the Site

The site does not have any special wildlife importance.

Conclusions

Bats do not occupy the buildings

Risk Assessment

Low

Mitigation and Enhancement

No bat mitigation or habitat enhancement is required

Timing of works

Works may be undertaken at any time

Author: Denis Lambert

Signed: *pp C Bradshaw*

Dated: *21 July 2011*

SURVEYOR'S DETAILS

Denis Lambert is a registered and licensed Bat Warden No. 20110680 for Natural England, since 1981. Dedicated to conservation and environmental issues, he has been a keen bird watcher and mammal specialist all his life and was involved with the formation of the Lancashire Badger Group and acted as its chairman for ten years. Working as a qualified arborist (tree surgeon) he has been actively involved in protecting many species of flora and fauna over the years. Richard Bowden, a retired ex-licensed Bat Warden assists with surveillance where two persons are needed

BAT SURVEY & REPORT

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Bats and the Law

It may not be possible to determine whether the building is used as a maternity roost or just a resting place, but the fact that bat activity has been recorded, means that any work that disturbs or impacts on the colony within the buildings will require a license. Additional survey work may be necessary, especially in the evenings or early morning to determine the exact extent of use by bats and the access points that are used. Deliberate disturbance during the breeding season, the exclusion of bats and the destruction of a bat roost is now a criminal offence under the Conservation (Natural Habitats &c.) (Amendment) Regulations 2007. The onus lies on the applicant to satisfy him/her that no offence will be committed if and when the development goes ahead

Natural England now advises, *"Operations to known breeding sites should be timed to avoid the months of June, July and August if possible, the best times for building or re-roofing operations are spring and autumn"*.

How to proceed when bats are found

Depending on the extent of the proposed works, a license may be required before any work can start. If the work does not impact on the bats in any way, ie, bats are not present and the habitat and access points are not being affected, then the work may probably be done without a licence. Each site has different requirements and Natural England have the final say

When European Protected Species are present and the works cannot be done at a time when they are absent, as a licensed bat person, I can apply on your behalf for a licence to enable the works to proceed. The granting of a license is not guaranteed, but when the application is a matter of health and public safety and supporting mitigation enhances the habitat for continued use by bats, there is a good likelihood that the license will be approved. Natural England requires a minimum six weeks to process any licence application. Mitigation will include detailed information for the retention, enhancement and preservation of the population of European Protected Species in the locality

General recommendations:

Being aware of how bats move from site to site, and the possibility that bats may occur in any building, the following points should help developers.

1. Bats may use buildings at any time of the year for feeding or refuge
2. Work to the roof should be undertaken when bats are free flying, generally early March to late November
3. Care must be taken when removing existing roof beams and associated stonework
4. During completion of roof works, bat access points may be built into the new structure
5. Pointing of walls should not be carried out between mid-November to early March to avoid entombing bats, which may be hibernating within.
6. If any timber treatment is carried out, only chemicals safe for bats should be used. Any new timber used should be treated using the CCA method (Copper, Chrome Arsenic), which is safe for bats.

I shall be available to advise and oversee the above points at any time, if requested

Should bats be found, work must cease immediately in that area and then please contact:
Denis Lambert on 01772 783322 or 07813 140682 for advice.