



RIBBLE VALLEY
BOROUGH COUNCIL

21 FEB 2012

THE
SECTION OF

For office use only

Application No: 320120176P

Date received

Fee paid £

Receipt No:

Council Offices, Church Walk, Clitheroe, Lancashire. BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website

If you require any further clarification, please contact the Authority's planning department

1. Applicant Name, Address and Contact Details

Title:	Mr & Mrs	First name:	A	Surname:	HOLT	
Company name:						
Street address:	HAMMOND FIELD			Country Code	National Number	Extension Number
	HAMMOND DRIVE			Telephone number:		
	READ			Mobile number:		
Town/City:	BURNLEY			Fax number:		
County:	LANCS			Email address:		
Country:						
Postcode:	BB12 7RE					
Are you an agent acting on behalf of the applicant? <input checked="" type="radio"/> Yes <input type="radio"/> No						

2. Agent Name, Address and Contact Details

Title:	Mr	First Name:	Cyril	Surname:	Cambridge	
Company name:	CRC DESIGN					
Street address:	5 Wallhurst Close			Country Code	National Number	Extension Number
	Worsthorne			Telephone number:		
				Mobile number:		
Town/City:	Burnley			Fax number:		
County:	Lancashire			Email address:		
Country:	United Kingdom					
Postcode:	BB10 3NY			crc.design@yahoo.co.uk		

3. Description of Proposed Works

Please describe the proposed works:

SINGLE STOREY REAR EXTENSION WITH GLAZED BALCONY ABOVE NEW FIRST FLOOR BAY WINDOW WITH ACCESS TO BALCONY AND FORMATION OF FURTHER DOOR IN EXISTING BAY WINDOW AT FIRST FLOOR LEVEL FOR ACCESS TO THE BALCONY

Has the work already been started without planning permission?

☐ Yes ☒ No

4. Site Address Details

Full postal address of the site (including full postcode where available)

House:	<input type="text"/>	Suffix:	<input type="text"/>
House name:	HAMMOND FIELD		
Street address:	HAMMOND DRIVE		
	READ		
Town/City:	BURNLEY		
County:	<input type="text"/>		
Postcode:	BB12 7RE		

Description of location or a grid reference
(must be completed if postcode is not known):

Easting:	376321
Northing:	434880

Description:

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

☐ Yes ☒ No

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?

☐ Yes ☒ No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☐ Yes ☒ No

8. Parking

Will the proposed works affect existing car parking arrangements?

☐ Yes ☒ No

9. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☐ Yes ☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☒ The agent ☐ The applicant ☐ Other person

11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of *existing* materials and finishes:

FACING BRICKWORK TO GROUND FLOOR LEVEL WITH WHITE PAINTED ROUGH CAST RENDER ABOVE

Description of *proposed* materials and finishes:

FACING BRICKWORK TO GROUND FLOOR LEVEL WITH NATURAL STONE CAPPING TO TOP OF PARAPET WALL
GLAZED BALUSTRADE ABOVE PARAPET WALL
NEW BAY WINDOW TO BE ROUGH CAST RENDER COLOUR WHITE

Roof - description:Description of *existing* materials and finishes:

ROSEMARY TILES

Description of *proposed* materials and finishes:

BALCONY ROOF TO BE TILED

BAY WINDOW ROOF TO HAVE ROSEMARY TILES

Windows - description:Description of *existing* materials and finishes:

WHITE UPVC

Description of *proposed* materials and finishes:

POWDER COATED ALUMINIUM COLOUR WHITE

Doors - description:Description of *existing* materials and finishes:

WHITE UPVC

Description of *proposed* materials and finishes:

POWDERCOATED ALUMINIUM EITHER SLIDING (GROUND FLOOR) OR HINGED FRENCH DOORS AT FIRST FLOOR LEVEL

Others - description:

Type of other material:

BALCONY BALUSTRADE

Description of *existing* materials and finishes:Description of *proposed* materials and finishes:

STAINLESS STEEL UPRIGHTS WITH CLEAR GLASS INFILL PANELS

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

1191-1A SURVEY DRAWING

1191-5A FLOOR PLANS

1191-6A ELEVATIONS AND SECTION

1191-7A SITE AND LOCATION PLAN

12. Certificates (Certificate A)**Certificate of Ownership - Certificate A****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: Mr First name: CYRIL Surname: CAMBRIDGE

Person role: Agent Declaration date: 21/02/2012 ☒ Declaration made

12. Certificates (Agricultural Land Declaration)**Agricultural Land Declaration****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding ☒

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below: ☐

If any part of the land is an agricultural holding, of which the applicant is the sole tenant, the applicant should complete part (B) of the form by writing 'sole tenant - not applicable' in the first column of the table below

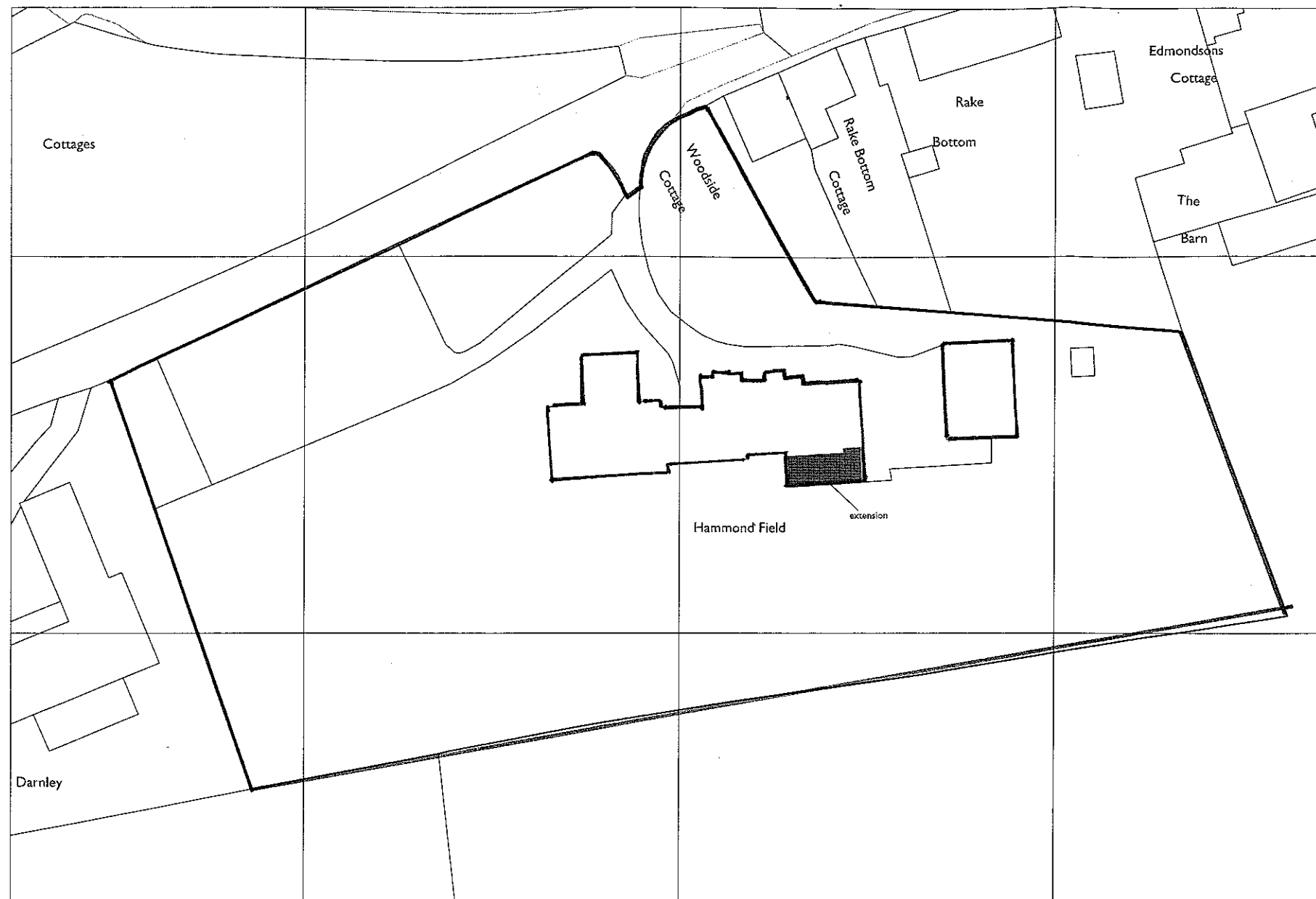
Title: Mr First Name: CYRIL Surname: CAMBRIDGE

Person role: Agent Declaration date: 21/02/2012 ☒ Declaration Made

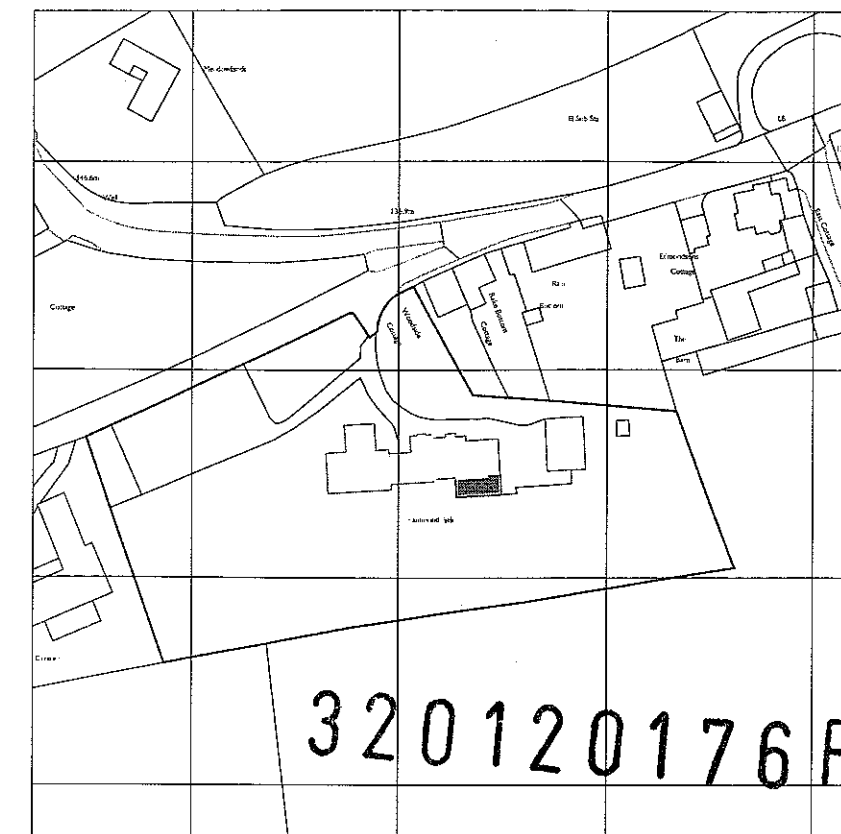
13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. ☒

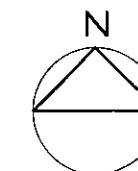
Date 21/02/2012



SITE PLAN 1:500



LOCATION PLAN 1:1250



B Blue line to site boundary & extension edged red

270212

CRC DESIGN

ARCHITECTURAL SERVICES

5 WALLHURST CLOSE WORSTHORNE BURNLEY BB103NV

td 01282 437936 mt 01857 532179 e cdesign@bushouse.co.uk

project
ALTERATIONS & EXTENSIONS
HAMMOND FIELD
HAMMOND DRIVE
READ

client
MR & MRS A HOLT

drawing title
SITE & LOCATION PLAN
PLANNING APPLICATION

date
FEB 2012

scale
1:500
& 1:1250 @A2

drawing no.
1191-7B

Notes

All work to be carried out in accordance with the requirements of the current Building Regulations, all relevant BS Specifications, Codes of Practice, Local and Service Authority Byelaws, and in compliance with the Local Authority Approval.

Contractors must verify all dimensions on site before commencing any work, making any shop drawings or fabricating off site.

Written dimensions should be taken in preference to scaled-off dimensions.

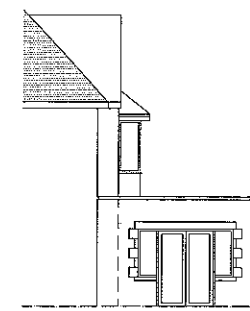
If there are any discrepancies found between this drawing and the CRC Design should be notified immediately.



REAR ELEVATION

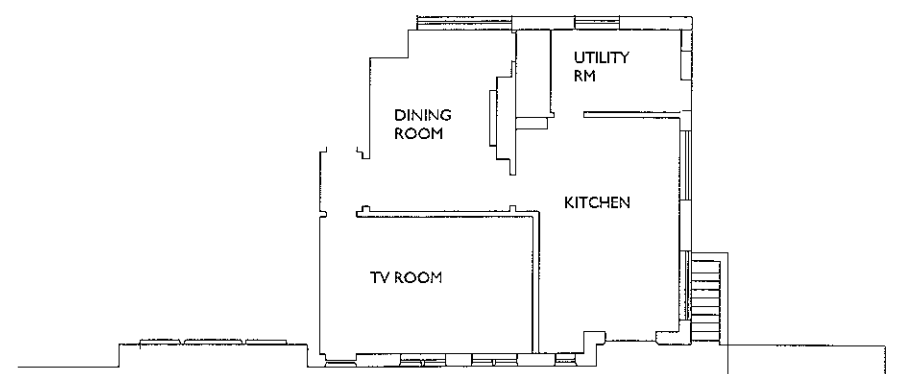


SIDE ELEVATION TO GARAGE

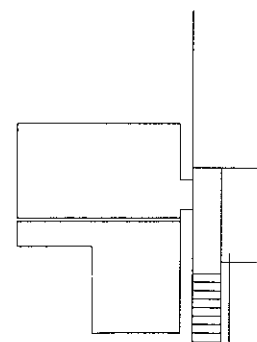


SIDE ELEVATION

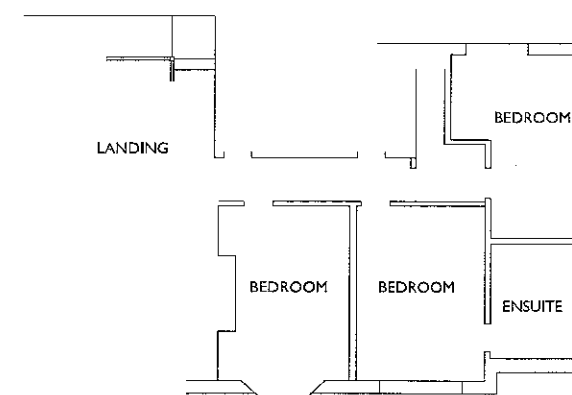
320120176P



PLAN



BASEMENT PLAN



FIRST FLOOR PLAN

CRC DESIGN

ARCHITECTURAL SERVICES

5 WALLHURST CLOSE WORTHORNE BURNLEY BB10 3NY
t: 01282 487896 m: 07887 952079 e: crc.design@btconnect.com

project
ALTERATIONS & EXTENSIONS
HAMMOND FIELD
HAMMOND DRIVE
READ

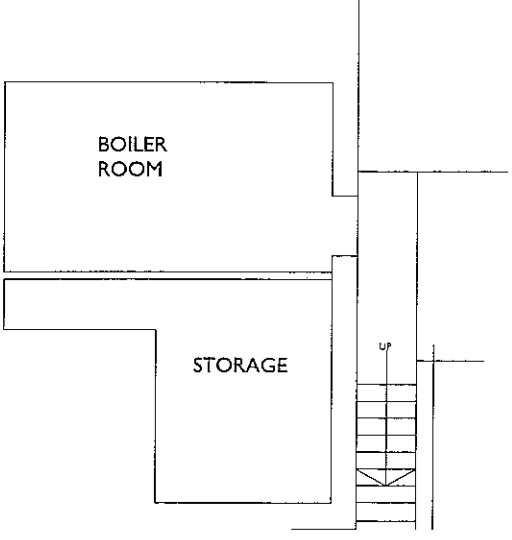
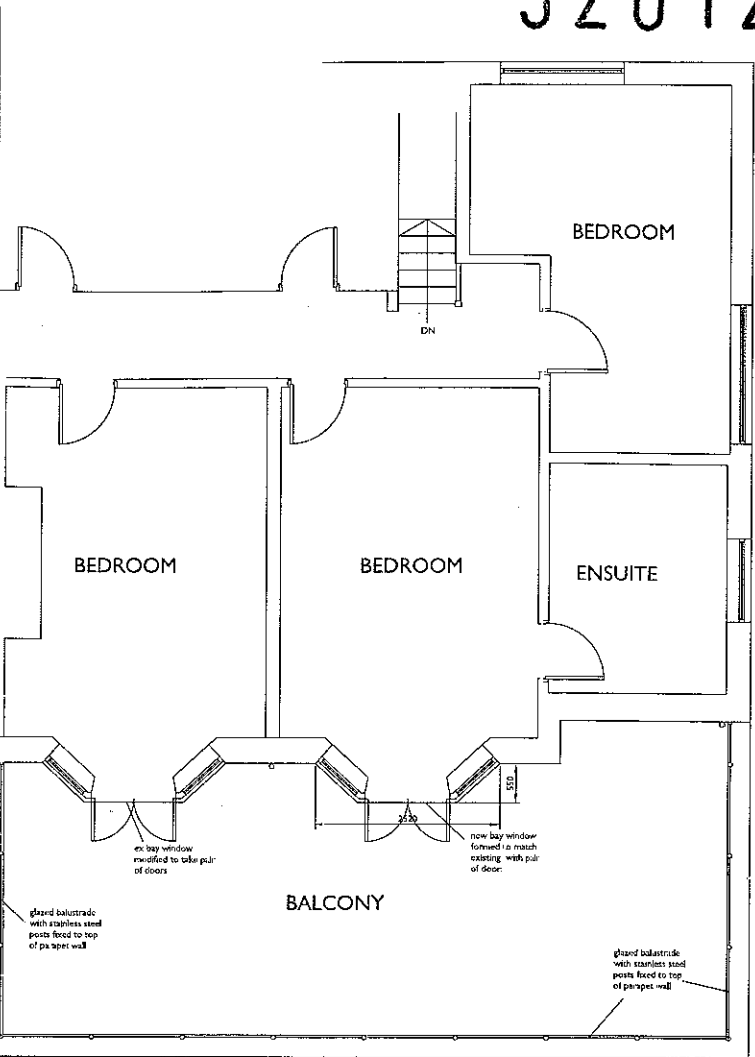
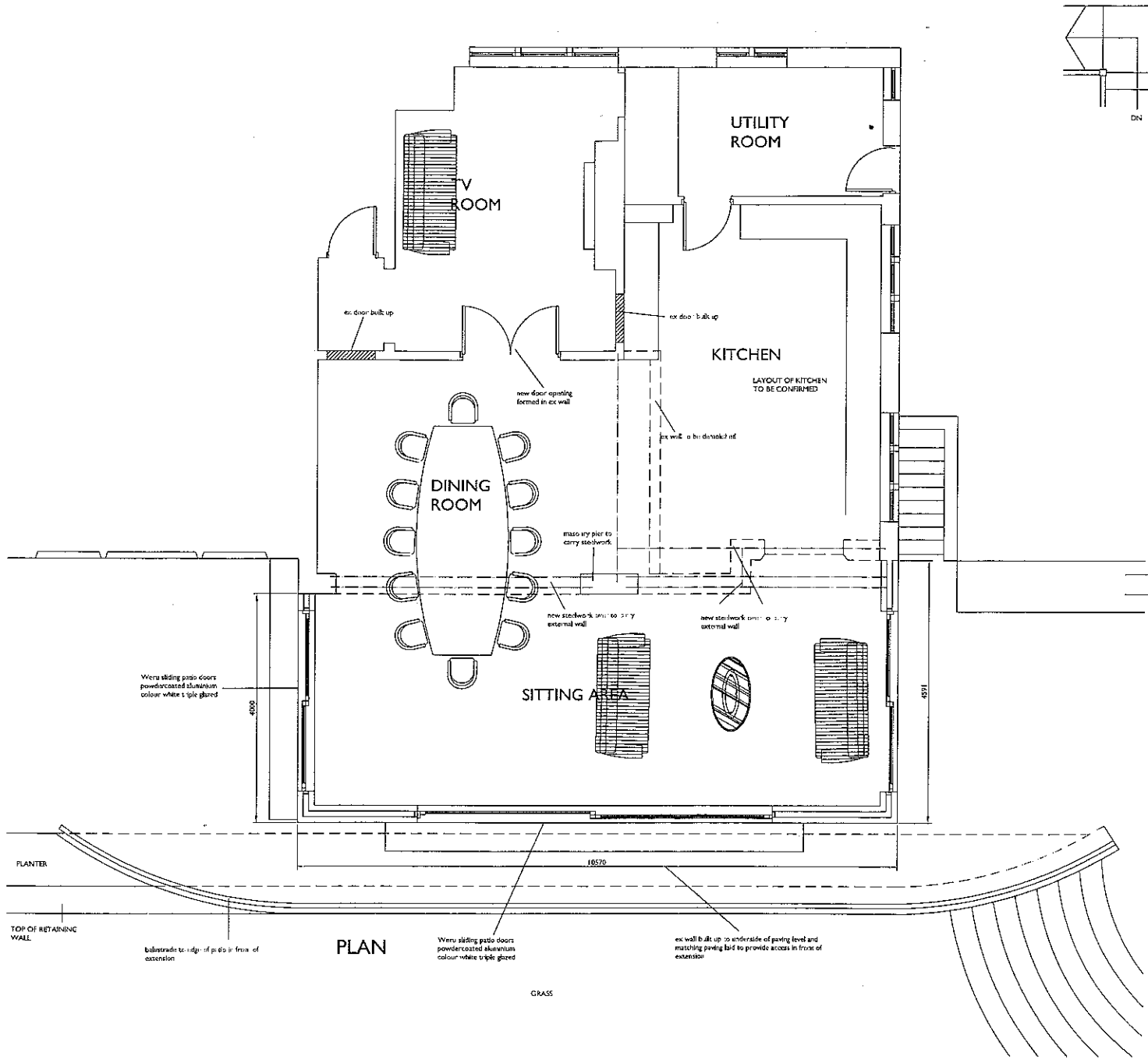
client
MR & MRS A HOLT

drawing title
SURVEY DRAWING

date FEB 2012	scale 1: 100 @ A1	drawing no. 1191-1
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320120176P

Notes:
All work to be carried out in accordance with the requirements of the current Building Regulations, all relevant BS Specifications, Codes of Practice, Local and Service Authority Byelaws, and in compliance with the Local Authority Approvals.
Contractors must verify all dimensions on site before commencing any work, making any shop drawings or fabricating off site.
Written dimensions should be taken in preference to indicated dimensions.
If there are any discrepancies found between the drawing and site, the CRC Design should be notified immediately.



BASEMENT PLAN

FIRST FLOOR PLAN

B. Window to garage elevation is to be added to the sliding door elevation.	220212
1:50	6/01

CRC DESIGN

ARCHITECTURAL SERVICES

5 WALLHURST CLOSE WORTHORNE BURNLEY BB103NV

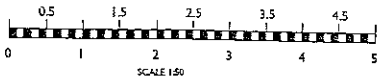
tel 01282 457956 fax 01282 552179 e arc.design@btinternet.com

project:
ALTERATIONS & EXTENSIONS
HAMMOND FIELD
HAMMOND DRIVE
READ

client:
MR & MRS A HOLT

drawing title:
PROPOSED FLOOR PLANS
PLANNING APPLICATION

date: FEB 2012	scale: 1:50 @ A1	drawing no.: 1191-5B
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Not to:

All work to be carried out in accordance with the requirements of the current Building Regulations, all relevant BS Specifications, Codes of Practice, Local and Service Authority Bylaws, and in compliance with the Local Authority Approval.

Contractors must verify all dimensions on site before commencing any work, making any shop drawings or fabricating off site.

Written dimensions should be taken in preference to called-off dimensions.

If there are any discrepancies found between the drawing and site, the CAC Design should be notified immediately.

FINISHES

WALLS Facing brickwork to match existing with stone dressings to window and door openings to match existing

WINDOWS Wera aluminium powder coated white triple glazed

DOORS Wera aluminium powder coated white double glazed sliding to ground floor and hinged to first floor

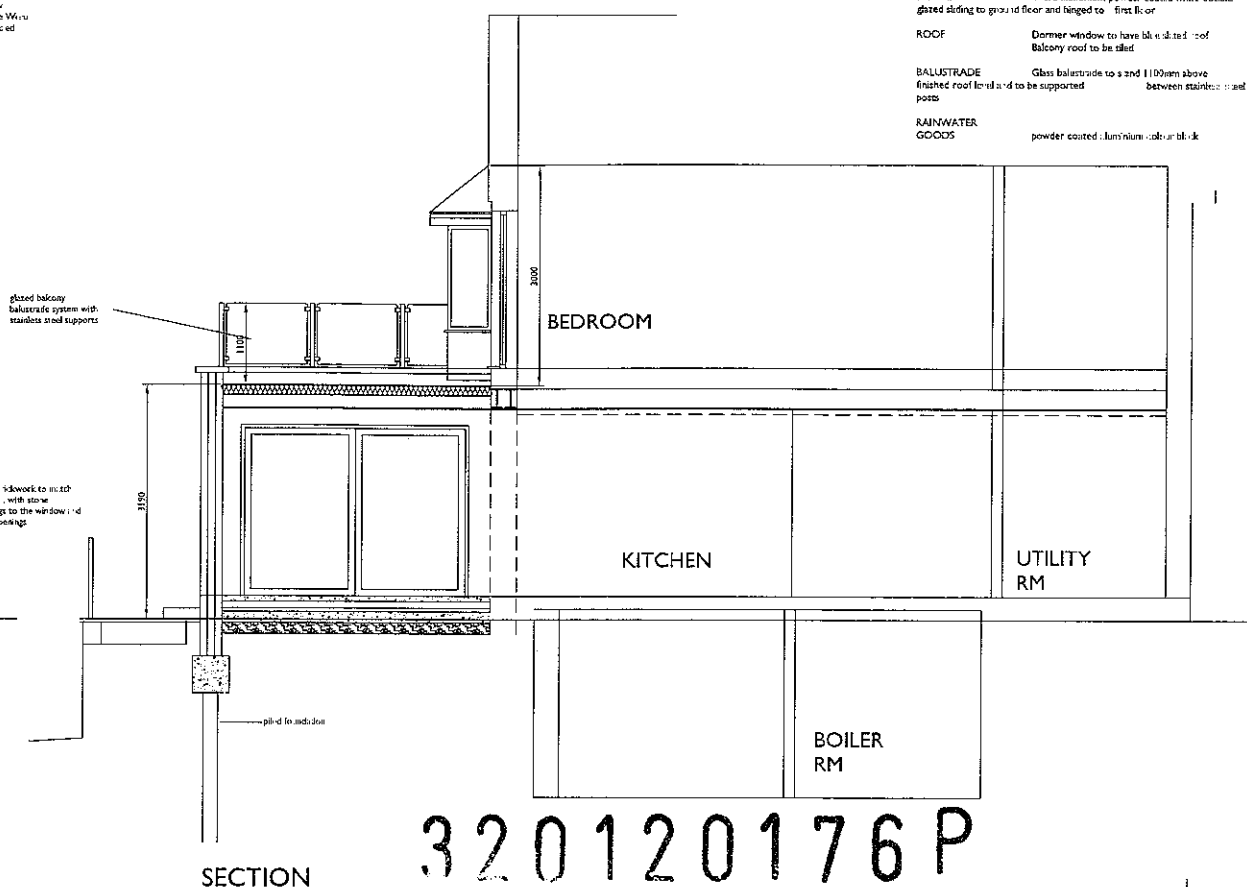
ROOF Dormer window to have slate tiled roof. Balcony roof to be tiled

BALUSTRADE Glass balustrade to 2 and 1100mm above finished roof level and to be supported between stainless steel posts

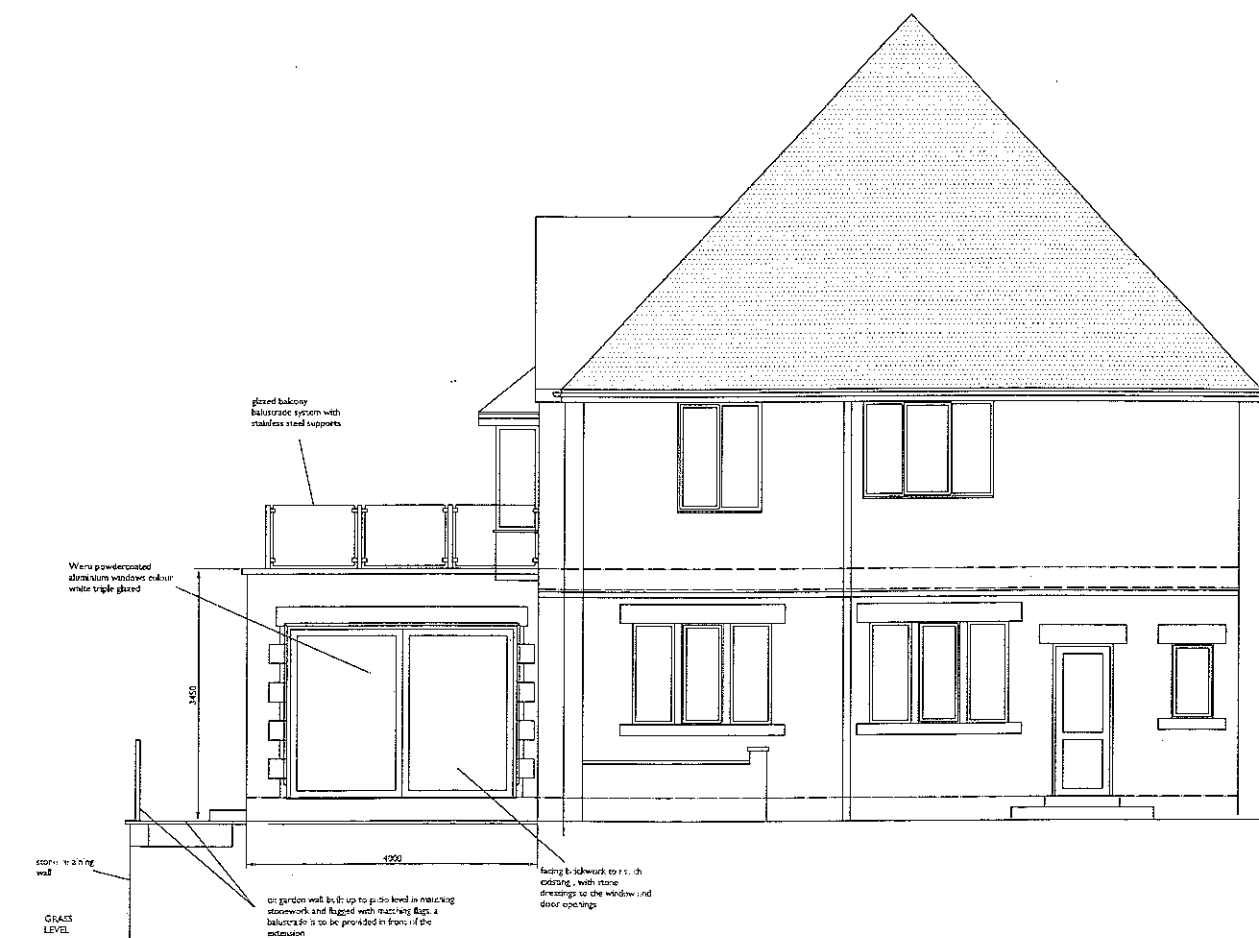
RAINWATER GOODS powder coated aluminium colour black



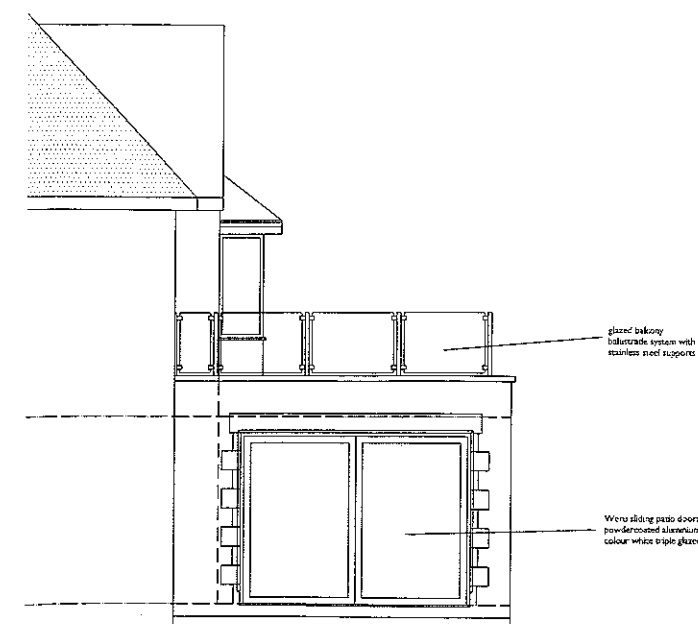
REAR ELEVATION TO GARDEN



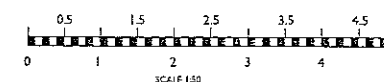
SECTION



SIDE ELEVATION TO GARAGE



SIDE ELEVATION TO PATIO



CRC DESIGN

ARCHITECTURAL SERVICES

5 WALLHURST CLOSE WORSTHORNE BURNLEY BB103NY
tel 01282 481996 mob 07831 352179 e crcdesign@bt.com

project:
ALTERATIONS & EXTENSIONS
HAMMOND FIELD
HAMMOND DRIVE
READ

client:
MR & MRS A HOLT

drawing title:
PROPOSED ELEVATIONS & SECTION
PLANNING APPLICATION

date: FEB 2012	scale: 1:50	drawing no.: 1191-6B
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