



Council Offices, Church Walk, Clitheroe, Lancashire, BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

02 NOV 2011

ATTENTION OF

For office use only

Application No

320110870P

Date received

Fee paid £

Receipt No:

Application for listed building consent for alterations, extension or demolition of a listed building.  
Planning (Listed Buildings and Conservation Areas) Act 1990

You can complete and submit this form electronically via the Planning Portal by visiting [www.planningportal.gov.uk/apply](http://www.planningportal.gov.uk/apply)

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application.

1. Applicant Name and Address

Title: Mr First name: COLIN  
Last name: CONLIFFE  
Company (optional):  
Unit: House number: 25 House suffix:  
House name:  
Address 1: CHURCH STREET  
Address 2: RIBCHESTER  
Address 3:  
Town: PRESTON  
County: LANCASHIRE  
Country: ENGLAND  
Postcode: PR3 3XP

2. Agent Name and Address

Title: Mr First name: BEN  
Last name: RODGERS  
Company (optional):  
Unit: House number: 24 House suffix:  
House name:  
Address 1: MANOR ROAD  
Address 2: INSKIP  
Address 3:  
Town: PRESTON  
County: LANCASHIRE  
Country: ENGLAND  
Postcode: PR4 0UL

3. Description of Proposed Work

Please describe the proposals to alter, extend or demolish the listed building(s):

DEMOLITION OF EXISTING  
GARDEN STORE AND  
ERECTION OF NEW GARDEN STORE  
ATTACHED TO EXISTING FUEL STORE.

**3. Description of Proposed Work (continued)**

Has the work already started without consent?

☐ Yes ☒ No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work been completed without consent?

☐ Yes ☒ No

If Yes, please state the date when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

**4. Site Address Details**

Please provide the full postal address of the application site

Unit:

House number:

25

House suffix:

House name:

Address 1:

CHURCH STREET

Address 2:

RIBCHESTER

Address 3:

Town:

PRESTON

County:

LANCASHIRE

Postcode (optional):

PR3 3XP

Description of location or a grid reference (must be completed if postcode is not known):

Easting:

Northings:

Description:

**5. Related Proposals**

Are there any current applications, previous proposals or demolitions for the site?

☐ Yes ☒ No

If Yes please describe and include the planning application reference number(s), if known:

Description	Reference number
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>
<input type="text"/>	<input type="text"/>

**6. Pre-application Advice**

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

If Yes, please complete the following information about the advice you were given (This will help the authority to deal with this application more efficiently)

Please tick if the full contact details are not known, and then complete as much as possible: ☐

Officer name:

Reference:

Date (DD/MM/YYYY):

(must be pre-application submission)

Details of pre-application advice received?

**7. Neighbour and Community Consultation**

Have you consulted your neighbours or the local community about the proposal?

☐ Yes ☒ No

If Yes, please provide details:

**8. Authority Employee / Member**

With respect to the Authority, I am:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

If Yes, please provide details of the name, relationship and role

## 9. Materials

Please provide a description of existing and proposed materials and finishes to be used in the building (demolition excluded):

	Existing (where applicable)	Proposed	Not applicable	Don't Know
External walls	RANDOM STONE	RANDOM STONE AN SAND CEMENT RENDER	<input type="checkbox"/>	<input type="checkbox"/>
Roof covering	STONE OR GREY SLATE	NATURAL SLATE OR TILES TO MATCH EXISTING	<input type="checkbox"/>	<input type="checkbox"/>
Chimney			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Windows			<input checked="" type="checkbox"/>	<input type="checkbox"/>
External doors	TIMBER BOARD	TIMBER BOARD	<input type="checkbox"/>	<input type="checkbox"/>
Ceilings			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Internal walls			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Floors	CONCRETE	CONCRETE	<input type="checkbox"/>	<input type="checkbox"/>
Internal doors			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Rainwater goods	DISCHARGE TO FIELD	DISCHARGE TO FIELD	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Others (add description)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted drawings or plans?

☒ Yes☐ No

If Yes, please state plan(s)/drawing(s) references:

A2 DRAWING ET07(a)  
 PHOTO GRAPHS OF EXISTING SHED (A4) I

**10. Demolition**

Does the proposal include the partial or total demolition of a listed building?

☐ Yes ☒ No

If Yes, which of the following does the proposal involve?

- a) Total demolition of the listed building: ☐ Yes ☐ No
- b) Demolition of a building within the curtilage of the listed building: ☐ Yes ☐ No
- c) Demolition of a part of the listed building: ☐ Yes ☐ No

If the answer to c) is Yes:

i) What is the total volume of the listed building?(cubic metres)	
ii) What is the volume of the part to be demolished?(cubic metres)	
iii) What was the (approximate) date of the erection of the part to be removed? (MM/YYYY) (date must be pre-application submission)	

Please provide a brief description of the building or part of the building you are proposing to demolish:

Why is it necessary to demolish or extend (as applicable) all or part of the building(s) and or structure(s)?

**12. Listed Building Grading**

Please state the grading (if known) of the building in the list of Buildings of Special Architectural or Historic interest? (Note: only one box must be ticked)

Grade I ☐

Ecclesiastical Grade I ☐

Grade II\* ☐

Ecclesiastical Grade II\* ☐

Grade II ☒

Ecclesiastical Grade II ☐

Don't know ☐

**11. Listed Building Alterations**

Do the proposed works include alterations to a listed building?

☒ Yes ☐ No

If Yes, do the proposed works include: (you must answer each of the questions)

- a) Works to the interior of the building? ☐ Yes ☒ No
- b) Works to the exterior of the building? ☐ Yes ☒ No
- c) Works to any structure or object fixed to the property (or buildings within its curtilage) internally or externally? ☒ Yes ☐ No
- d) Stripping out of any internal wall, ceiling or floor finishes (e.g plaster, floorboards)? ☐ Yes ☒ No

If the answer to any of these questions is Yes, please provide plans, drawings, photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support and state references for the plan(s)/drawing(s):

A2 PLAN ET07(a)

PHOTOGRAPH (A4) I

**13. Immunity From Listing**

Has a Certificate of Immunity from Listing been sought in respect of this building?

☐ Yes

☒ No

☐ Don't know

If Yes, please provide the result of the application:

**14. Certificates**

One Certificate A, B, C, or D, must be completed with this application form

**CERTIFICATE OF OWNERSHIP - CERTIFICATE A****Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

B. Rodger

14/10/11

**CERTIFICATE OF OWNERSHIP - CERTIFICATE B****Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that I have/ the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

**CERTIFICATE OF OWNERSHIP - CERTIFICATE C****Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so

The steps taken were:

Name of Owner	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY:

**14. Certificates (continued)****CERTIFICATE OF OWNERSHIP - CERTIFICATE D****Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990**

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so

The steps taken were:

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Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

--

On the following date (which must not be earlier than 21 days before the date of the application):

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Signed - Applicant:

Or signed - Agent:

Date DD/MM/YYYY):

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**15. Planning Application Requirements - Checklist**

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

The original and 3 copies of a completed and dated application form:

The original and 3 copies of other plans and drawings or information necessary to describe the subject of the application: ☒

The original and 3 copies of a plan which identifies the land to which the application relates and drawn to an identified scale and showing the direction of North:

The original and 3 copies of the completed dated Ownership Certificate (A, B, C, or D - as applicable): ☒The original and 3 copies of a design and access statement, if required (see help text and guidance notes for details): ☒**16. Declaration**

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

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B. Rodger
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14/10/11 (date cannot be pre-application)
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**17. Applicant Contact Details**

Telephone numbers

Country code:

National number:

Extension number:

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Country code:

Mobile number (optional):

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Country code:

Fax number (optional):

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Email address (optional):

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**18. Agent Contact Details**

Telephone numbers

Country code:

National number:

Extension number:

01772
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69 0066
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Country code:

Mobile number (optional):

--

0776 5016613
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Country code:

Fax number (optional):

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Email address (optional):

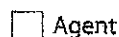
benrogers@talktalk.net
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**19. Site Visit**

Can the site be seen from a public road, public footpath, bridleway or other public land?



If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)



If Other has been selected, please provide:

Contact name:

Telephone number:

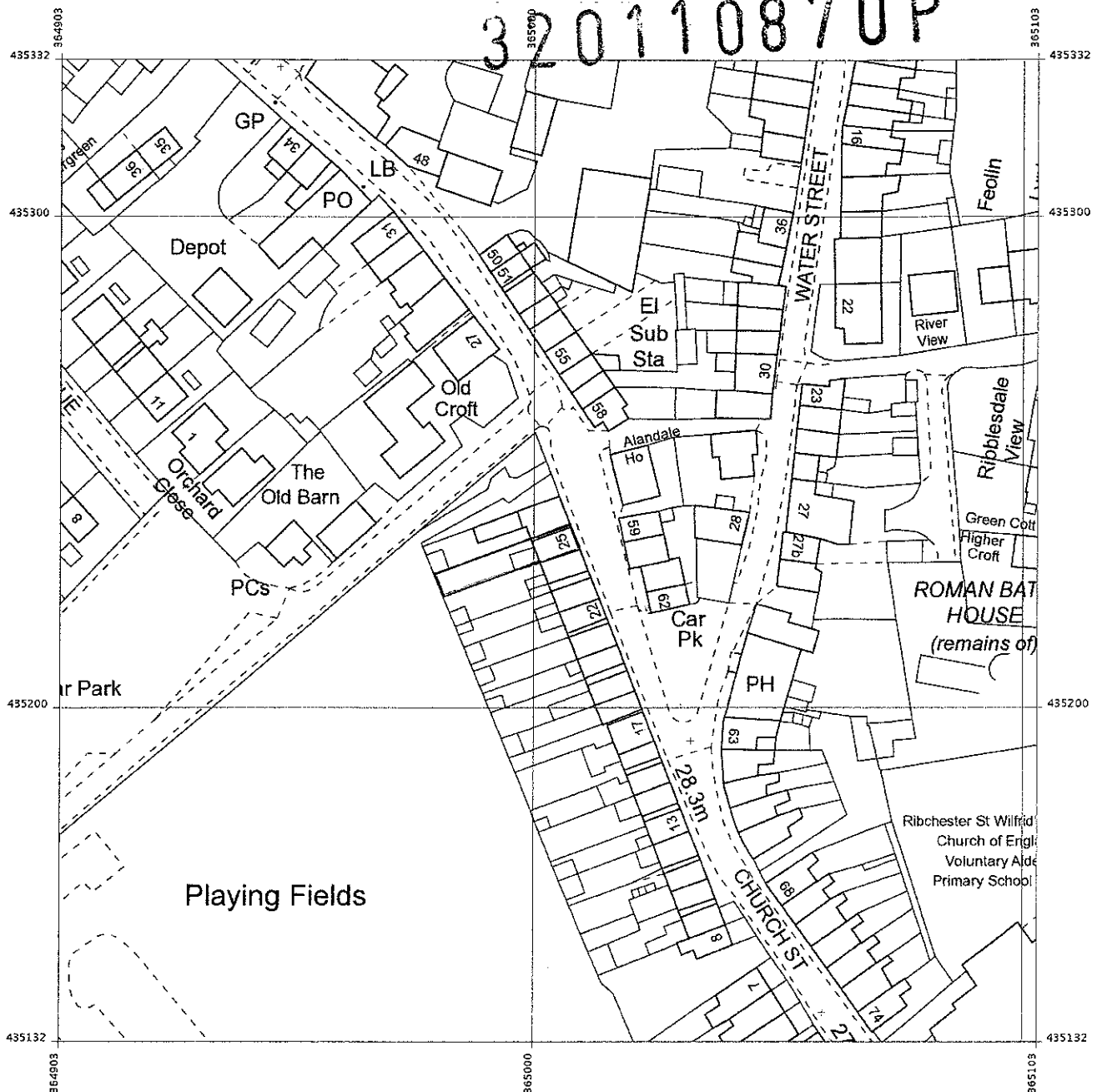
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Email address:

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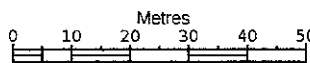
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The representation of a road, track or path is no evidence of a right of way. The representation of features as lines is no evidence of a property boundary.



1:1250



25 CHURCH STREET  
PRESTON  
PR3 3XP

Supplied by: **Stanfords**  
Reference: OI319426  
Centre coordinates: 365003 435232

# Ribble Valley Borough Council



## DESIGN AND ACCESS STATEMENT PRO-FORMA

From the 10 August 2006, planning applications relating to certain types of developments are required to be submitted with a design and access statement. When submitting an application, failure to provide a design and access statement of sufficient standard may result in a delayed registration of the application

### What Applications Need to be Accompanied by a Design and Access Statement?

Most planning applications have to be accompanied by a design and access statement, the exceptions being:

- material change in the use of land or buildings, unless it also involves operational development;
- engineering or mining operations;
- development of an existing dwellinghouse, or development within the curtilage or a dwellinghouse for any purpose incidental to the enjoyment of the dwellinghouse, where no part of that dwellinghouse or curtilage is within a designated area or is a listed building 'Designated Areas' include: • Conservation Areas; • Sites of Special Scientific Interest (SSSI); and • Areas of Outstanding Natural Beauty (AONB)

### Process

What factors have you considered when deciding upon the use, design, scale, layout and materials used in the proposed development?

THE PROPOSAL IS TO JOIN UP TO THE EXISTING FUEL STORE WITH MATCHING RANDOM STONEWORK FACING THE PLAYGROUND KEEPING THE N.W. ELEVATION AS EXISTING AND RENDERING THE NEW ELEVATIONS FACING THE GARDENS TO MATCH THE HOUSE ELEVATIONS.

### Use

What will the extension/development be used for and justify why this is necessary?

THE NEW STORE WILL BE FOR GARDEN MATERIALS. THE EXISTING FUEL STORE WILL BE KEPT FOR IT CURRENT USAGE

### Amount

What is the proposed size of the extension/development and why is this necessary and appropriate for the setting of the development?

THE FOOTPRINT OF THE NEW SHED IS APPROXIMATELY 10 M<sup>2</sup> SIMILAR TO THAT NOW OCCUPIED BY THE TIMBER SHED THE FUEL STORE IS APPROX 4 M<sup>2</sup> MAKING A PROPOSE TOTAL OF 14 M<sup>2</sup>.



**Layout**

Why have you chosen the layout specified in the planning application and how did you eliminate alternative options?

To keep in line with the existing elevation.

**Scale**

Is the scale of the extension/development in keeping with the context of the site and in what way?

No additional space is taken up by the new building.

**Landscaping**

If appropriate, specify the boundary treatments and any landscaping included in the development. You may need to justify why certain materials or planting have been used?

Landscape will not be necessary.

**Appearance**

Specify how the extension/development fits in terms of its appearance and include details of materials to be used

The materials proposed will match the existing as close as possible.

**Access**

Explain how the extension/development will be accessed by vehicles and people. You should consider the need for access by all members of society and emergency vehicles

Not applicable as there is no alteration to the access.

## HERITAGE STATEMENT

**Proposed Listed Building Consent for Demolition of Existing Garden Store and  
Erection of New Garden Store Attached To Existing Fuel Store at  
25 CHURCH STREET RIBCHESTER PR3 3XP**

The above Grade II listed building is situated in the centre of one of the most important historic and archaeological sites in Britain. The listed building itself will not be affected by the proposals but the applicants are fully aware of the implications of any disturbance to known or potential historical assets.

The existing stone outbuilding at the rear is probably the remains of the original privy and is currently used as a fuel store. The intention is to leave this building undisturbed as much as possible. The new building will be linked without the removal of the existing walls but may require the roof to be recovered in acceptable slates or tiles. There are several similar outbuildings already in existence along the rear of Church Street and fully visible from the play ground as is the existing timber shed proposed for removal.

The shed itself, currently used for garden equipment storage, is obviously of relatively recent construction and is not considered to be of any historical or aesthetic significance. It is felt that the new proposals will be more in keeping with neighbouring elevations. The masonry on the rear elevation will match the existing South-west elevation from the play ground. The remaining elevations will be rendered in keeping with the rear elevation of number 25 and the adjoining properties.

However the removal and indeed the new construction particularly, will involve disturbance of the ground and the specification for the foundation work will require a strict undertaking to notify the Local Authority of any previously unidentifiable structural remains indicating previous buildings.

Similarly it will be impressed on the contractor that work will cease on the discovery of any physical remains of human activity until clearance to proceed is obtained from the appropriate authority.

Mr. B. Rodgers.  
MRICS Bsc. BA (hons).

320110870P

