



RIBBLE VALLEY
BOROUGH COUNCIL

21 FEB 2012

TO THE
ESTATE OF

Council Offices, Church Walk, Clitheroe, Lancashire BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

For office use only

Application No.

320120176 P

Date received

Fee paid £

Receipt No:

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

Title: <input type="text" value="Mr & Mrs"/>	First name: <input type="text" value="A"/>	Surname: <input type="text" value="HOLT"/>		
Company name: <input type="text"/>		Country Code: <input type="text"/>	National Number: <input type="text"/>	Extension Number: <input type="text"/>
Street address: <input type="text" value="HAMMOND FIELD"/>	Telephone number: <input type="text"/>			
<input type="text" value="HAMMOND DRIVE"/>	Mobile number: <input type="text"/>			
<input type="text" value="READ"/>	Fax number: <input type="text"/>			
Town/City: <input type="text" value="BURNLEY"/>	Email address: <input type="text"/>			
County: <input type="text" value="LANCS"/>				
Country: <input type="text"/>				
Postcode: <input type="text" value="BB12 7RE"/>				
Are you an agent acting on behalf of the applicant? <input checked="" type="radio"/> Yes <input type="radio"/> No				

2. Agent Name, Address and Contact Details

Title: <input type="text" value="Mr"/>	First Name: <input type="text" value="Cyril"/>	Surname: <input type="text" value="Cambridge"/>		
Company name: <input type="text" value="CRC DESIGN"/>		Country Code: <input type="text"/>	National Number: <input type="text" value="01282 457936"/>	Extension Number: <input type="text"/>
Street address: <input type="text" value="5 Wallhurst Close"/>	Telephone number: <input type="text"/>			
<input type="text" value="Worsthorne"/>	Mobile number: <input type="text" value="07837 352179"/>			
Town/City: <input type="text" value="Burnley"/>	Fax number: <input type="text"/>			
County: <input type="text" value="Lancashire"/>	Email address: <input type="text"/>			
Country: <input type="text" value="United Kingdom"/>				
Postcode: <input type="text" value="BB10 3NY"/>	crc.design@yahoo.co.uk			

3. Description of Proposed Works

Please describe the proposed works:

SINGLE STOREY REAR EXTENSION WITH GLAZED BALCONY ABOVE NEW FIRST FLOOR BAY WINDOW WITH ACCESS TO BALCONY AND FORMATION OF FURTHER DOOR IN EXISTING BAY WINDOW AT FIRST FLOOR LEVEL FOR ACCESS TO THE BALCONY

Has the work already been started without planning permission?

Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available)

House: Suffix:
House name: HAMMOND FIELD
Street address: HAMMOND DRIVE
READ
Town/City: BURNLEY
County:
Postcode: BB12 7RE

Description:

Description of location or a grid reference
(must be completed if postcode is not known):

Easting: 376321
Northing: 434880

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

Yes No

Is a new or altered pedestrian access proposed to or from the public highway?

Yes No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

Yes No

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?

Yes No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

Yes No

8. Parking

Will the proposed works affect existing car parking arrangements?

Yes No

9. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

Yes No

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of existing materials and finishes:

FACING BRICKWORK TO GROUND FLOOR LEVEL WITH WHITE PAINTED ROUGH CAST RENDER ABOVE

Description of proposed materials and finishes:

FACING BRICKWORK TO GROUND FLOOR LEVEL WITH NATURAL STONE CAPPING TO TOP OF PARAPET WALL

GLAZED BALUSTRADE ABOVE PARAPET WALL

NEW BAY WINDOW TO BE ROUGH CAST RENDER COLOUR WHITE

Roof - description:Description of *existing* materials and finishes:

ROSEMARY TILES

Description of *proposed* materials and finishes:

BALCONY ROOF TO BE TILED

BAY WINDOW ROOF TO HAVE ROSEMARY TILES

Windows - description:Description of *existing* materials and finishes:

WHITE UPVC

Description of *proposed* materials and finishes:

POWDER COATED ALUMINIUM COLOUR WHITE

Doors - description:Description of *existing* materials and finishes:

WHITE UPVC

Description of *proposed* materials and finishes:

POWDERCOATED ALUMINIUM EITHER SLIDING (GROUND FLOOR) OR HINGED FRENCH DOORS AT FIRST FLOOR LEVEL

Others - description:

Type of other material:

BALCONY BALUSTRADE

Description of *existing* materials and finishes:Description of *proposed* materials and finishes:

STAINLESS STEEL UPRIGHTS WITH CLEAR GLASS INFILL PANELS

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

 Yes No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

1191-1A SURVEY DRAWING

1191-5A FLOOR PLANS

1191-6A ELEVATIONS AND SECTION

1191-7A SITE AND LOCATION PLAN

12. Certificates (Certificate A)**Certificate of Ownership - Certificate A****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: Mr First name: CYRIL Surname: CAMBRIDGEPerson role: Agent Declaration date: 21/02/2012 Declaration made**12. Certificates (Agricultural Land Declaration)****Agricultural Land Declaration****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding

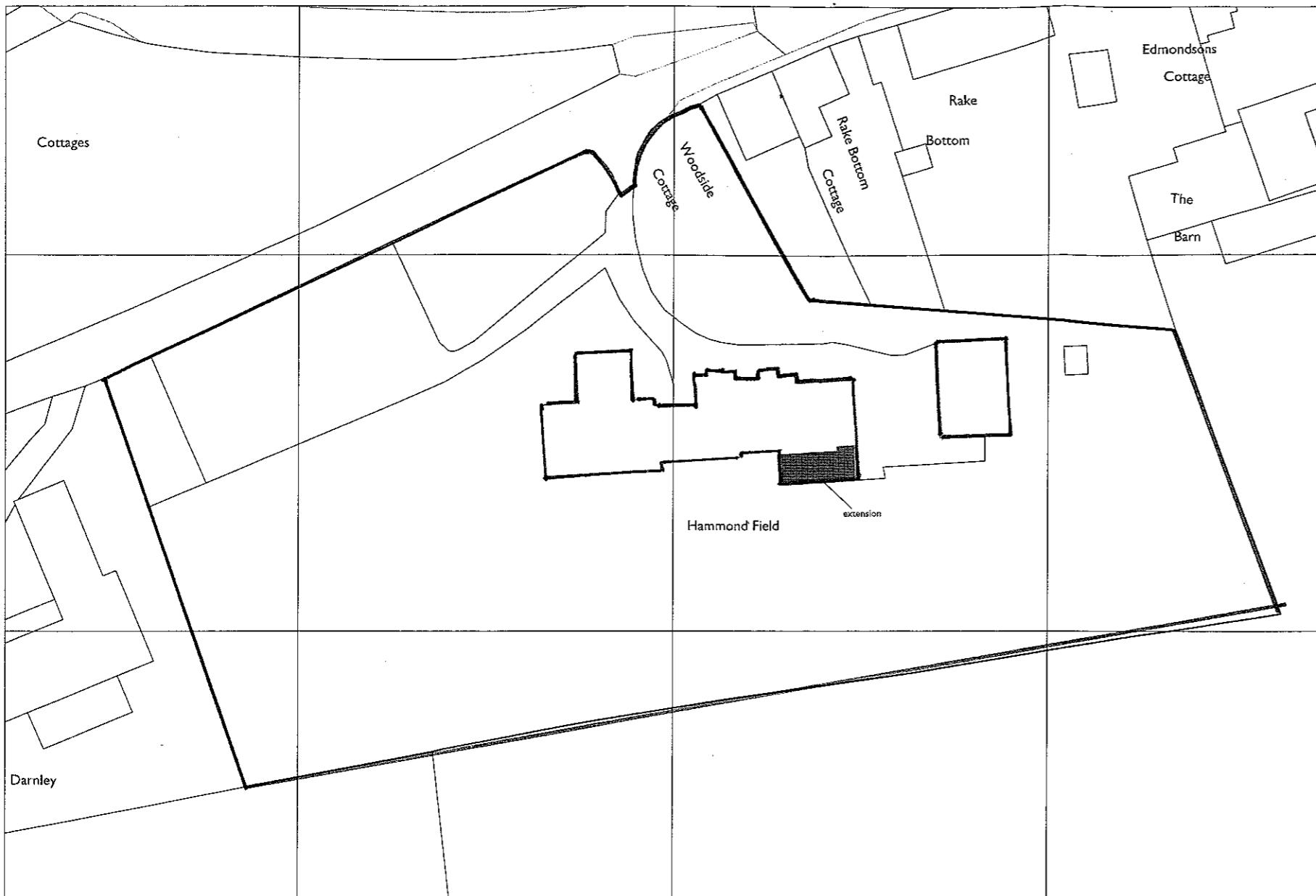
(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates as listed below:

If any part of the land is an agricultural holding, of which the applicant is the sole tenant, the applicant should complete part (B) of the form by writing 'sole tenant - not applicable' in the first column of the table below

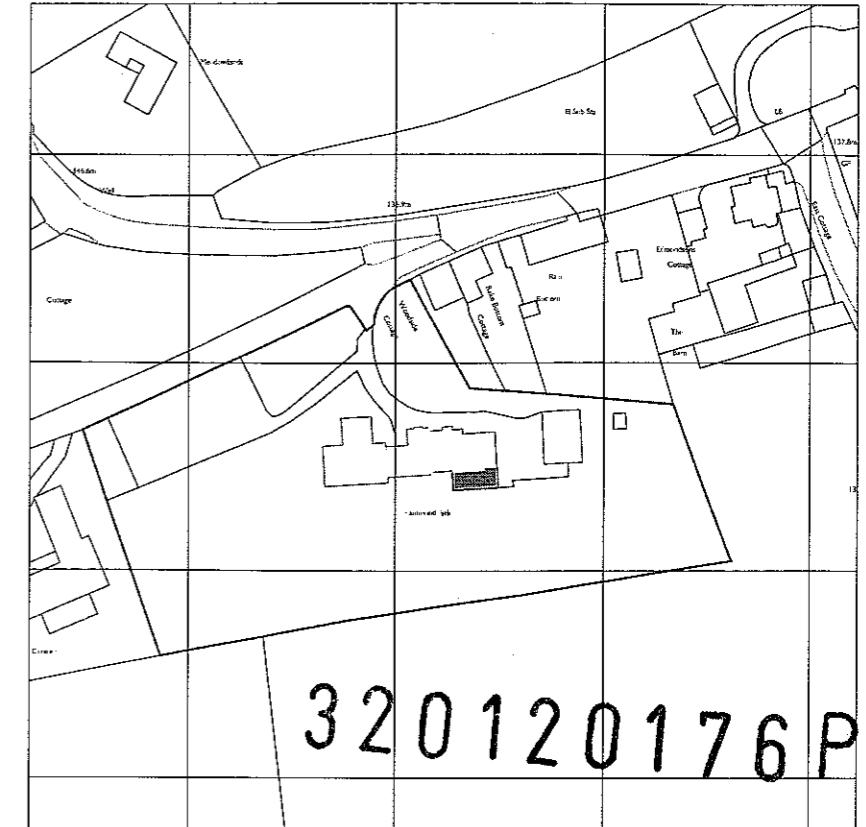
Title: Mr First Name: CYRIL Surname: CAMBRIDGEPerson role: Agent Declaration date: 21/02/2012 Declaration Made**13. Declaration**

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

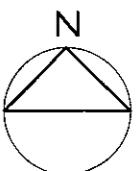
Date 21/02/2012



SITE PLAN 1:500



LOCATION PLAN 1:1250



B Blue line to site boundary & extension edged red

270212

rev 00

dw

CRC DESIGN ARCHITECTURAL SERVICES 5 WALLHURST CLOSE WORSTHORNE BURNLEY BB10 3NY t: 01282 427936 m: 07857 332179 e: crcdesign@photon.co.uk		
project: ALTERATIONS & EXTENSIONS HAMMOND FIELD HAMMOND DRIVE READ		
client: MR & MRS A HOLT		
drawing title: SITE & LOCATION PLAN PLANNING APPLICATION		
date	scale	drawing no.
FEB 2012	1:500 & 1:1250 @A2	1191-7B

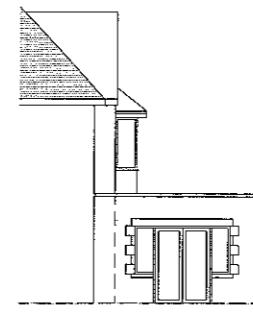
Notes
 All work to be carried out in accordance with the requirements of the current Building Regulations, all relevant BS Specifications, Codes of Practice, Local and Service Authority Bylaws, and in compliance with the Local Authority Approval.
 Contractors must verify all dimensions on site before commencing any work, making any shop drawings or fabricating off site.
 Working dimension should be taken in practical or scaled-off dimensions.
 If there are any discrepancies found between this drawing and site, the CRC Design should be notified immediately.



REAR ELEVATION

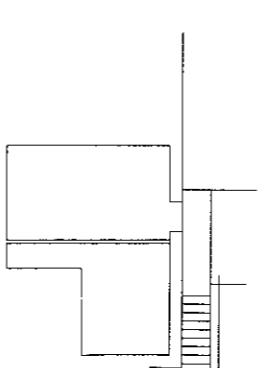
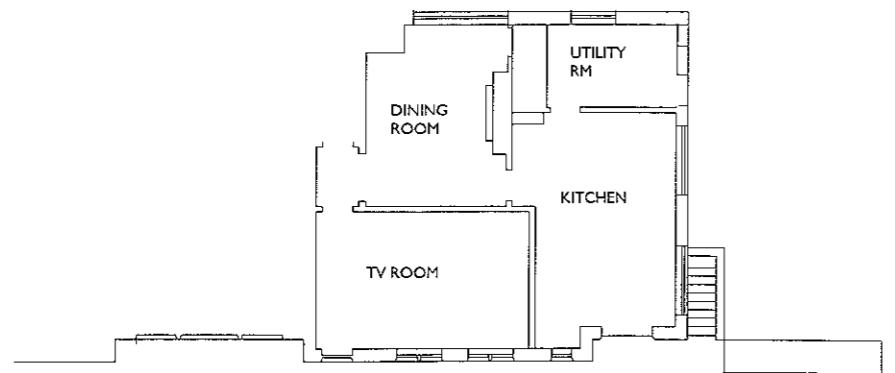


SIDE ELEVATION TO GARAGE

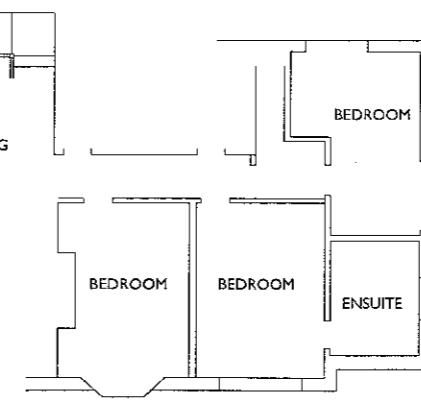


SIDE ELEVATION

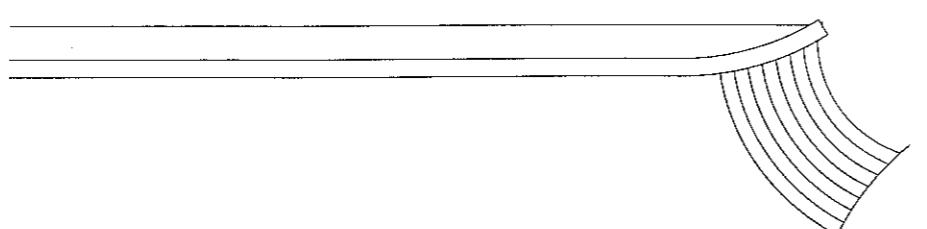
320120176P



BASEMENT PLAN



FIRST FLOOR PLAN



PLAN

CRC DESIGN		
ARCHITECTURAL SERVICES		
5 WALLHURST CLOSE WORSTHORNE BURNLEY BB103NY		
tel 01282 457936 mob 07887 512179 e-mail: crcdesign@btconnect.com		
Project: ALTERATIONS & EXTENSIONS HAMMOND FIELD HAMMOND DRIVE READ		
Drawing for: MR & MRS A HOLT		
Drawing side: SURVEY DRAWINGS		
date: FEB 2012	scale: 1: 100 @ A1	drawing no: 1191-1

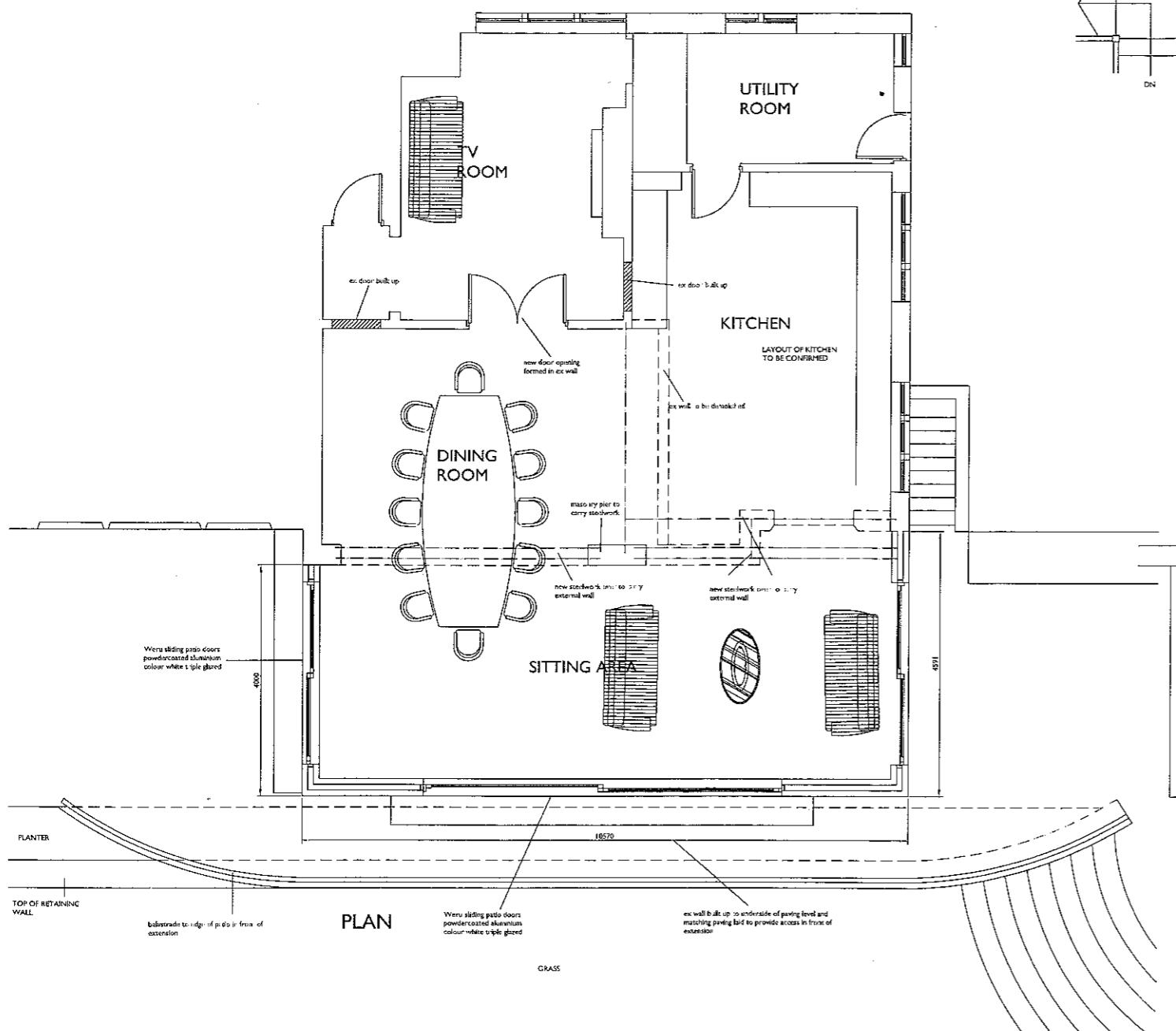
320120176P

All work to be carried out in accordance with the requirements of the current Building Regulations, all relevant BS Specifications, Codes of Practice, Local and Service Authority Byelaws, and in compliance with the Local Authority Approvals

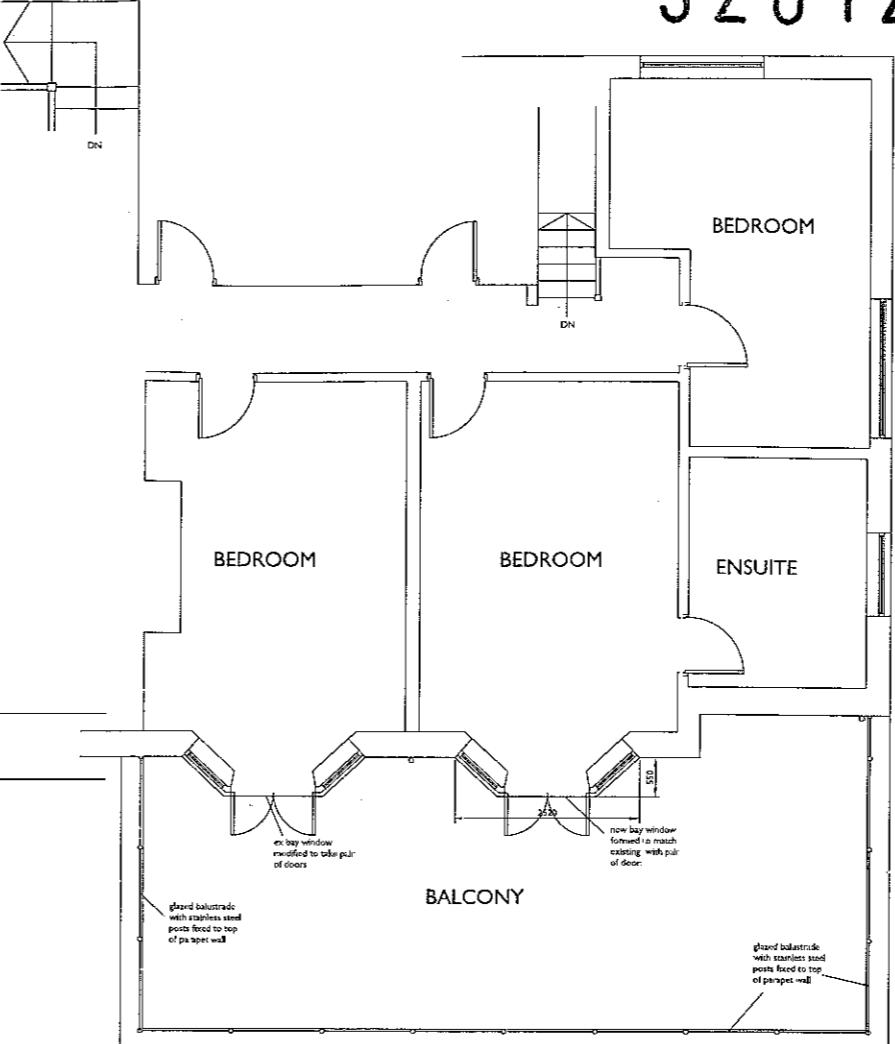
Contractors must verify all dimensions on site before commencing work, making any shop drawings or fabricating off site.

Written dimensions should be taken in preference to call-out dimensions.

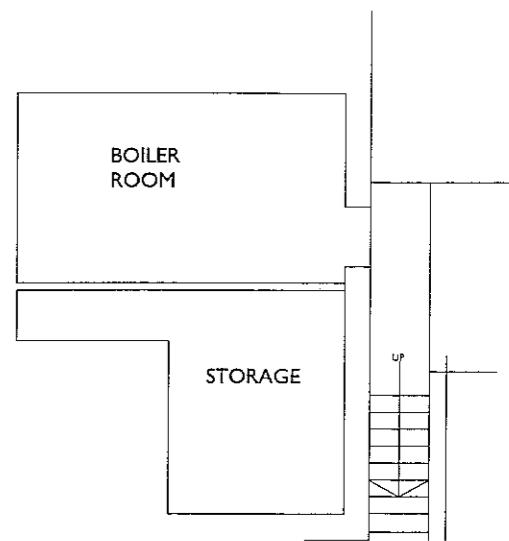
If there are any discrepancies found between the drawing and site, the CRC Design should be notified immediately



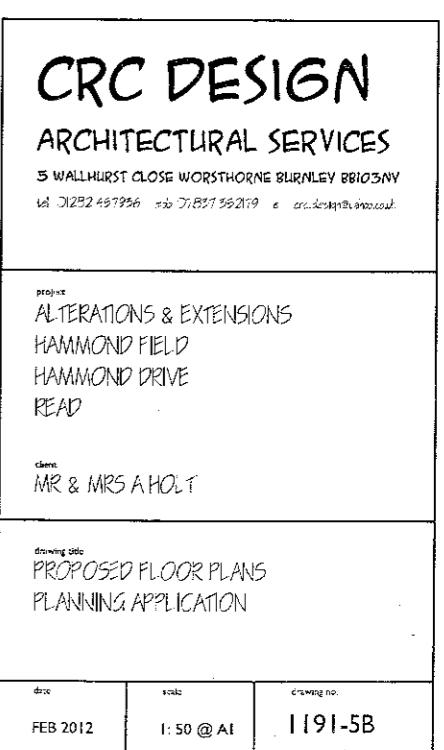
FIRST FLOOR PLAN



BASEMENT PLAN



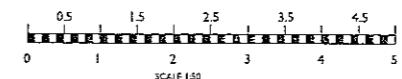
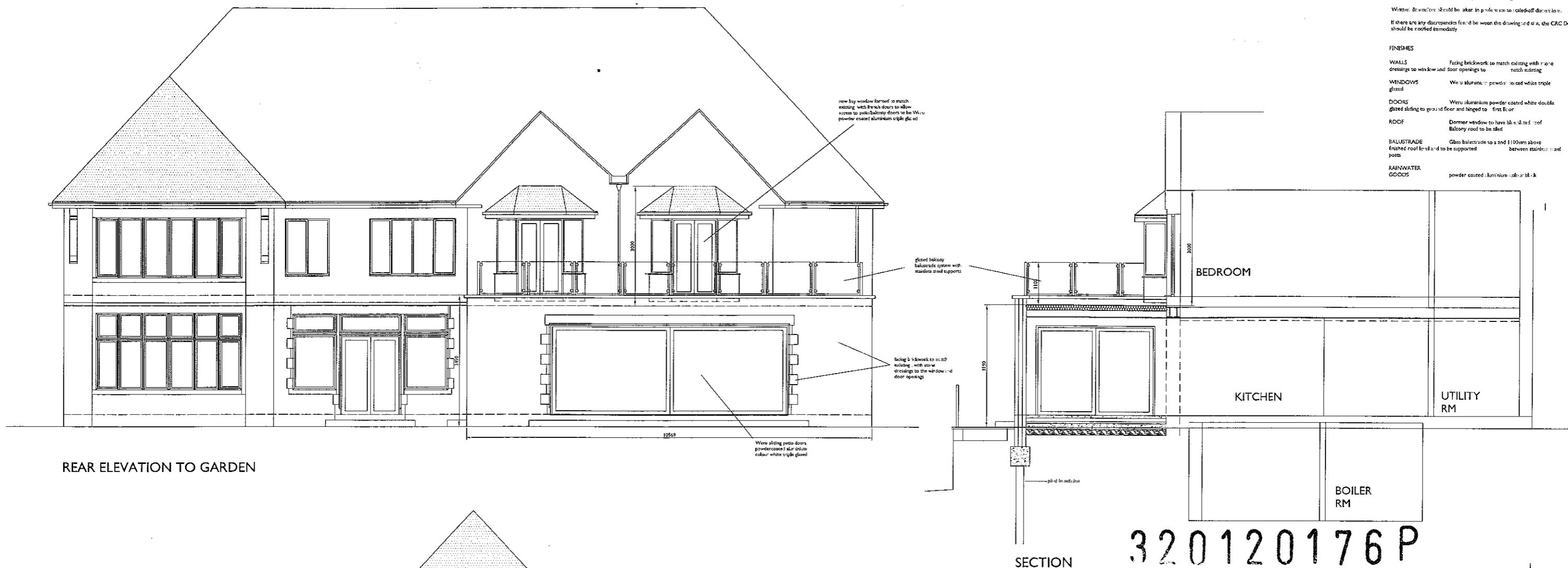
B. Window to gage elev. 200 ft. needed to 2. sliding door dir. 6' x 8' = 48 sq ft



Notes:
 All work to be carried out in accordance with the requirements of the current Building Regulation 15 relevant BS Specifications, Code of Practice, Local and Service Authority Bylaws, and in compliance with the Local Authority Approval.
 Contractors must verify all dimensions on site before commencing any work, making any shop drawings or fabricating off site.
 Written dimensions should be taken in preference to called-off dimensions.
 If there are any discrepancies found between the drawing and site, the CRC Design should be checked immediately.

FINISHES

WALLS	Facing brickwork to match existing with stone dressing to window and door openings to match existing
WINDOWS	White aluminium powder coated white triple glazed
DOORS	White aluminium powder coated white double glazed sliding to ground floor and hinged to first floor
ROOF	Dormer window to have blacked out. Balcony roof to be tiled
BALUSTRADE	Glass balustrade to sills and 1100mm above finished roof level and to be supported between stainless steel posts
RAINWATER GOODS	powder coated aluminium colour black



CRC DESIGN
ARCHITECTURAL SERVICES
 5 WALLHURST CLOSE WORSTHORNE BURNLEY BB10 3NY
 Tel 01282 481956 Mob 07851 352179 E: crcdesign@btconnect.com

Project:
ALTERATIONS & EXTENSIONS
HAMMOND FIELD
HAMMOND DRIVE
READ

Client:
MR & MRS A HOLT

Planning:
PROPOSED ELEVATIONS & SECTION
PLANNING APPLICATION

date	scale	drawing no.
FEB 2012	1:50	1191-6B