



RIBBLE VALLEY
BOROUGH COUNCIL

02 MAR 2012

IN THE
REGION OF

For office use only

Application No: 320120204P

Date received

Fee paid £

Receipt No:

Council Offices, Church Walk, Clitheroe, Lancashire BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.
If you require any further clarification please contact the Authority's planning department

1. Applicant Name, Address and Contact Details

Title:	Mr	First name:	Steven	Surname:	Lancaster
Company name:					
Street address:	Hodder House		Country Code	National Number	Extension Number
	Chipping Road		Telephone number:		
	Chaigley		Mobile number:		
Town/City:	Clitheroe		Fax number:		
County:	Lancashire		Email address:		
Country:	UK				
Postcode:	BB7 3LP				

Are you an agent acting on behalf of the applicant? ☒ Yes ☐ No

2. Agent Name, Address and Contact Details

Title:	Miss	First Name:	deborah	Surname:	jackson
Company name:	stanton andrews				
Street address:	44 York Street		Country Code	National Number	Extension Number
			Telephone number:	01200	444490
			Mobile number:		
Town/City:	Clitheroe		Fax number:		
County:	Lancashire		Email address:		
Country:	United Kingdom				
Postcode:	BB7 2DL		deborah@stantonandrews.co.uk		

3. Description of Proposed Works

Please describe the proposed works:

alterations and extension to existing house

Has the work already been started
without planning permission?

☐ Yes ☒ No

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:	<input type="text"/>	Suffix:	<input type="text"/>
House name:	HODDER HOUSE		
Street address:	CHIPPING ROAD		
	CHAIGLEY		
Town/City:	CLITHEROE		
County:	<input type="text"/>		
Postcode:	BB7 3LP		

Description of location or a grid reference
(must be completed if postcode is not known):

Easting:	369935
Northing:	441045

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle
access proposed to or from
the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian
access proposed to or
from the public highway?

☐ Yes ☒ No

Do the proposals require any
diversions, extinguishment and/or
creation of public rights of way?

☐ Yes ☒ No

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within
falling distance of your proposed development?

☐ Yes ☒ No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☐ Yes ☒ No

8. Parking

Will the proposed works affect existing car parking arrangements?

☐ Yes ☒ No

9. Authority Employee/Member

With respect to the Authority I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ The agent ☒ The applicant ☐ Other person

11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of *existing* materials and finishes:

stone

Description of *proposed* materials and finishes:

stone, to match existing

Roof - description:

Description of *existing* materials and finishes:

slate

Description of *proposed* materials and finishes:

slate, to match existing

Windows - description:Description of *existing* materials and finishes:

timber

Description of *proposed* materials and finishes:

timber, to match existing

Doors - description:Description of *existing* materials and finishes:

timber

Description of *proposed* materials and finishes:

timber, to match existing

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

drawing number 1145/10d and design statement

12. Certificates (Certificate A)**Certificate of Ownership - Certificate A****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: Miss

First name: deborah

Surname: jackson

Person role: Agent

Declaration date: 29/02/2012

☒ Declaration made**12. Certificates (Agricultural Land Declaration)****Agricultural Land Declaration****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding. ☒(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below: ☐

If any part of the land is an agricultural holding of which the applicant is the sole tenant the applicant should complete part (B) of the form by writing 'sole tenant - not applicable' in the first column of the table below

Title: Miss

First Name: deborah

Surname: jackson

Person role: Agent

Declaration date: 29/02/2012

☒ Declaration Made**13. Declaration**

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.



Date: 29/02/2012

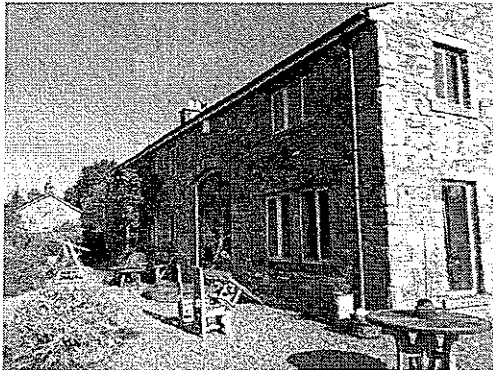
hodder house

chaigley

design statement

320120204P

existing



Hodder House is a detached property situated on Chipping Road, near Chaigley. It is within an area of outstanding natural beauty as defined within the local authority's district plan.

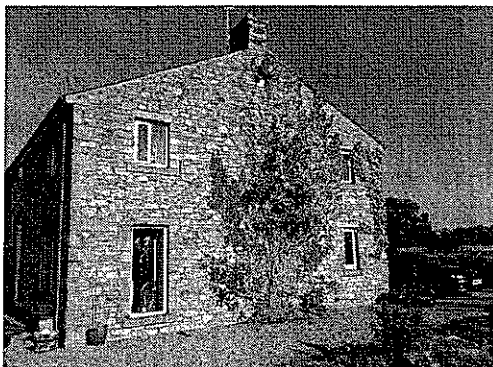
Previously the house was a barn with associated outbuildings and lean-tos (see historic photograph to left). We understand that the barn was converted to a house in the early 1990's (planning application ref. 3/0990/0452).

The house currently has random stone walls, a slate roof and timber windows. There is an original single storey outbuilding to the north east of the house, this is in a poor state of repair and underused.

policy

Amongst other matters the following local authority policies have been considered.

Policy G1	Development Control
Policy H10	Residential Extensions
Policy ENV1	Area of Outstanding Natural Beauty
Policy H17	Building Conversions - Design Matters
Policy H18	Extensions to Converted Buildings
Policy SPG	Extensions and Alterations to Dwellings
PPS1	Delivering Sustainable Development
PPS5	Planning for the Historic Environment
PPS7	Sustainable Development in Rural Areas



proposed

The proposal includes for a single storey extension to the north of the house. This will link the house and outbuilding, rejuvenating and renovating the outbuilding. The outbuilding and extension will be used by the client as home office and art studio.

appearance

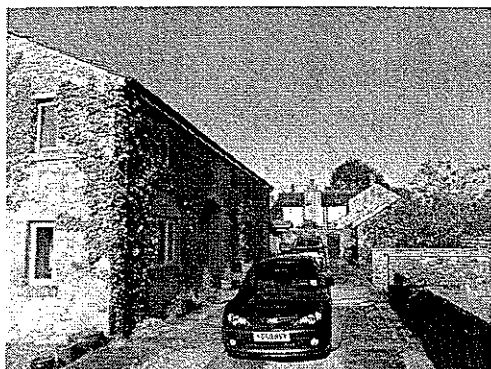
The extension is largely concealed behind the existing tall stone boundary wall (to the north west) and the existing outbuilding. The extension will only become apparent when within the site.

Materials and detailing will be in keeping with the existing house and outbuilding, respecting the design, materials and geometric form.

The design of the new link extension pulls away from the existing buildings to allow original character of the converted barn and the outbuilding to be appreciated.



design statement



materials

- roof
to be finished in second hand slates with lead detailing.
- walls
to be random stonework with dressed stone head and cills to windows and external doors.
- windows/doors
to have hardwood timber frames matching the existing house



resubmission matters

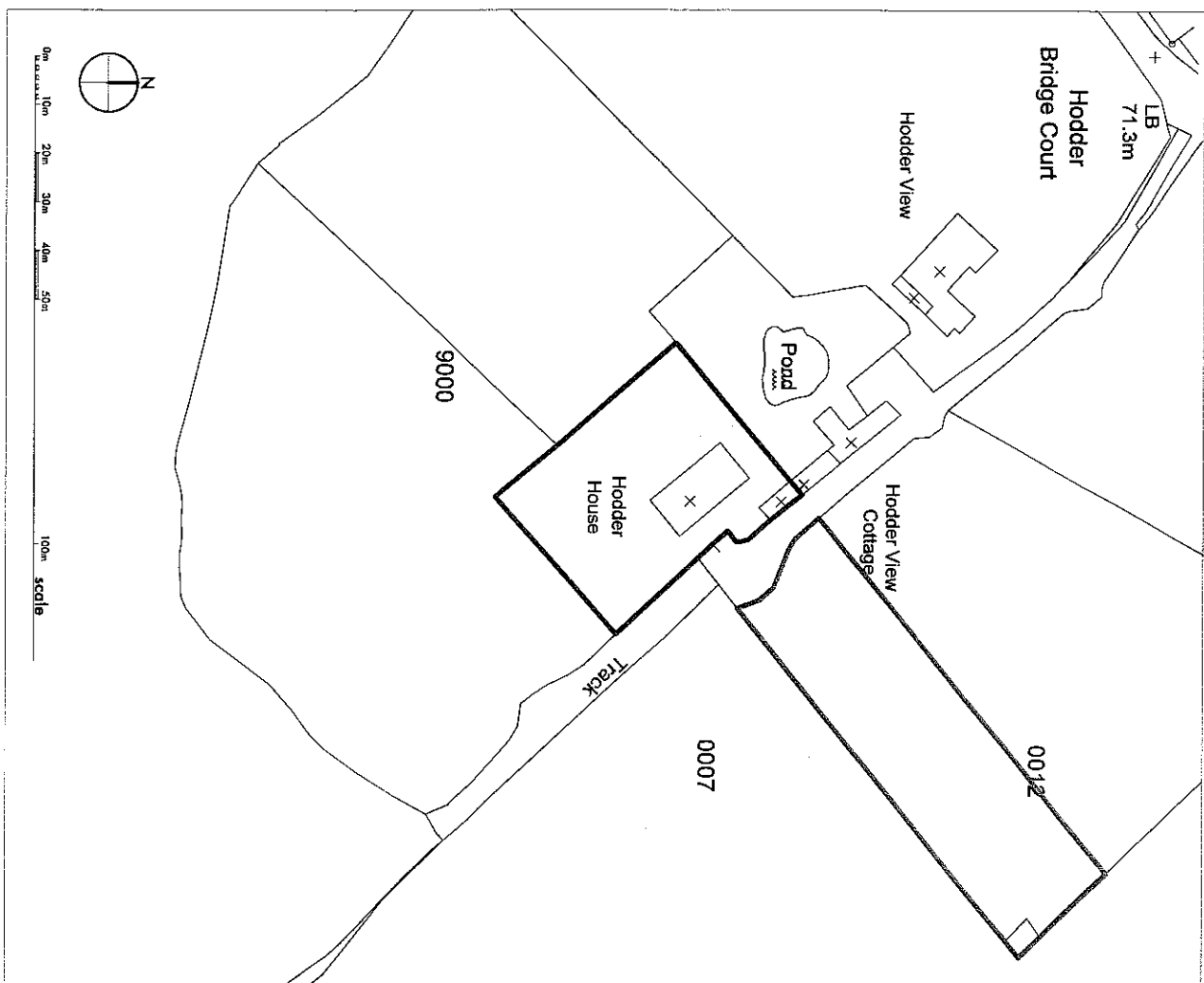
This planning application is a resubmission of a previously application (planning application ref: 3/2011/1015). The current proposals incorporate the following amendments to the scheme in response to the matters highlighted in the planning officer's report

- existing house
The proposals now include no alterations to the existing windows and doorways to the house, thereby adhering to the principles of policy H17 of the local plan.
- existing outbuilding
The existing outbuilding will appear largely unaltered, preserving the 'development cluster' as seen from Chipping Road.
The height of the existing outbuilding will be unchanged and there are to be no new window openings to the south east and north east elevations, thereby preserving the character of the outbuilding and evidence of its agricultural past.
- extension
The ridge of the extension has been lowered from the previous application, now aligning with the ridge of the existing outbuilding.



320120204P

This drawing is to be used in conjunction with all relevant
conditions and specifications. Drawings
are subject to the addition of any discrepancies before
construction. From this drawing
all dimensions are to be shown on site.
This drawing is subject to copyright.



rev. A 29.02.12 planning application

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architects

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s lancaster
hodder house

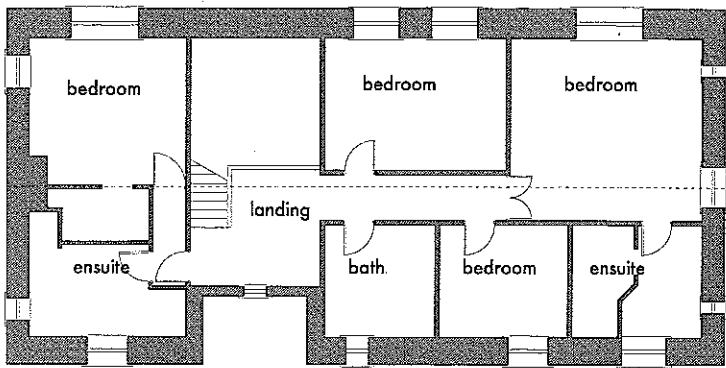
existing plans
and elevations

drawn 1145/ 01 rev. A

drawn 1145/ 01 rev. 10 scale 1 to 1000 @ A3

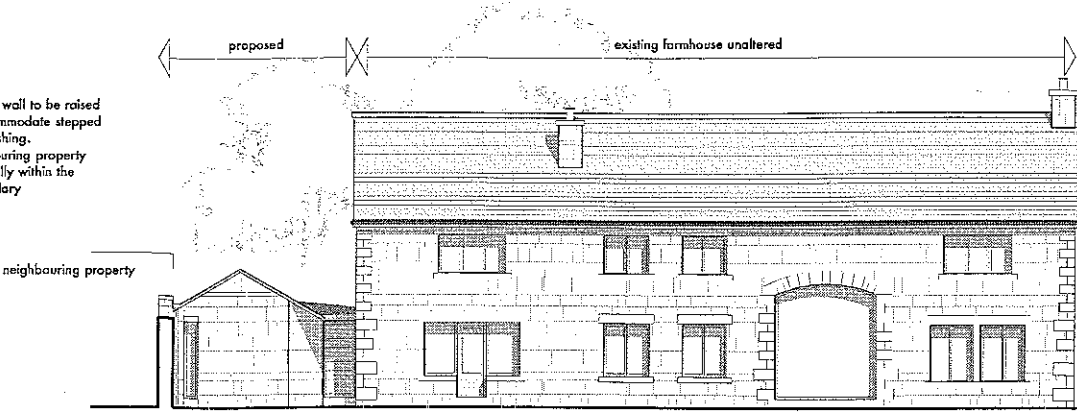
materials schedule
sample of proposed materials to be submitted to the local
authority for approval prior to works commencing on site

walls - stone, to match existing
roof - slate with lead detailing, to match existing
windows/doors - timber



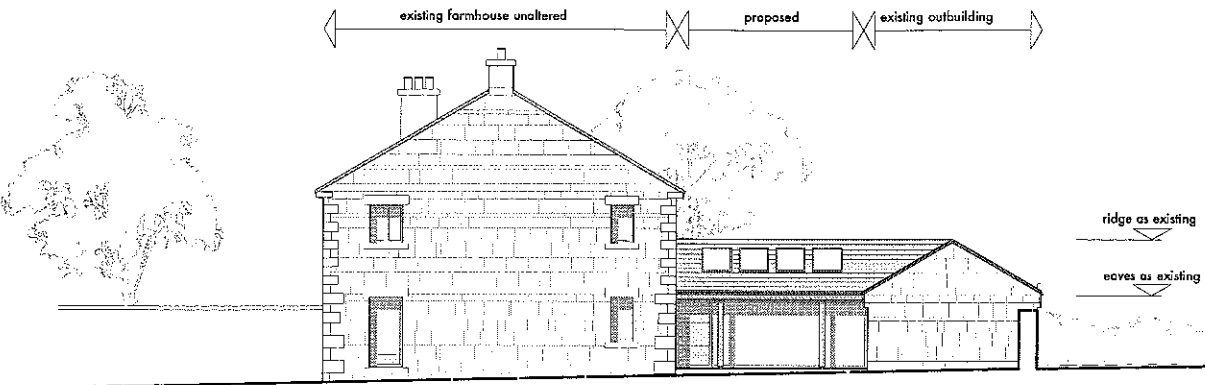
first floor plan

revision C
height of existing boundary wall to be raised
minimum necessary to accommodate stepped
lead parapet gutter and flashing.
no projections onto neighbouring property
all rainwater goods to be fully within the
applicant's ownership boundary



south west elevation

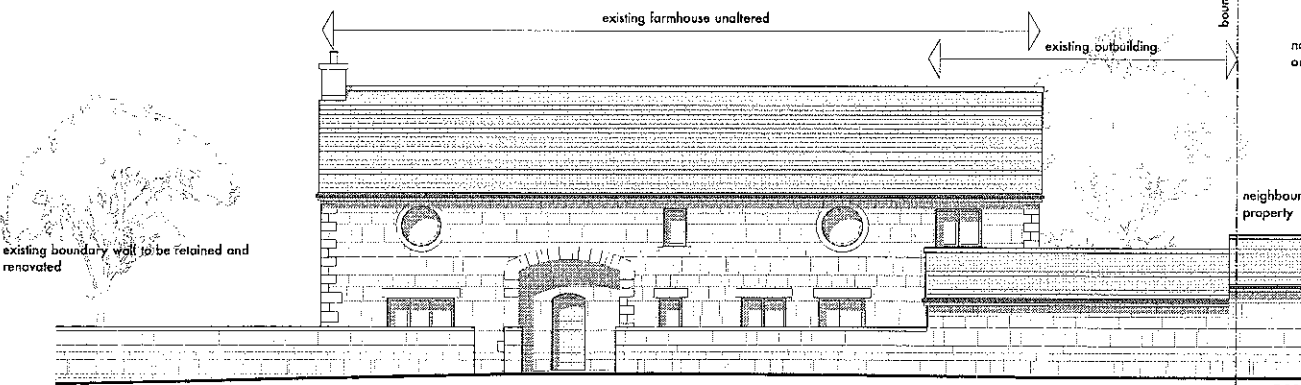
320120204 P



south east elevation

profile of neighbouring property shown behind
existing outbuilding

ridge as existing
eaves as existing
south east gable to existing outbuilding to be
unaltered



north east elevation

north east elevation and roof profile to existing
outbuilding to be unaltered

rev E 29 02 12 planning application
rev D 23 02 12 double door to SW elevation omitted
windows to existing outbuilding omitted
ridge and eaves heights as existing
window to NE elevation as existing

rev C 20 01 12 parapet wall to NE elevation
rev B 09 12 11 dimension notes added
rev A 01 12 11 planning application

stanton andrews
architects

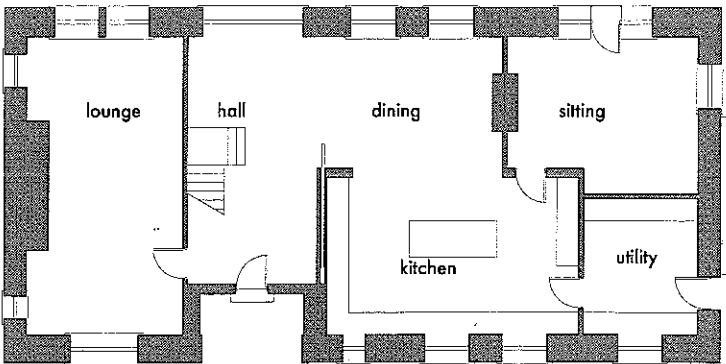
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s lancaster
hodder house

proposed plans
and elevations

drg.no. 1145/ 10 rev. E
na date nov.10 scale 1 to 100 @A1
drawn. 1 to 200 @A3



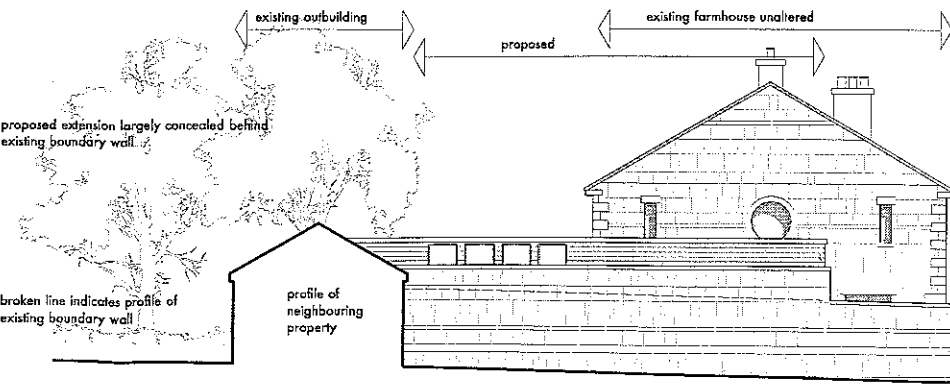
ground floor plan

extension positioned between existing boundary wall and
existing house.
proposed dimension of 4.1m must be considered
approximate - actual width to be existing space width less
width of doorway (0.9m)

existing boundary wall

grey shaded walls indicates existing walls

existing outbuilding to be renovated



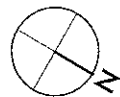
north west elevation

existing boundary wall to be retained and renovated.
existing wall built up to form parapet - see note to sw
elevation
redundant gateway to be closed up, to match
existing wall

proposed extension largely concealed behind
existing boundary wall

broken line indicates profile of
existing boundary wall

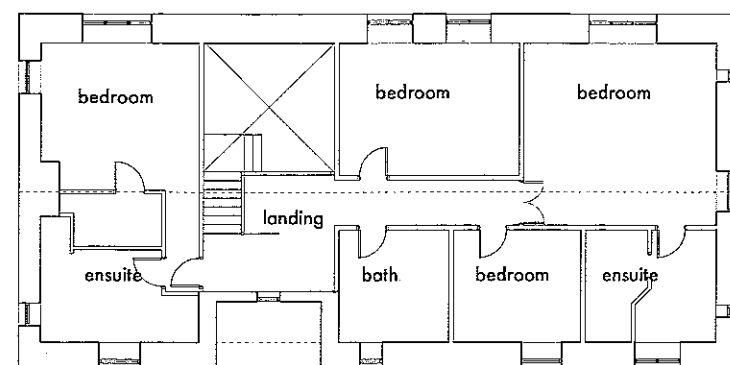
profile of
neighbouring
property



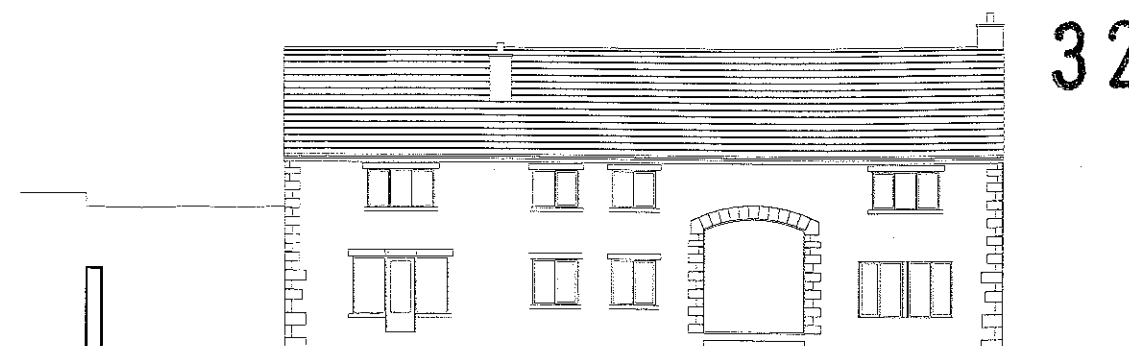
0m 10m scale

as existing drawings based on information provided by client - no measured survey of the property has been undertaken by the architect.

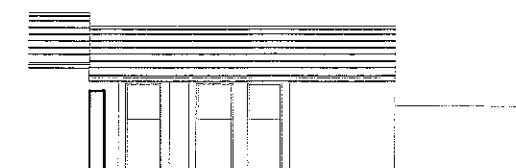
This drawing is to be read in conjunction with all other drawings and specialist drawings. The architect is to be notified of any discrepancy before proceeding. do not scale from this drawing. all dimensions are to be checked on site. this drawing is subject to copyright.



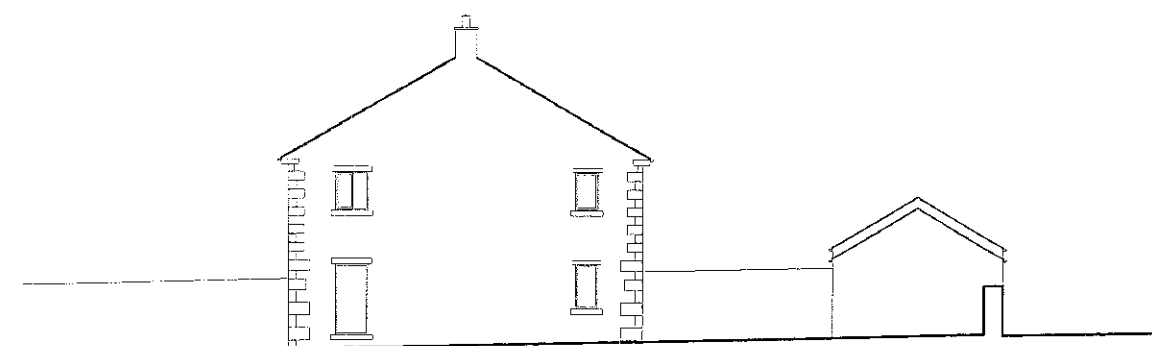
first floor plan



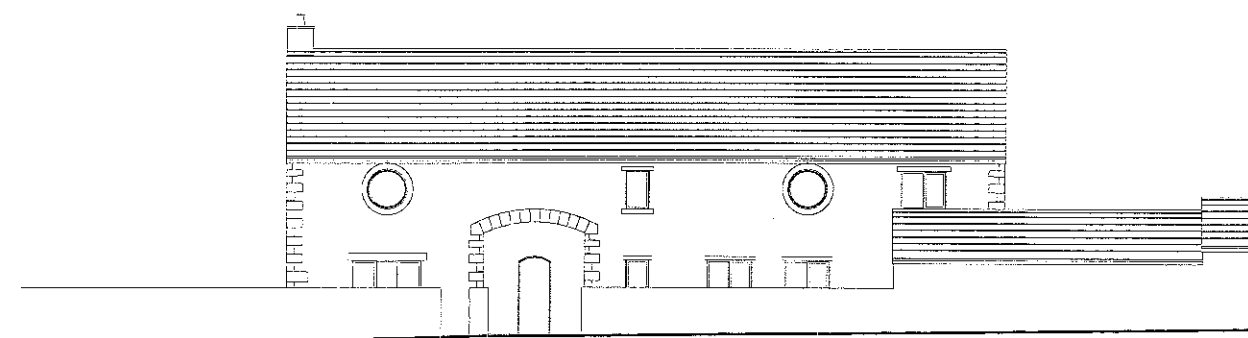
south west elevation (house)



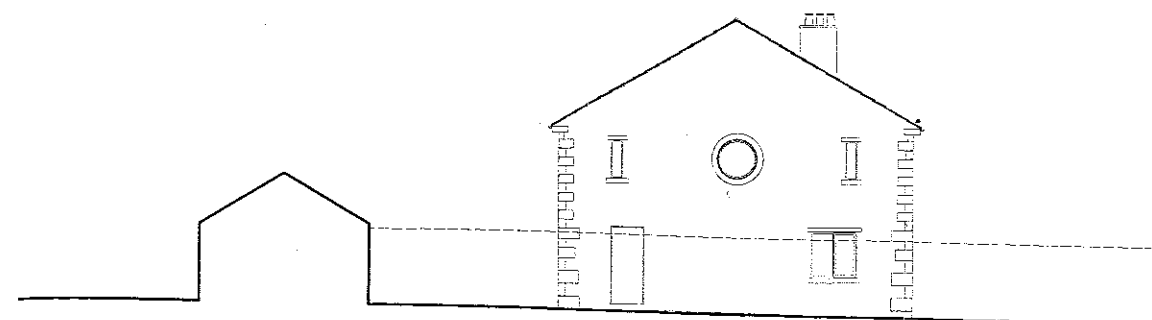
south west elevation (store)



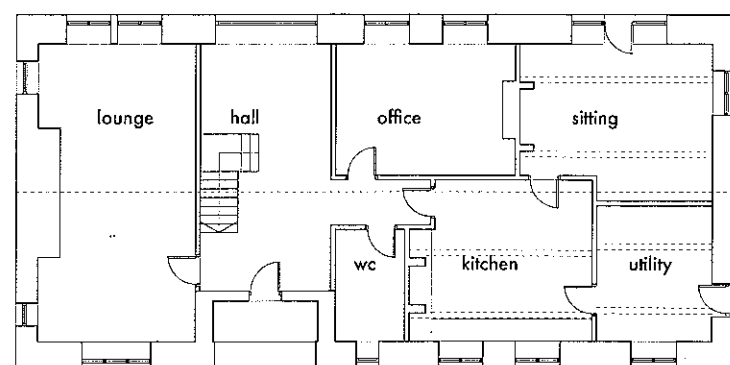
south east elevation



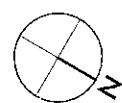
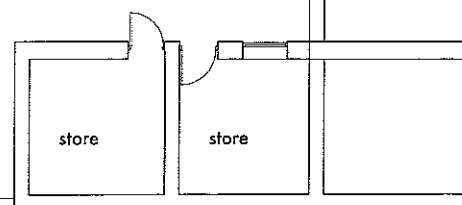
north east elevation



north west elevation



ground floor plan



0m 10m scale

rev A 29 02 12 planning application

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orig. no.	1145/ 02	rev.	A
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