



RIBBLE VALLEY
BOROUGH COUNCIL

14 OCT 2011

For office use only

Application No

Date received 320110849P

Fee paid £

Receipt No:

Council Offices, Church Walk, Clitheroe, Lancashire, BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.
If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

Title:	Mr & Mrs	First name:	K	Surname:	Kay
Company name:					
Street address:	Great Mitton Hall		Country Code	National Number	Extension Number
	Mitton Road		Telephone number:		
	Mitton		Mobile number:		
Town/City:	Clitheroe		Fax number:		
County:	Lancs		Email address:		
Country:					
Postcode:	BB7 9PQ				
Are you an agent acting on behalf of the applicant? <input checked="" type="radio"/> Yes <input type="radio"/> No					

2. Agent Name, Address and Contact Details

Title:	Mrs	First Name:	Judith	Surname:	Douglas
Company name:	Janet Dixon Town Planners Ltd				
Street address:	10A Whalley Road		Country Code	National Number	Extension Number
			Telephone number:	01200 425051	
			Mobile number:		
Town/City:	Clitheroe		Fax number:		
County:	Lancs		Email address:		
Country:					
Postcode:	BB7 1AW		judith@jdixontownplanners.co.uk		

3. Description of Proposed Works

Please describe the proposed works:

Proposed new detached garage, boundary wall, gates and hard landscaping.

Has the work already been started without planning permission?

☐ Yes ☒ No

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:	<input type="text"/>	Suffix:	<input type="text"/>
House name:	GREAT MITTON HALL		
Street address:	MITTON ROAD		
	MITTON		
Town/City:	CLITHEROE		
County:	<input type="text"/>		
Postcode:	BB7 9PQ		

Description of location or a grid reference
(must be completed if postcode is not known):

Easting:	371526
Northing:	438922

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle
access proposed to or from
the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian
access proposed to or
from the public highway?

☒ Yes ☐ No

Do the proposals require any
diversions, extinguishment and/or
creation of public rights of way?

☐ Yes ☒ No

If Yes to any questions, please show details on your plans or drawings and state their reference number(s):

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within
falling distance of your proposed development?

☒ Yes ☐ No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☒ Yes ☐ No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers (e.g. T1 T2 etc) and state the reference number of any plans or drawings:

8. Parking

Will the proposed works affect existing car parking arrangements?

☐ Yes ☒ No

9. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☐ Yes ☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☒ The agent ☐ The applicant ☐ Other person

11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

11. (Materials continued)

Walls - description:

Description of *existing* materials and finishes:

N/A

Description of *proposed* materials and finishes:

Natural random stone and oak boarding

Roof - description:

Description of *existing* materials and finishes:

Natural stone slate and natural blue slate

Description of *proposed* materials and finishes:

Natural blue slate

Boundary treatments - description:

Description of *existing* materials and finishes:

Random stone walls and Leylandii hedge

Description of *proposed* materials and finishes:

Random stone wall with timber gates

Vehicle access and hard standing - description:

Description of *existing* materials and finishes:

Gravel

Description of *proposed* materials and finishes:

Natural stone paving

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Planning Statement

Heritage Statement

3758-10 Existing site plan and location plan

3758-09 Proposed plan elevations and images

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12. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title:

Mrs

First name:

Judith

Surname:

Douglas

Person role:

Agent

Declaration date:

13/10/2011



Declaration made

12. Certificates (Agricultural Land Declaration)

Agricultural Land Declaration

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding.

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

If any part of the land is an agricultural holding, of which the applicant is the sole tenant the applicant should complete part (B) of the form by writing 'sole tenant - not applicable' in the first column of the table below

Title:

Mrs

First Name:

Judith

Surname:

Douglas

Person role:

Agent

Declaration date:

13/10/2011



Declaration Made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.



Date

13/10/2011

EXISTING SITE PLAN AT 1:200

EXISTING HEDGE

GRAVEL SURFACE

EXISTING TREES

GRID

STONE PAVING

GRAVEL
SURFACE

EXISTING
TREES

GRID

STONE
PAVING

SITE LOCATION @ 1:2500

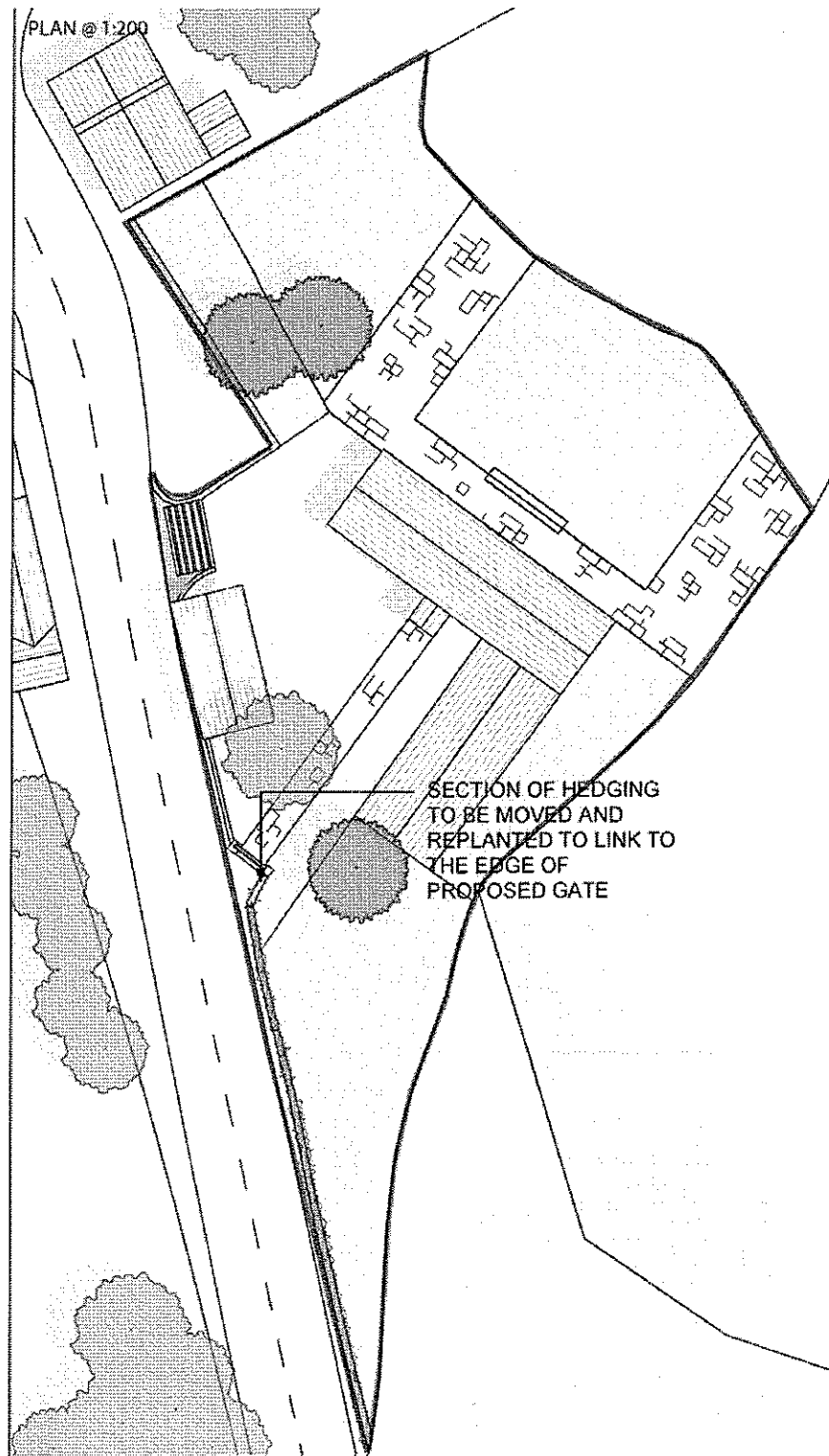
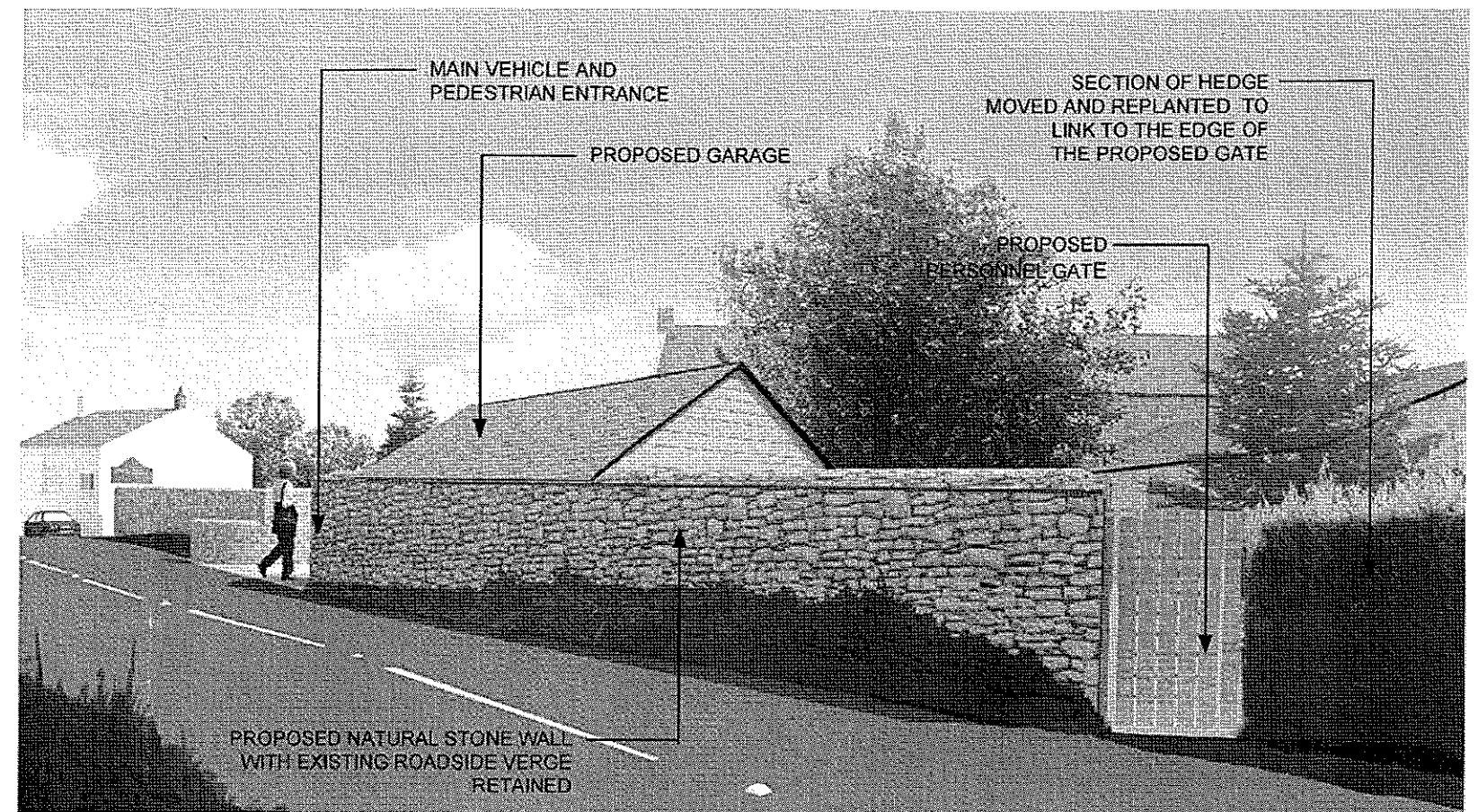
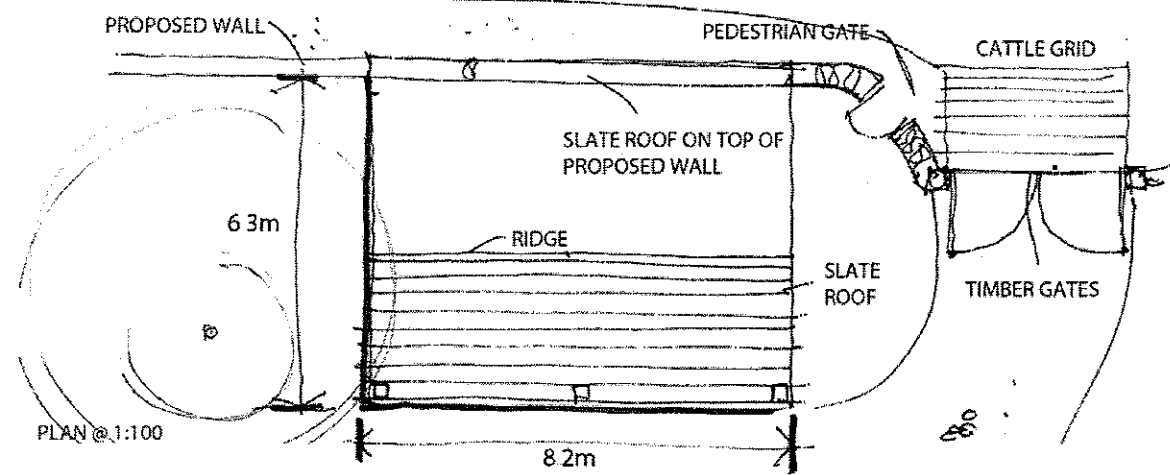
The map displays the following locations and features:

- Top Left:** Bailey Cottages, Poultry Farm Cottages, 58.5m elevation.
- Top Center:** ET Sub Sta, 51.5m elevation.
- Top Right:** The Barn, The Old Vicarage.
- Center:** All Hallows House, TCB, Church Cott, All Hallows Cross Church, Great Mitton Hall.
- Left Side:** Three Fishes (PH), B626 road, Hillcrest.
- Bottom Left:** Mitton Old Hall Farm.
- Bottom Center:** Great Ouse river, Mitton Bridge, 47.2m elevation.
- Bottom Right:** Aspinall Arms (PH), 41.1m elevation.
- Right Side:** Large number 3201, Great Mitton.
- Other Features:** Trails, Footpaths, and various building footprints.

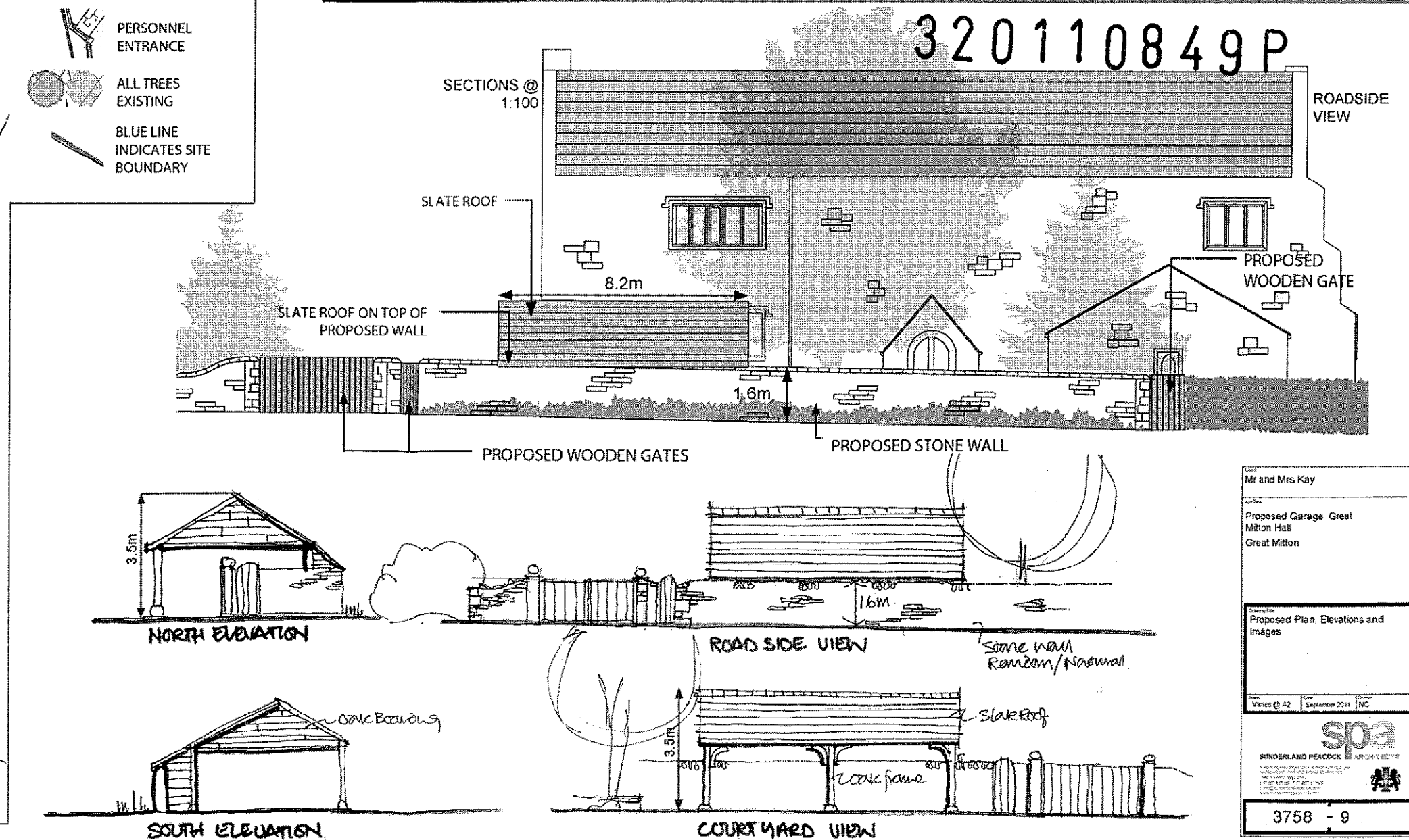
Great Mitto

$$3758 - 10$$

APPLICATION FOR NEW GARAGE, WALL AND PEDESTRIAN GATES



- KEY TO PLAN:
- NATURAL STONE PAVING
 - GRAVEL
 - ENTRANCE AREA AND CATTLE GRID
 - PERSONNEL ENTRANCE
 - ALL TREES EXISTING
 - BLUE LINE INDICATES SITE BOUNDARY



Mr and Mrs Kay

Proposed Garage Great Milton Hall Great Milton

Proposed Plan, Elevations and Images

Scale: 1:100

3758 - 9

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DESIGN AND ACCESS STATEMENT

SITE: GREAT MITTON HALL, MITTON, WHALLEY, LANCASHIRE.

PROPOSAL: PLANNING APPLICATION FOR THE ERECTION OF A NEW GARAGE AND BOUNDARY WALL.

1. INTRODUCTION

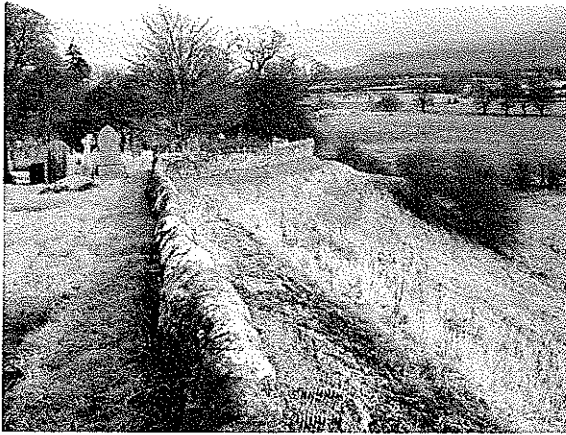
- 1.1 This design and access statement is in support of an application to erect a garage and new boundary wall within the garden of Great Mitton Hall. It should be read in conjunction with the Heritage Statement submitted with this application.

2. PLANNING HISTORY

- 2.1 The recent planning history of the site is as follows:
- 2.2 3/2007/0582 Modification of condition no.2 of planning consent 3/1998/0048P to convert consulting rooms to domestic use planning permission approved
- 2.3 3/2009/0055 proposed new garage and conversion of garage to office/study planning permission refused
- 2.4 3/2009/0054 Proposed new garage and conversion of garage to office/study. New stone boundary wall listed building consent approved.
- 2.5 3/2009/0624 Conversion of existing residential garage to form office/study accommodation re-submission planning permission approved

3. SITE AND SURROUNDINGS

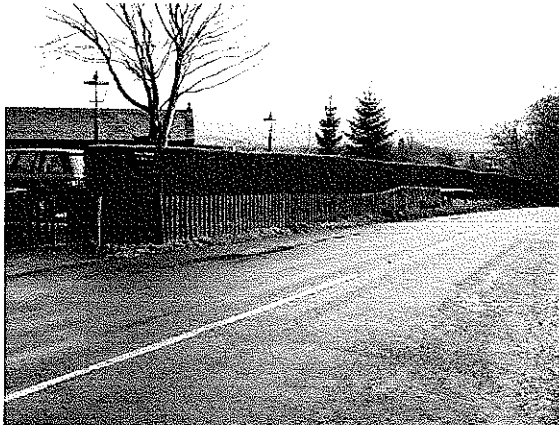
- 3.1 Great Mitton Hall is a Grade II listed building dating from about 1600 to the north east of the Hall is the Grade I listed All Hallows church. A stone boundary wall divides the garden area of Great Mitton Hall from the agricultural land to the south. This wall stands at the top of the escarpment and extends round the southern side of the grave yard to All Hallows Church. A stone boundary wall also divides the garden on the east side of the house from the grave yard. Another stone wall separates the side garden from the area of grass adjacent to the road on the north west side of the house. However in contrast the boundary between the garden and Mitton Road is defined by a leylandii hedge. See photographs below.



Stone boundary wall at the top of the escarpment around the garden and the grave yard.



The stone boundary wall to the north west of the house dividing the garden from the grass adjacent to the road.



The leylandii hedge dividing the garden from Mitton Road

4. PROPOSAL

- 4.1 The proposal is construct a new garage and boundary wall to the south west of Great Mitton Hall. The garage has a foot print of 6.3m by 8.2m. It is to be constructed with an oak frame, stone wall and slate roof. The boundary wall will replace a large section of

the leylandii hedge. New wooden gates are proposed at the vehicle and pedestrian entrances. Within the garden area of the house natural stone paving is proposed between the new pedestrian entrance and the house door. The new boundary wall will be constructed so that it will also act as the rear wall of the garage.

- 4.2 Planning permission is required for the development as the development is within the curtilage of a listed building. Listed building consent is not required because the development does not involve alterations to the listed building.

5. PLANNING POLICY

- 5.1 The main component of the Development Plan (against which all planning applications have to be considered) is the Ribble Valley Local Plan (adopted in June 1998).

Ribble Valley Local Plan

- 5.2 The following saved policies of the adopted Ribble Valley Local Plan are relevant to the proposal:
- Policy G1: Development Control – all development proposals will be expected to provide a high standard of building design and landscape quality. The various detailed criteria to be applied in deciding planning applications are set out in the policy, including the development being sympathetic to visual appearance and existing amenities;
 - Policy ENV3: Open Countryside – in the open countryside development will be required to be in keeping with the character of the landscape area;
 - Policy ENV19: The Setting of Listed Buildings – requires various matters to be taken into account including; the desirability of preserving the setting of the listed building; the effect of the proposed development on the character of the listed building; the contribution the listed building makes to the countryside; the extent to which the proposed works would bring substantial benefits to the community including the enhancement of the environment;

- Policy H10: Residential Extensions – requires development to be considered on the basis scale design and massing of the proposals in relation to the surrounding area;

National Policy

- 5.3 PPS5: Planning for the Historic Environment and PPS5 Planning for the Historic Environment: Historic Environment Practice Guide, give guidance on how applications affecting listed building and the historic environment should be considered.

6. PLANNING ASSESSMENT

Planning Policy Statement 5: Planning for the Historic Environment.

- 6.1 *Planning Policy Statement 5: Planning for the Historic Environment* (PPS5, 2010) has amended the national approach to considering the impact of development proposals on the historic environment. PPS5 and the companion practice guide, require applications for planning permission to be accompanied by a Heritage Statement where the proposal affects a heritage asset. In deciding whether a heritage asset is affected by a proposed development any potential heritage assets need to be identified. In some cases this is quite obvious because the building or structure has statutory protection such as a listed building or registered park or garden these are termed as *designated assets*. In other cases the heritage asset may have been identified by the local planning authority through the plan making process eg. building of townscape merit, within a conservation area, or it may have been identified through the development management process. The PPS5 practice guide defines the difference between a heritage asset and other components of the environment is that a *'heritage asset holds meaning for society over and above its functional utility.'* It is this heritage significance that justifies a degree of protection in planning decisions.
- 6.2 A Heritage Statement prepared by JWRC Chartered Building Surveyors and Historic Building Consultants accompanies this application. The purpose of the Heritage Statement is to identify the heritage asset, assess the significance of the heritage asset and finally to assess the impact of the development on the heritage asset.

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- 6.3 The Heritage Statement identifies the area within the curtilage of Great Mitton Hall where the garage is proposed is less significant than other parts of the garden. It identifies negative features within this area. The present leylandii hedge adjacent to the road detracts from the setting of the Hall. The hard landscaping in front of the Hall from the cattle grid to the front door is a uniform carpet of gravel with no pedestrian route to the front door. Cars parked on the site of the proposed garage are prominently visible in front of the Hall.
- 6.4 The Heritage Statement states that the proposed garage is appropriate in its design and scale using materials which are appropriate to the area.
- 6.5 In assessing the effect of the development on the identified asset it concludes that there are aspects of the development that will benefit the heritage asset. The most prominent part of the Leylandii Hedge will be replaced by a dry stone wall. A route from the main entrance will be defined by a pedestrian gate and a stone paved path. Cars parked in front of the Hall and the gravelled access and turning area will be hidden from public view by the garage and timber entrance gates. A new stone boundary wall will not be an alien feature as is demonstrated by the various walls around the site photographed above. The photograph below taken in 1899 shows a stone boundary which used to stand at the corner of Church Road and Mitton Road. This wall and the single storey part of the tea rooms have since been demolished perhaps when the garage that now stands on the corner was built. The photograph demonstrates that historically there have been stone walls boundary walls adjacent to the road in close proximity to the site.

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- 6.6 The proposal satisfies the requirement of PPS5 and the accompanying Practice Guide.
- 6.7 The proposed garage meets the requirements of the local Plan Policies. In addressing the negative features of the present setting of the listed building the proposed development will enhance the setting of the listed building and the visual appearance of the countryside in accordance with policies ENV3 and 19. The proposal also meets the requirements of policies G1 and H10.

Highways and Access

- 6.8 The proposed boundary wall is to be positioned where the present leylandii hedge stands. There will be no change to the visibility for drivers at the entrance to the site. The proposed pedestrian gate is set back from the road verge, providing a safe area on which to stand before walking onto the verge and road.

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Neighbour Amenity

- 6.9 The proposal will not have any direct impact on the amenity of neighbouring properties.

7. CONCLUSION

- 7.1 The proposed garage, gates and boundary wall will add to rather than detract from the setting of Great Mitton Hall. The boundary walls continue the provision of walls around the site and will replace the most prominent part of the inappropriate boundary hedge. The garage is appropriate in scale to the building and is proposed in appropriate materials. It will screen vehicles from view and thereby enhance the setting of the listed building.

Judith Douglas Bsc (Hons) Dip TP, MRTPI
Janet Dixon Town Planners Ltd
10A Whalley Road
Clitheroe. BB7 1AW. Tel: 01200 425051.
October 2011

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DIRECTOR OF COMMERCIAL SERVICES	
14 OCT 2011	
FAO	

Great Mitton Hall

Great Mitton, Lancashire



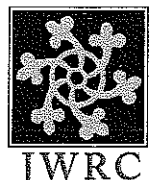
Proposed Garage & Boundary Wall Heritage Statement

September 2011

JWRC
Chartered Building Surveyors & Historic Building Consultants
23 West Street
Morecambe
Lancashire LA3 1RB

01524 833371

enquiries@jwrc.co.uk



1.0 Introduction

1.1 The Purpose of the Report

This Heritage Statement has been prepared to provide supporting information for a planning application for the construction of a new garage and boundary wall to the south-west of Great Mitton Hall. The Hall is Listed Grade II and any development may therefore affect its setting.

2.0 The Significance of the Building

2.1 Historical Background

'A History of the Parish of Mitton' by F.G. Ackerley suggests that the house now called Great Mitton Hall is on the site of the Rectory, which was mentioned in a document of 1338 describing another house to be erected nearby for a vicar. Architectural evidence, discussed in more detail below, suggests that the surviving part of the house, and the aisled barn on the opposite side of the road, date from around 1600 but that an earlier open hall once existed. Ackerley's book is not helpful in identifying the builder of the present house, but Whitaker's 'History of the Original Parish of Whalley' records that the rectory and advowson of the vicarage of Mitton were purchased around 1603 by Richard Sherburne (1546-1629) of Stonyhurst. The Sherbournes were a powerful and wealthy Catholic family that had a long association with Great Mitton Church and had built the Sherburne Chapel there a few years earlier. It seems likely that they enlarged the house shortly after the purchase.

The present bridge over the River Ribble at Great Mitton was built in the early 19th century. Jeffrey's map of Yorkshire, surveyed between 1767 and 1771 (Figure 1), appears to show the main road following what is now Church Lane, to the north of the church, and then turning south to cross the river upstream of the present bridge. This confirms that the present road to the west of the Hall was probably built at the same time as the bridge and helps to explain why the Hall range was demolished and why the aisled barn is now separated from the house by a main road. Demolition of the hall range appears to have happened before the date of the first six-inch Ordnance Survey map, which was published in 1848. The small scale of this map makes it difficult to interpret, but it appears to show a small projection on the south-west side of the Hall that probably represents the small outbuilding that existed before the present wing was added in the late 20th century.

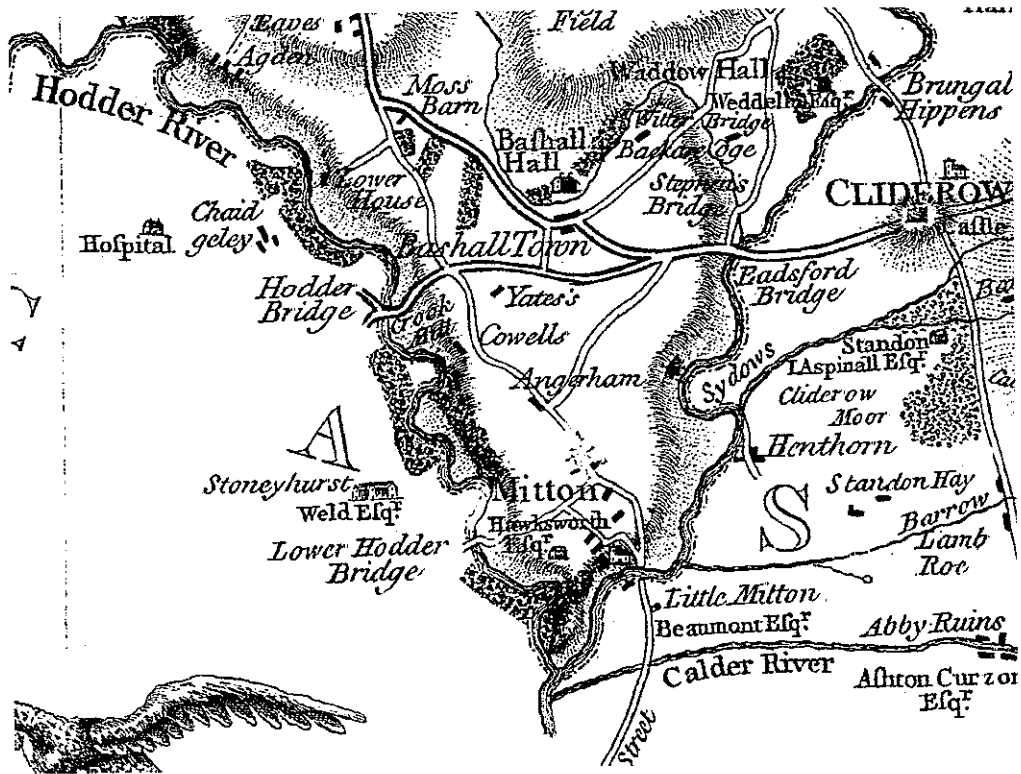


Figure 1. Jeffrey's map of Yorkshire, surveyed 1767-71.

2.2 The History of the Hall

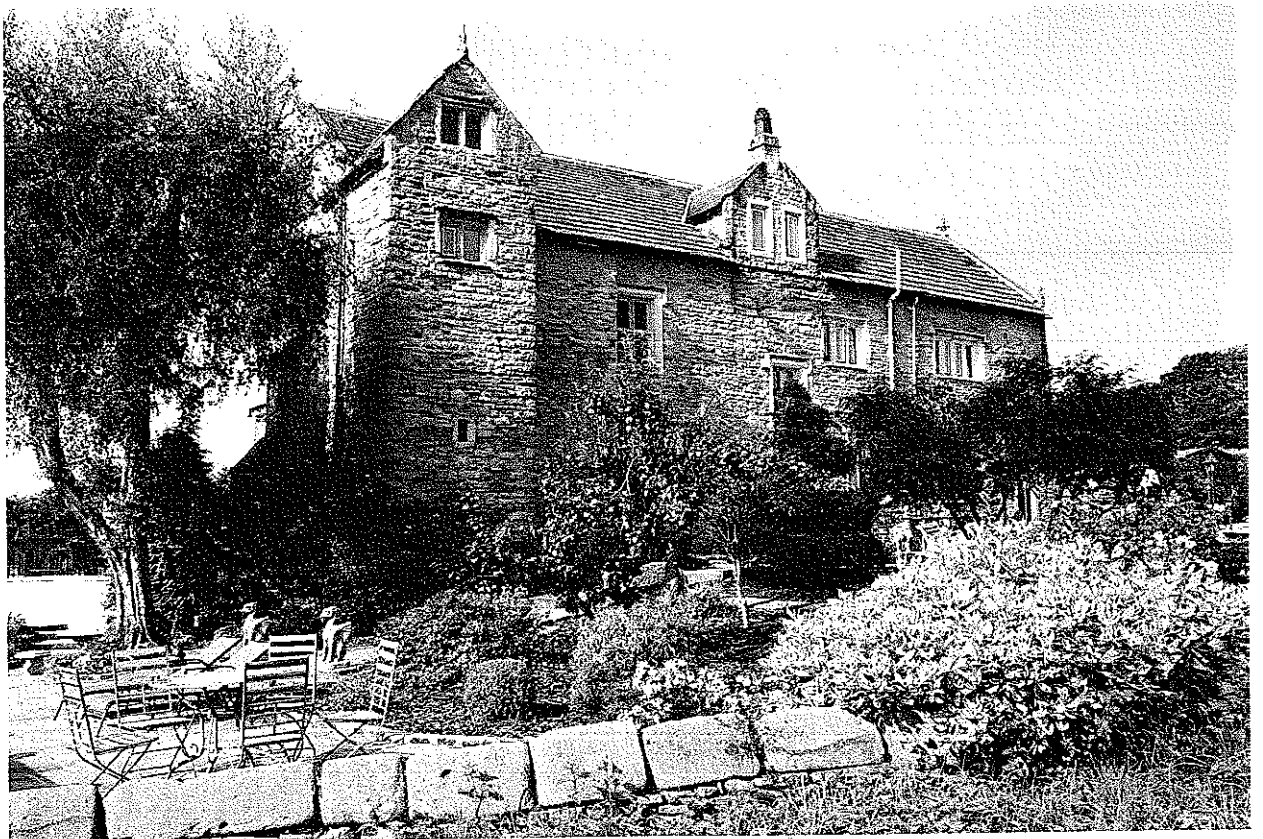
The interior of the Hall has not been examined in detail, but the broad outline of the development of the house is clear. Its architectural features (deeply recessed mullioned windows, doorways and fireplaces with flat 'Tudor' arches, deeply chamfered ceiling beams) are characteristic of the period around 1600. At this time many of the Lancashire gentry rebuilt or remodelled their houses in the fashionable Elizabethan or Jacobean style, providing them with more private and comfortable accommodation. With a few exceptions, stone external walls replaced timber framing. Some of the houses built in the Ribble Valley at this time (such as Hacking Hall) were regular and symmetrical, but at other sites the medieval pattern of having a group of linked ranges, wings and outbuildings continued. At Great Mitton Hall the south-west wall has clear evidence that the surviving house was a wing built onto an earlier timber-framed open hall and that (because there are blocked inter-connecting doorways) the hall remained in use after the wing was built. This helps to explain why the present house lacks an imposing entrance facade.

It is not clear exactly when the former open hall was demolished. The present entrance porch is on its site, but its 14th century outer doorway is re-set. Its inner doorway has a 19th century stone surround, supporting the assumption that demolition happened when the road to the new bridge over the River Ribble was built. At Little Mitton Hall, on the opposite side of the river, the timber-framed open hall survives. It was encased in stone and (as at Great Mitton Hall) a new stone wing was added around 1600, but its present external appearance is the result of 19th century restoration.

Like many similar houses, by the beginning of the 19th century Great Mitton Hall had descended in status to become a farmhouse. It was recorded by John Buckler at this time (Figure 2). His drawing shows an imposing building with the remains of a lime render, numerous blocked windows, and large buttresses added to its gable. Comparison with a modern view (Photograph 1) shows many detailed changes. The English Heritage 'Pastscape' record includes a comment made by an Inspector of Historic Buildings in 1963, that 'The exterior of the Hall has little architectural interest.' This is unfair, but reflects the fact that the exterior is irregular and lacks any strong architectural compositions. Since that comment was made the house has been extensively restored in the late 20th century by the previous owners, with some of the less sympathetic modern alterations being reversed, stonework being repaired, and a single-storey wing being built to replace an outbuilding on the south-west side.



Figure 2. John Buckler's early 19th century watercolour drawing of Great Mitton Hall Copied from an original in Stonhurst College Library.



Photograph 1 Modern view of the Hall from approximately the same position.

2.3 The Present Architectural Character of the Hall and its Setting

The most important views of the Hall are from the church and from the bridge over the River Ribble. Both structures are Listed (Grade I and Grade II). Not only are these the most prominent views, but they also include the most significant architectural features: the tall gable with buttresses and wide mullioned windows is visible from the bridge, and the stair or garderobe tower is visible from the churchyard. The north-east side of the building, facing the churchyard, has (as well as the tower) a dormer, mullioned and mullioned and transomed windows, all arranged in picturesque irregularity.

The north gable wall, visible from the main road, has evidence of rebuilding confirmed by the chimney on the Buckler drawing (Figure 2) and is blank on the ground floor.

The south-west side of the house, facing the site of the proposed garage, has few openings - the doorways into the hall range seems to have been blocked up after it was demolished. The largest window, on the ground floor, has had the spacing of its mullions altered, and all the windows are now glazed with single sheets of glass. In contrast to the north-east side and to the south-east gable, this side of the house is largely hidden from public view.

The single-storey wing added in the late 20th century is a low-key addition that is clearly subsidiary to the main house, with mullioned windows and a facing of rubble stone. The present owners have replaced an incongruous brown garage door (Photograph 2) with a window to match the others. The garage was unusable because it was too small to accommodate their car and because the low wall surrounding the tree in front of it made access too difficult.

The public views of the site of the garage and wall are from the main road running through Great Mitton. Photographs 8 to 10 show that when approached from the north the area in front of the Hall is largely concealed from view until nearly level with the site. Photograph 8 also shows that the wider setting includes a wall and a farm building with a slate roof bordering the opposite side of the road.



Photograph 2. The modern wing before the garage door was replaced by a window.

2.4 Negative Factors

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At present some elements of the setting of the Hall, when seen from the road, detract from its historic character. They include the following:

- The long uniform length of bright green Leylandii hedging is discordant when seen next to the native woodland and hedgerows on the approach to the bridge over the Ribble (Photograph 13).
- The approach is across a cattle grid and a uniform carpet of gravel, with no pedestrian route to the front door (Photographs 5 & 7).
- Cars parked on the site of the proposed garage are prominently visible in front of the Hall (Photograph 10).

3.0 The Proposal

3.1 The Effect on the Historic Character of the Hall

The proposed garage is clearly subsidiary to the main building, which originally would have had a number of outbuildings in close proximity. The materials are appropriate to the area. Mixed stone rubble (predominantly sandstone) is used for the main house and for local stone walls and will be used for the new wall bordering the road. Welsh slate has been used locally since the mid 19th century, is used for the slope of the roof of the house that faces the road and for the farm building opposite, and will be used for the garage roof. The demolished open hall on the site almost certainly had an oak timber frame, the aisled barn opposite still does, and oak is therefore an appropriate material for the frame of the garage. The roof of the garage will rise from the new stone roadside wall. This reduces the apparent size of the building, echoes the roof of the farm building on the opposite side of the road and is a detail found on farm buildings in Lancashire.

In addition, the proposal will counteract some of the elements that currently detract from the setting of the Hall:

- The most prominent part of the Leylandii hedge will be replaced by a dry stone wall.
- A route to the main entrance will be defined by a pedestrian gate and a stone paved path.
- Cars parked in front of the Hall, and the gravelled access and turning area, will be hidden from public view by the garage and timber entrance gates.

4.0 Conclusions

The character of Great Mitton Hall reflects its history as a wing added to a medieval house: it is picturesque and irregular rather than formal. The side facing the proposed garage lacks architectural features because it originally abutted the open hall, now demolished, and because the present main road dates from the early 19th century. Unlike the side facing the churchyard, it is largely hidden from public view. The proposed garage and wall use appropriate materials and simple vernacular forms and are of an appropriate scale. The proposal also has the advantage of replacing some elements that currently detract from the setting of the Hall.

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Appendix 1

Additional Photographs

Photograph 3

The north-east side of the house, viewed from the churchyard



Photograph 4

Great Mitton Hall and Church, viewed from Mitton Bridge.



Photograph 5

The south-west side of the house, with the outline of the roof of the demolished open hall visible above the porch.



Photograph 6

The site of the proposed garage, between the wellhead to the right and the raised planting bed to the left of the car.



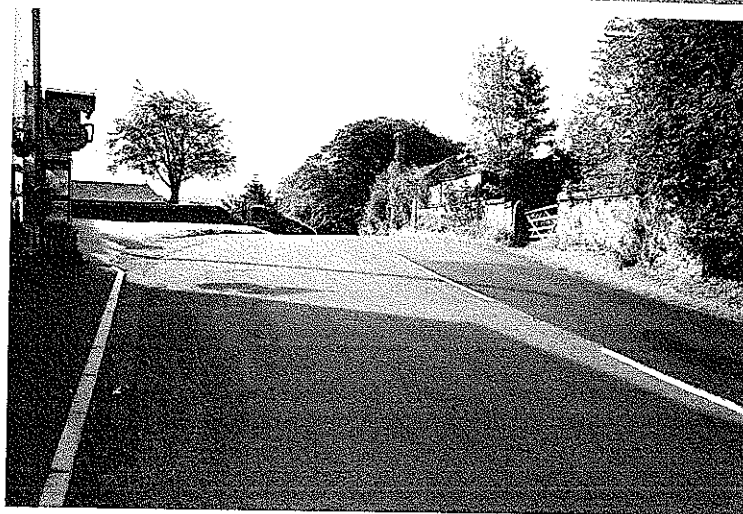
Photograph 7

The vehicle and pedestrian entrance as it exists now, with a wooden fence and leylandii hedge to the right of the cattle grid and an expanse of gravel in front of the porch.



Photograph 8

When travelling south through Great Mitton the brow of the hill means that the area in front of the Hall is largely concealed from view. On the right-hand side of the road are semi-derelict farm buildings, including a single-storey building with a slate roof which would be echoed by the roof of the proposed garage.



Photograph 9

From the opposite side of the road the leylandii hedge and the parked car are more prominent.



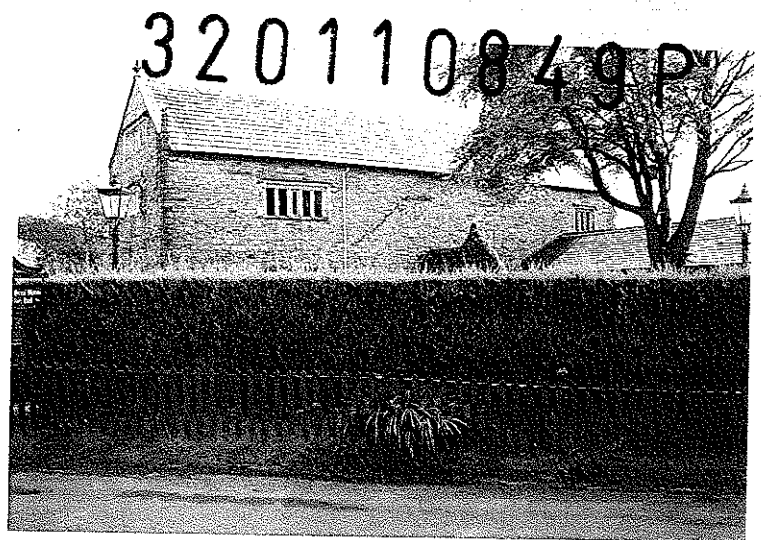
Photograph 10

When passing close to the entrance the parked car is particularly prominent.



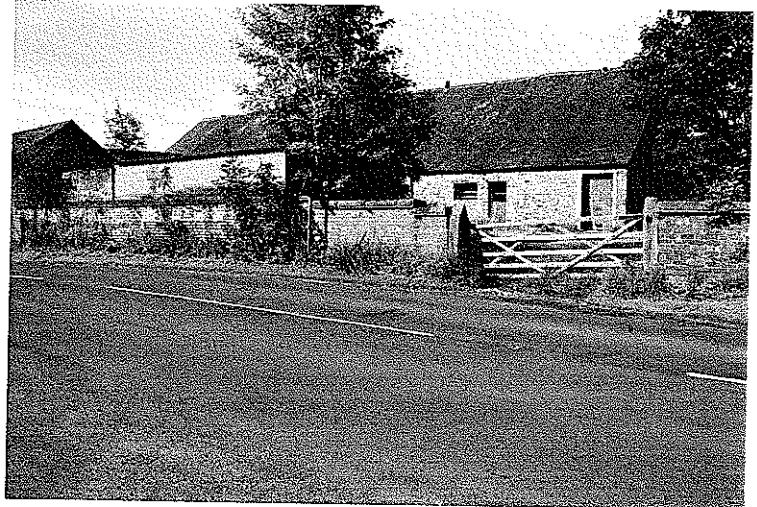
Photograph 11

The present view of the Hall from the road. The fence and hedge would be replaced by a stone wall, with the slate roof of the garage above.



Photograph 12

The barn on the opposite side of the road looks unremarkable on the outside, but the present stone cladding is an addition to the original timber-framed aisled barn. It dates from around 1600 and was probably built at the same time as the surviving part of Great Mitton Hall. The Hall would originally have had other ancillary buildings, but no evidence for them now survives.



Photograph 13

The approach to Great Mitton from the south, with the long length of leylandii hedging visible at the right striking a rather discordantly suburban note when seen next to the native trees and hedgerows.

