



RIBBLE VALLEY  
BOROUGH COUNCIL

17 FEB 2012

ON THE

For office use only

Application No.

Date received

Fee paid £

320120172P

Receipt No:

Council Offices, Church Walk, Clitheroe, Lancashire BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

## Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.  
If you require any further clarification please contact the Authority's planning department

### 1. Applicant Name, Address and Contact Details

Title:  First name:  Surname:

Company name:

Street address:

Town/City:

County:

Country:

Postcode:

Telephone number:  Country Code:  National Number:  Extension Number:

Mobile number:

Fax number:

Email address:

Are you an agent acting on behalf of the applicant?  Yes  No

### 2. Agent Name, Address and Contact Details

Title:  First Name:  Surname:

Company name:

Street address:

Town/City:

County:

Country:

Postcode:

Telephone number:  Country Code:  National Number:  Extension Number:

Mobile number:

Fax number:

Email address:

### 3. Description of Proposed Works

Please describe the proposed works:

Removal of existing freestanding timber-framed garage in driveway. Demolition of existing single storey rear extension, back to original line of rear wall of house. New single storey, gable-ended extension to be built retaining a path adjacent to boundary fence. Extension to create larger Kitchen linked to rear reception room, Breakfast Area, Utility / Shower Room and Store. Internal alterations to include locating W.C. below existing stairs in Hall.

Has the work already been started without planning permission?

Yes  No

#### 4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:	99	Suffix:	
House name:			
Street address:	CHATBURN ROAD		
Town/City:	CLITHEROE		
County:	LANCASHIRE		
Postcode:	BB7 2BD		

Description:

Description of location or a grid reference  
(must be completed if postcode is not known):

Easting:	374943
Northing:	442627

#### 5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes  No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes  No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes  No

#### 6. Pre-application Advice

Has assistance or prior consultation been sought from the local authority about this application?

Yes  No

#### 7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?

Yes  No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes  No

#### 8. Parking

Will the proposed works affect existing car parking arrangements?

Yes  No

#### 9. Authority Employee/Member

With respect to the Authority I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

Yes  No

#### 10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent  The applicant  Other person

#### 11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

##### Walls - description:

Description of *existing* materials and finishes:

Generally, masonry cavity walls with sand and cement 'rough-cast' render finish in off-white. Note - existing single storey extension to be demolished is believed to be of solid 1 brick thick construction.

Description of *proposed* materials and finishes:

New extension is to be constructed of insulated cavity blockwork with a similar 'rough-cast' render finished in a matching colour.

##### Roof - description:

Description of *existing* materials and finishes:

Existing single storey extension is finished in natural blue / grey slate.

Description of *proposed* materials and finishes:

Proposed extension to use any salvageable slates from existing extension supplemented with matching reclaimed natural slates.

**Windows - description:**

Description of *existing* materials and finishes:

Mostly white uPVC double glazed units however existing curved bay to rear reception room is single-glazed timber framed construction with secondary glazing units installed internally.

Description of *proposed* materials and finishes:

To be white uPVC fumed, double-glazed units to match elsewhere.

**Doors - description:**

Description of *existing* materials and finishes:

Externally - uPVC framed door as part of screen  
Internally - timber panel doors.

Description of *proposed* materials and finishes:

Externally - uPVC framed double-glazed doors (including bi-folding set to patio area).  
Internally - timber panel doors to clients choice.

**Boundary treatments - description:**

Description of *existing* materials and finishes:

Concrete post and timber panel fence (approx. 1200mm high) up to face of existing garage.

Description of *proposed* materials and finishes:

Continuation of concrete post and timber panel fence, where garage is to be removed in matching height.

**Vehicle access and hard standing - description:**

Description of *existing* materials and finishes:

Existing tarmac driveway and stone flag patio / paths.

Description of *proposed* materials and finishes:

Reinstatement / repairs of tarmac and stone flags to match, once work is complete.

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?  Yes  No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

Drawing References:- 1829.OS.001 - OS Location Plan.  
1829.E.001 - Existing Plan and Elevations  
1829.P.001b - Proposed Plan and Elevations

**12. Certificates (Certificate A)**

**Certificate of Ownership - Certificate A**

**Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title:  First name:  Surname:

Person role:  Declaration date:   Declaration made

**12. Certificates (Agricultural Land Declaration)**

**Agricultural Land Declaration**

**Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

If any part of the land is an agricultural holding, of which the applicant is the sole tenant the applicant should complete part (B) of the form by writing 'sole tenant - not applicable' in the first column of the table below

Title:  First Name:  Surname:

Person role:  Declaration date:   Declaration Made

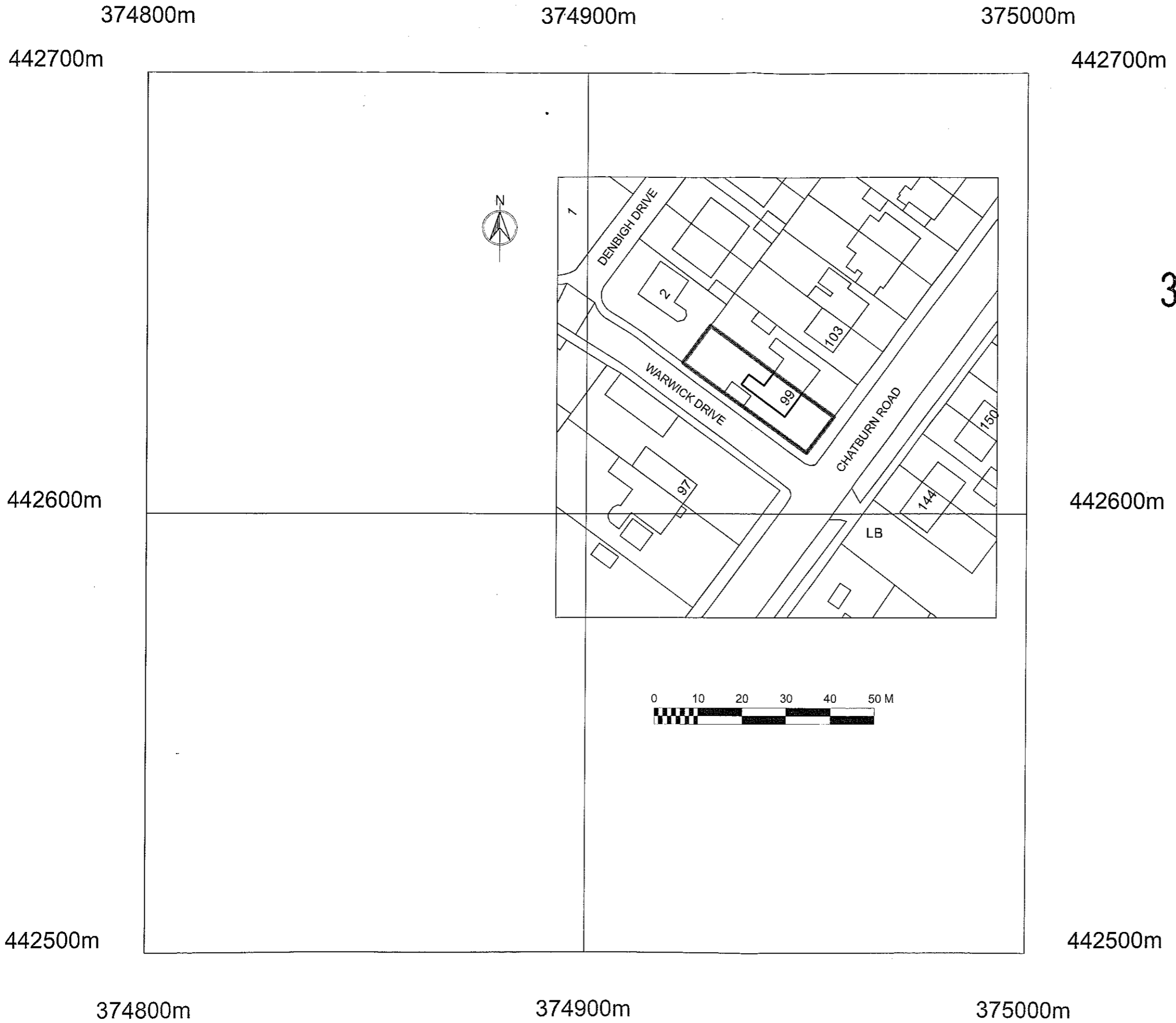
**13. Declaration**

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Date

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 without the consent in writing of IWA Architects

Dimensions should not be scaled. All dimensions to be  
 checked on site by the contractor before  
 commencement of the relevant part of the work



320120172P

Rev.	Date	Description
-	-	-

**99 Chatburn Road**  
 Clitheroe

Site Location Plan

Drwg No: 1829.OS.001 Rev: -

Date: Feb '12 Scale: 1:1250@A4

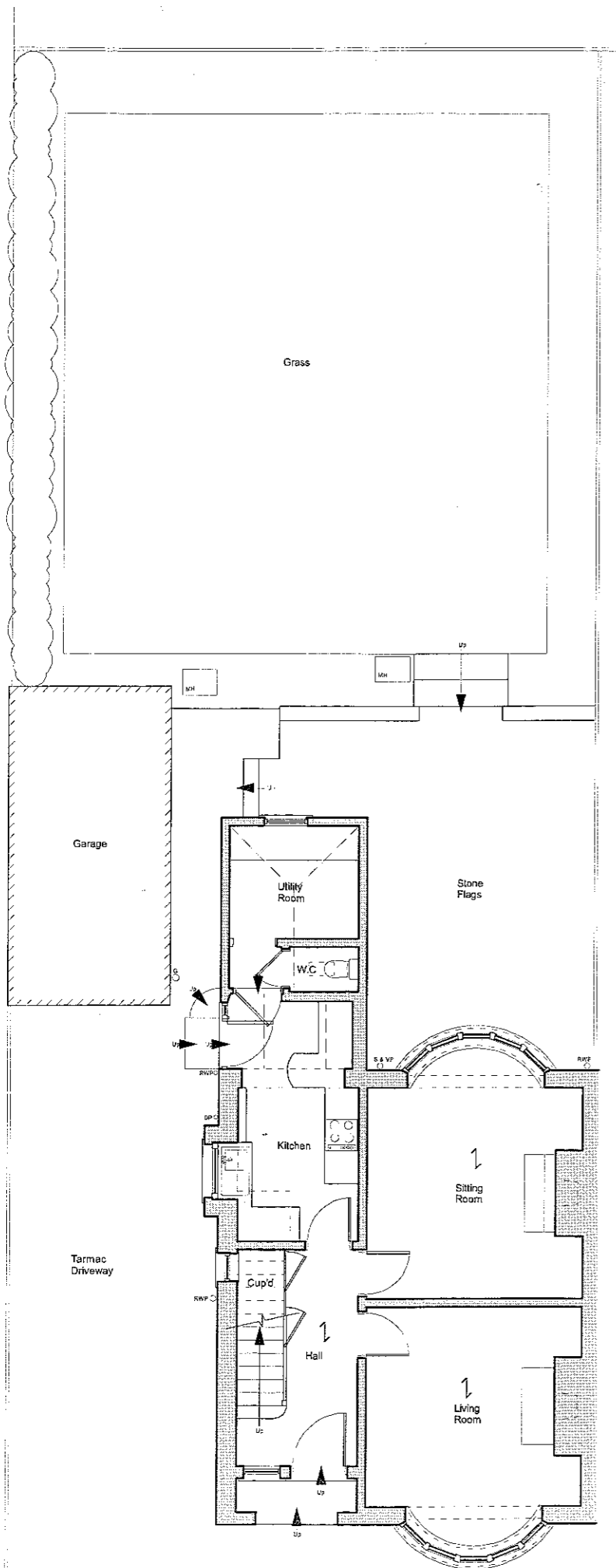
**IWA Architects**

Waterloo Mill Waterloo Road Clitheroe Lancashire BB7 1LR

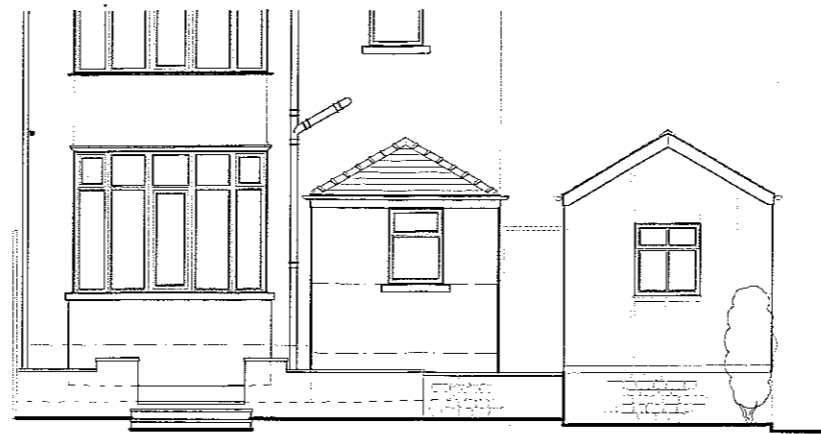
t: +44 (0) 1200 423487  
 f: +44 (0) 1200 458278  
 e: admin@iwarchitects.co.uk  
 w: www.iwarchitects.co.uk

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Ground Floor Site Plan



North West Elevation



South West Elevation

320120172P

Rev	Date	Description
-	-	-

**99 Chatburn Road**  
 Clitheroe

Existing Plan and Elevations

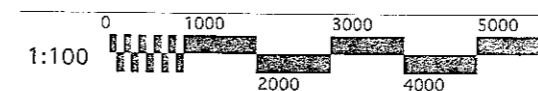
Drwg No.: 1829 E.001 Rev: -

Date: Jan '12 Scale: 1:100@A3

**IWA Architects**

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t: +44 (0) 1200 423487  
 f: +44 (0) 1200 458278  
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 w: www.iwarhitects.co.uk

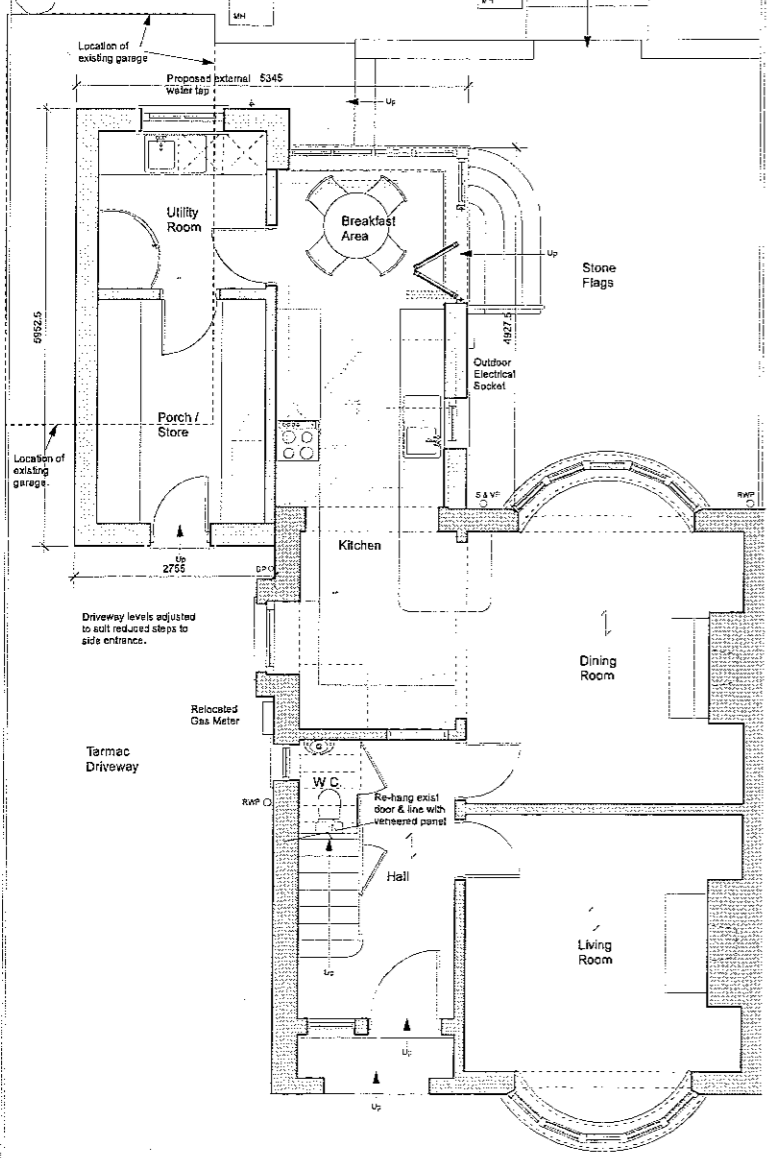
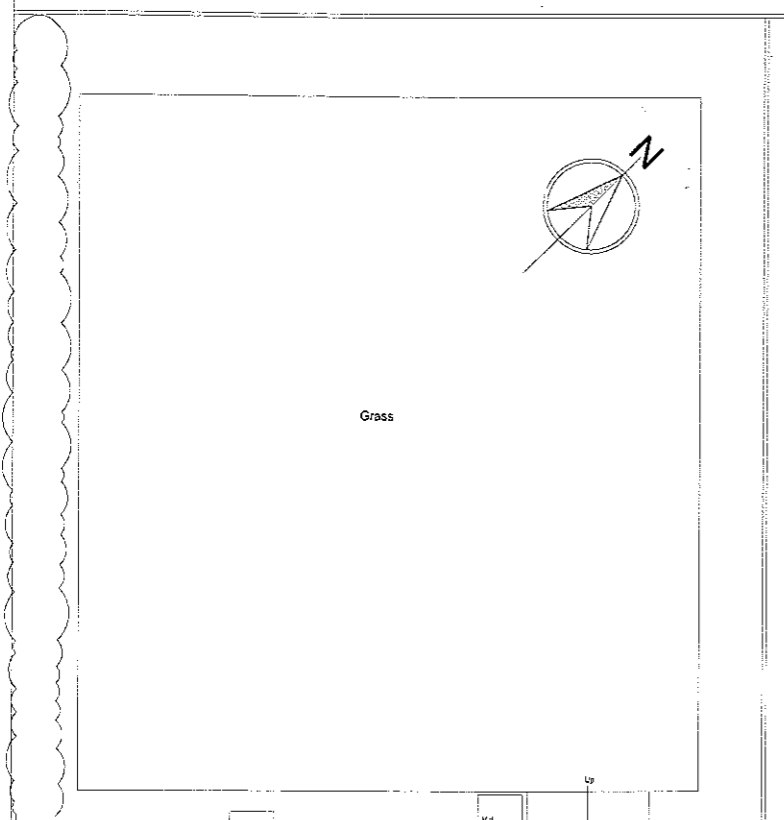


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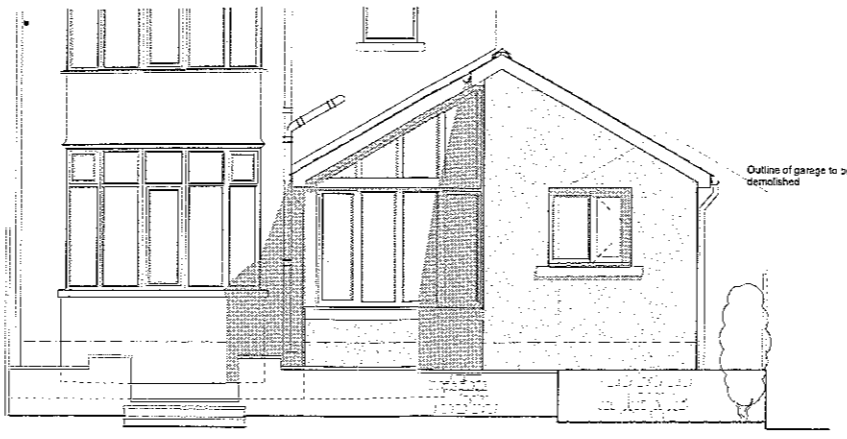
Dimensions should not be scaled. All dimensions to be checked on site by the contractor before commencement of the relevant part of the work.

1:50

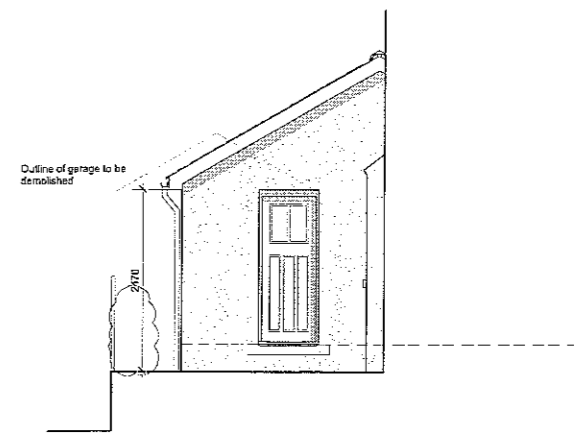
Extension materials:  
Natural Welsh slate roof to match existing roof  
Walls: Render finish to match existing.



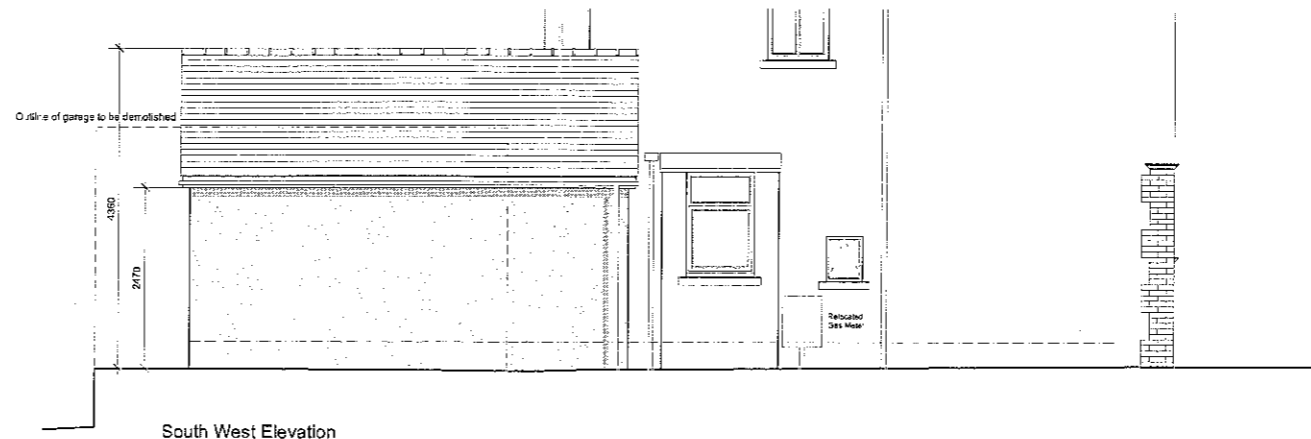
Ground Floor Site Plan



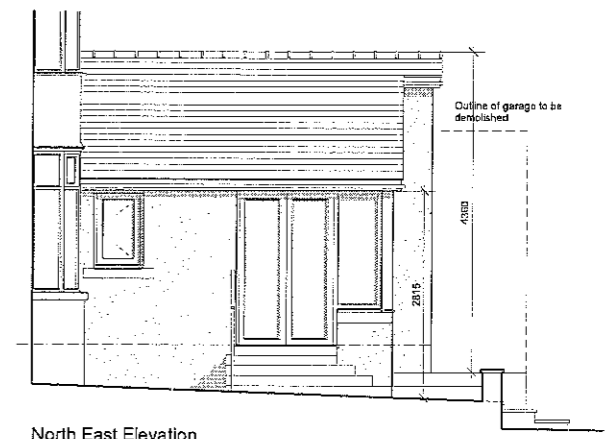
North West Elevation



South East Elevation



South West Elevation



North East Elevation

320120172P

- Key Materials:**
- External walls - Cavity blockwork with coloured render finish to match existing. (Note: Reconstituted stone cills to windows and doors to match existing)
  - Roof - Mix of re-used slate from existing extension to be demolished, supplemented with reclaimed natural slate to match. Painted s/w soffits, fascias and verge boards
  - External windows and doors - White uPVC framed double-glazed units
  - Rainwater goods - Black uPVC gutters and downpipes.
  - Reinstatement of perimeter tarmac and stone flag finishes as required.

Rev	Date	Description
A	08.02.12	Minor amendments to client's comments
B	13.02.12	Minor amendments to client's comments

**99 Chatburn Road**  
Clitheroe

Proposed Plan and Elevations -

Dwg. No.: 1829.P001 Rev: B

Date: Jan 12 Scale: 1:50@A1

**IWA Architects**  
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