



RIBBLE VALLEY
BOROUGH COUNCIL

Council Offices, Church Walk, Clitheroe, Lancashire. BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

29 FEB 2012

FOR THE
ATTENTION OF

For office use only

Application No: 320120210P

Date received

Fee paid £

Receipt No:

Application for Planning Permission. Town and Country Planning Act 1990

You can complete and submit this form electronically via the Planning Portal by visiting www.planningportal.gov.uk/apply

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department

Please complete using block capitals and black ink

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application

1. Applicant Name and Address

Title: MRS First name: KATH
Last name: POTTER
Company (optional):
Unit: House number: House suffix:
House name: BACK LANE FARM
Address 1: BACK LANE
Address 2:
Address 3:
Town: CHIPPING
County: LANCASHIRE
Country:
Postcode: PR3 2QA

2. Agent Name and Address

Title: MR First name: GARY
Last name: HOERTY
Company (optional): GARY HOERTY ASSOCIATES
Unit: House number: 6-8 House suffix:
House name:
Address 1: CHURCH STREET
Address 2:
Address 3:
Town: CLITHEROE
County: LANCASHIRE
Country:
Postcode: BB7 2DG

3. Description of the Proposal

Please describe the proposed development, including any change of use:

ERECTOR OF GENERAL PURPOSE AGRICULTURAL BUILDING
FOR LIVESTOCK HOUSING AND GENERAL STORAGE

Has the building, work or change of use already started?

☐ Yes

☒ No

If Yes, please state the date when building,
work or use were started (DD/MM/YYYY):

(date must be pre-application submission)

Has the building, work or change of use been completed?

☐ Yes

☒ No

If Yes, please state the date when the building, work
or change of use was completed: (DD/MM/YYYY):

(date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site

Unit: House number: House suffix:

House name:

Address 1:

Address 2:

Address 3:

Town:

County:

Postcode (optional):

Description of location or a grid reference
(must be completed if postcode is not known):

Easting: Northing:

Description:

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application? ☐ Yes ☒ No

If Yes, please complete the following information about the advice you were given (This will help the authority to deal with this application more efficiently)

Please tick if the full contact details are not known, and then complete as much as possible: ☐

Officer name:

Reference:

Date (DD/MM/YYYY):
(must be pre-application submission)

Details of pre-application advice received?

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions /extinguishments and/or creation of rights of way?

☐ Yes ☒ No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state the reference of the plan (s)/drawings(s)

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

N/A

☐ Yes ☒ No

If Yes, please provide details:

Have arrangements been made for the separate storage and collection of recyclable waste?

N/A

☐ Yes ☒ No

If Yes, please provide details:

8. Authority Employee / Member

With respect to the Authority, I am: (a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

If Yes, please provide details of the name, relationship and role

9. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know
Walls		PALIS BOX PROFILE CLADDING (DARK GREEN) PALIS TIMBER SPACE BOARDING.	<input type="checkbox"/>	<input type="checkbox"/>
Roof		DARK GREEN BOX PROFILE CLADDING	<input type="checkbox"/>	<input type="checkbox"/>
Windows			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Doors		CAVANAUGH STEEL (GREY)	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard-standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Others (please specify)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes

☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

PLAN POT/546/1420/01 x 3
DESIGN AND ACCESS STATEMENT x 3
SUPPORTING STATEMENT x 3
R/L MAPS x 3
RUBRIC AS QUESTIONNAIRE x 3

10. Vehicle Parking

N/A

Please provide information on the existing and proposed number of on-site parking spaces:

Type of Vehicle	Total Existing	Total proposed (including spaces retained)	Difference in spaces
Cars			
Light goods vehicles/ public carrier vehicles			
Motorcycles			
Disability spaces			
Cycle spaces			
Other (e.g. Bus)			
Other (e.g. Bus)			

11. Foul Sewage

N/A

Please state how foul sewage is to be disposed of:

- ☐ Mains sewer ☐ Cess pit
☐ Septic tank ☐ Other
☐ Package treatment plant

Are you proposing to connect to the existing drainage system? ☐ Yes ☐ No

If Yes, please include the details of the existing system on the application drawings and state references for the plan(s)/drawing(s):

12. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary)

☐ Yes ☒ No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)? ☐ Yes ☒ No

Will the proposal increase the flood risk elsewhere? ☐ Yes ☒ No

How will surface water be disposed of?

- ☐ Sustainable drainage system ☒ Existing watercourse
☐ Soakaway ☐ Pond/lake
☐ Main sewer

13. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

a) Protected and priority species:

- ☐ Yes, on the development site
☐ Yes, on land adjacent to or near the proposed development
☒ No

b) Designated sites, important habitats or other biodiversity features:

- ☐ Yes, on the development site
☐ Yes, on land adjacent to or near the proposed development
☒ No

c) Features of geological conservation importance:

- ☐ Yes, on the development site
☐ Yes, on land adjacent to or near the proposed development
☒ No

14. Existing Use

Please describe the current use of the site:

AGRICULTURAL LAND +
AGRICULTURAL BUILDING

Is the site currently vacant? ☐ Yes ☒ No

If Yes, please describe the last use of the site:

When did this use end (if known)?

DD/MM/YYYY

(date where known may be approximate)

Does the proposal involve any of the following?
If yes, you will need to submit an appropriate contamination assessment with your application

Land which is known to be contaminated? ☐ Yes ☒ No

Land where contamination is suspected for all or part of the site? ☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination? ☐ Yes ☒ No

15. Trees and Hedges

Are there trees or hedges on the proposed development site? ☐ Yes ☒ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? ☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to construction - Recommendations'.

16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? ☐ Yes ☒ No

If Yes, please describe the nature, volume and means of disposal of trade effluents or waste

17. Residential Units (Including Conversion)

Does your proposal include the gain, loss or change of use of residential units?
If Yes, please complete details of the changes in the tables below:

☐ Yes☒ No**Proposed Housing**

Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a + b + c + d + e + f + g) =							

Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a + b + c + d + e + f + g) =							

Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a + b + c + d + e + f + g) =							

Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a + b + c + d + e + f + g) =							

Total proposed residential units (A + B + C + D) =**Existing Housing**

Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a + b + c + d + e + f + g) =							

Social Rented	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a + b + c + d + e + f + g) =							

Intermediate	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a + b + c + d + e + f + g) =							

Key worker	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats and maisonettes	<input type="checkbox"/>						
Live-work units	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Unknown type	<input type="checkbox"/>						
Totals (a + b + c + d + e + f + g) =							

Total existing residential units (E + F + G + H) =**TOTAL NET GAIN or LOSS of RESIDENTIAL UNITS (Proposed Housing Grand Total - Existing Housing Grand Total):**

18. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace? ☐ Yes ☐ No

If you have answered Yes to the question above please add details in the following table:

Use class/type of use	Not applicable	Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross internal floorspace proposed (including change of use)(square metres)	Net additional gross internal floorspace following development (square metres)
A1 Shops	<input type="checkbox"/>				
Net tradable area:	<input type="checkbox"/>				
A2 Financial and professional services	<input type="checkbox"/>				
A3 Restaurants and cafes	<input type="checkbox"/>				
A4 Drinking establishments	<input type="checkbox"/>				
A5 Hot food takeaways	<input type="checkbox"/>				
B1 (a) Office (other than A2)	<input type="checkbox"/>				
B1 (b) Research and development	<input type="checkbox"/>				
B1 (c) Light industrial	<input type="checkbox"/>				
B2 General industrial	<input type="checkbox"/>				
B8 Storage or distribution	<input type="checkbox"/>				
C1 Hotels and halls of residence	<input type="checkbox"/>				
C2 Residential institutions	<input type="checkbox"/>				
D1 Non-residential institutions	<input type="checkbox"/>				
D2 Assembly and leisure	<input type="checkbox"/>				
OTHER <i>AGRICULTURAL BUILDINGS</i>	<input type="checkbox"/>	31.39	31.39	170.61	139.22
Please Specify	<input type="checkbox"/>				
Total		31.39	31.39	170.61	139.22

In addition, for hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms

Use class	Type of use	Not applicable	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including changes of use)	Net additional rooms
C1	Hotels	<input type="checkbox"/>			
C2	Residential Institutions	<input type="checkbox"/>			
OTHER		<input type="checkbox"/>			
Please Specify		<input type="checkbox"/>			

19. Employment

Please complete the following information regarding employees: *N/A*

	Full-time	Part-time	Total full-time equivalent
Existing employees			
Proposed employees			

20. Hours of Opening *N/A*

Please state the hours of opening for each non-residential use proposed:

Use	Monday to Friday	Saturday	Sunday and Bank Holidays	Not known

21. Site Area

Please state the site area in hectares (ha)

0.017

22. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal a waste management development? ☐ Yes ☒ No

If the answer is Yes, please complete the following table:

	Not applicable	The total capacity of the void in cubic metres, including engineering surcharge and making no allowance for cover or restoration material (or tonnes if solid waste or litres if liquid waste)	Maximum annual operational throughput in tonnes (or litres if liquid waste)
Inert landfill	<input type="checkbox"/>		
Non-hazardous landfill	<input type="checkbox"/>		
Hazardous landfill	<input type="checkbox"/>		
Energy from waste incineration	<input type="checkbox"/>		
Other incineration	<input type="checkbox"/>		
Landfill gas generation plant	<input type="checkbox"/>		
Pyrolysis/gasification	<input type="checkbox"/>		
Metal recycling site	<input type="checkbox"/>		
Transfer stations	<input type="checkbox"/>		
Material recovery/recycling facilities (MRFs)	<input type="checkbox"/>		
Household civic amenity sites	<input type="checkbox"/>		
Open windrow composting	<input type="checkbox"/>		
In-vessel composting	<input type="checkbox"/>		
Anaerobic digestion	<input type="checkbox"/>		
Any combined mechanical, biological and/or thermal treatment (MBT)	<input type="checkbox"/>		
Sewage treatment works	<input type="checkbox"/>		
Other treatment	<input type="checkbox"/>		
Recycling facilities construction, demolition and excavation waste	<input type="checkbox"/>		
Storage of waste	<input type="checkbox"/>		
Other waste management	<input type="checkbox"/>		
Other developments	<input type="checkbox"/>		

Please provide the maximum annual operational throughput of the following waste streams:

Municipal	
Construction, demolition and excavation	
Commercial and industrial	
Hazardous	

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make clear what information it requires on its website.

23. Hazardous Substances

Does the proposal involve the use or storage of any of the following materials in the quantities stated below? ☐ Yes ☐ No ☒ Not applicable

If Yes, please provide the amount of each substance that is involved:

Acrylonitrile (tonnes)	<input type="text"/>	Ethylene oxide (tonnes)	<input type="text"/>	Phosgene (tonnes)	<input type="text"/>
Ammonia (tonnes)	<input type="text"/>	Hydrogen cyanide (tonnes)	<input type="text"/>	Sulphur dioxide (tonnes)	<input type="text"/>
Bromine (tonnes)	<input type="text"/>	Liquid oxygen (tonnes)	<input type="text"/>	Flour (tonnes)	<input type="text"/>
Chlorine (tonnes)	<input type="text"/>	Liquid petroleum gas (tonnes)	<input type="text"/>	Refined white sugar (tonnes)	<input type="text"/>

Other:

Other:

Amount (tonnes):

Amount (tonnes):

24. Ownership Certificates

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form

CERTIFICATE OF OWNERSHIP - CERTIFICATE A

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which the application relates

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE B

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/ The applicant certifies that I have/the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which this application relates

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE C

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of the land or building or of a part of it, but I have/ the applicant has been unable to do so

The steps taken were:

Name of Owner	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

24. Ownership Certificates (continued)**CERTIFICATE OF OWNERSHIP - CERTIFICATE D****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so

The steps taken were:

--

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

--

On the following date (which must not be earlier than 21 days before the date of the application):

--

Signed - Applicant:

--

Or signed - Agent:

--

Date (DD/MM/YYYY):

--

25. Agricultural Land Declaration**AGRICULTURAL LAND DECLARATION****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding

Signed - Applicant:

--

Or signed - Agent:

<i>G. Hoek</i>

Date (DD/MM/YYYY):

20.2.2012

(B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

Signed - Applicant:

--

Or signed - Agent:

--

Date (DD/MM/YYYY):

--

26. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal! Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

The original and 3 copies of a completed and dated application form:

☒ The correct fee: ☒

The original and 3 copies of the plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:

☒ The original and 3 copies of a design and access statement, if required (see help text and guidance notes for details): ☒

The original and 3 copies of other plans and drawings or information necessary to describe the subject of the application:

☒ The original and 3 copies of the completed, dated Ownership Certificate (A, B, C, or D - as applicable): ☒

☒ The original and 3 copies of the completed, dated Article 12 Certificate (Agricultural Holdings): ☒

27. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):



20.2.2012

(date cannot be pre-application)

28. Applicant Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

29. Agent Contact Details

Telephone numbers

Country code: National number: Extension number:

Country code: Mobile number (optional):

Country code: Fax number (optional):

Email address (optional):

30. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes

☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☒ Agent

☐ Applicant

☐ Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

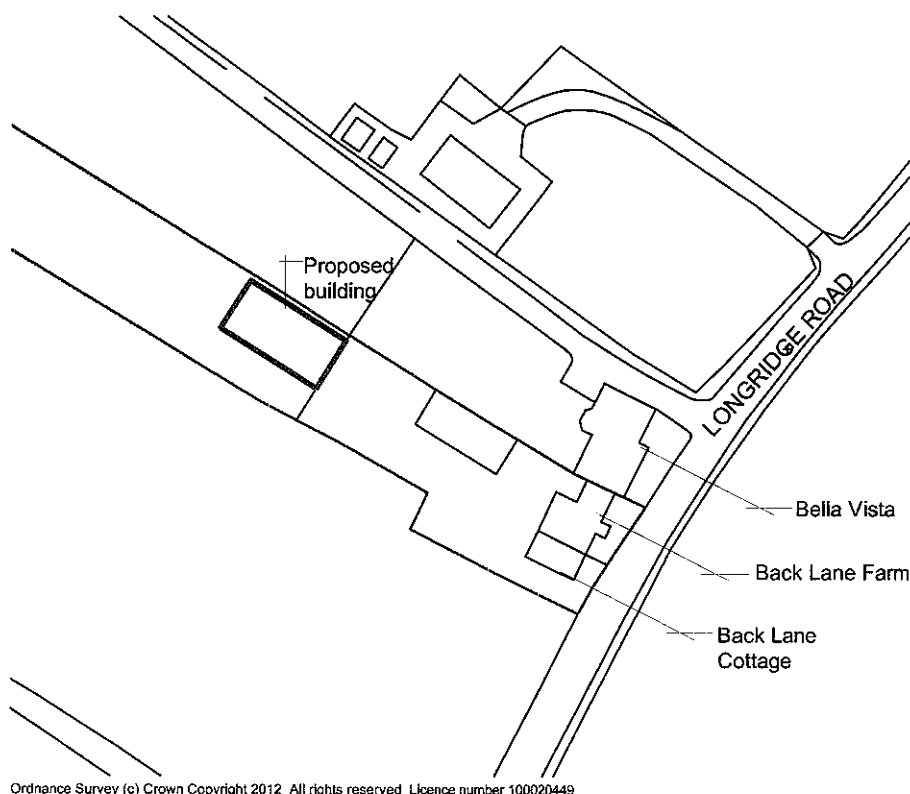
Contact name:

Telephone number:

Email address:

Proposed Agricultural Storage Building at Back Lane Farm,
Back Lane, Chipping, PR3 2QA~

320120210P



Chartered Surveyors
6-8 Church Street
Clitheroe
Lancashire BB7 2DG

T: 01200 442301
F: 01200 442976
Email: info@ghaonline.co.uk

Project No: Pot/546/1420/03

Project: Proposed Agricultural Building at
Back Lane Farm
Back Lane
Chipping
PR3 2QA

Amendment A; 06.03.12 - Proposed demolition hatched,
and dimensions added to site plan. New location plan
included following comments from LPA. RB

Notes:

All work is to be carried out to the latest current British standard Codes of Practice and recognised working practices. All work and materials should comply with Health and Safety legislation. All dimensions are in millimetres except where explicitly shown otherwise. The contractor should check and certify all dimensions as work proceeds and notify GHA of any discrepancies. Do not scale off the drawings, if in doubt ask.

Client: Mrs K. Potter

Drawn: RB

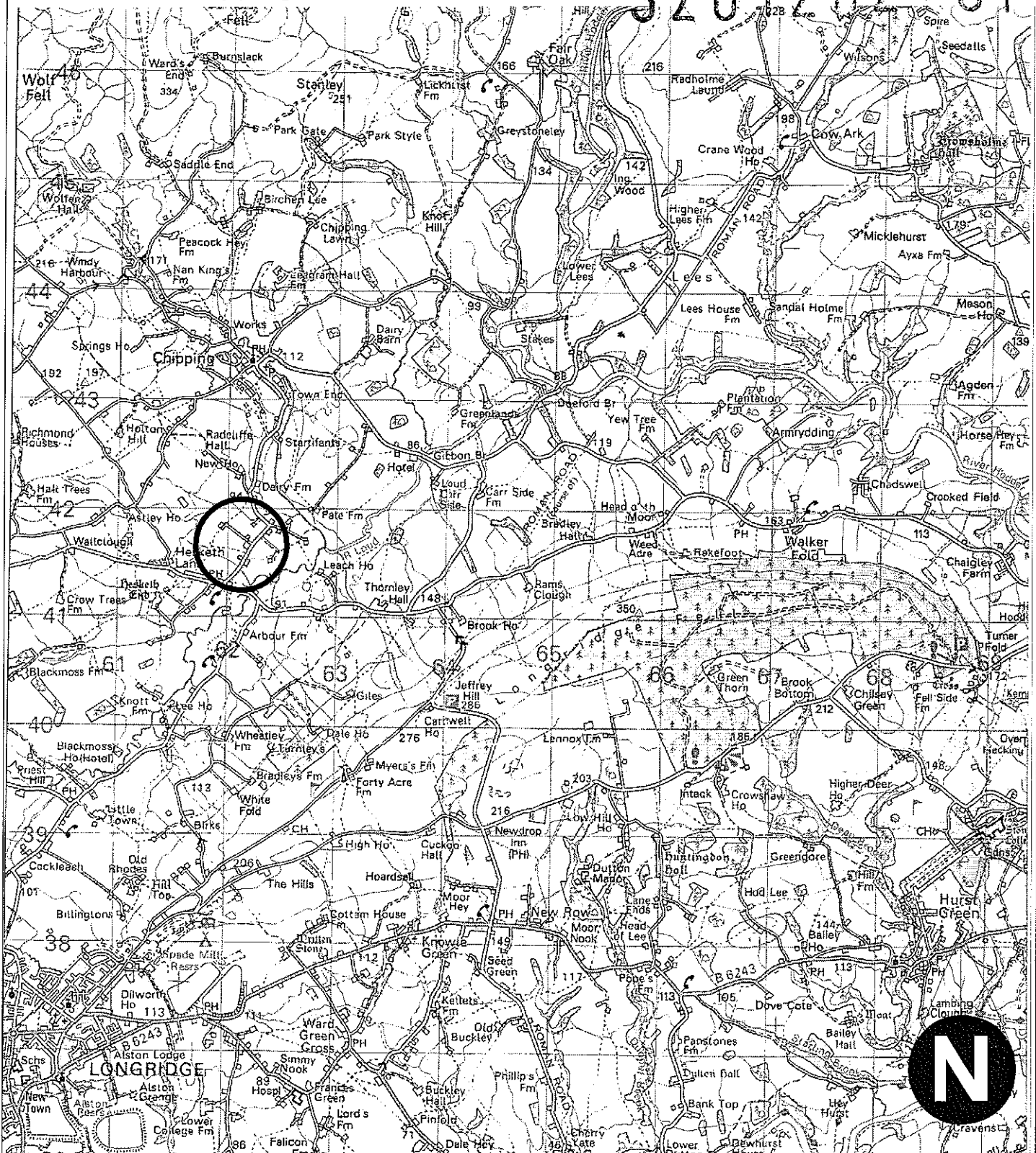
Date: 07.03.12

Scale: 1:1250
@ A4

Amendments:

Proposed Agricultural Storage Building at Back Lane Farm, Back Lane, Chipping, PR3 2QA~

320120210P



Gary Hoerty Associates

Chartered Surveyors
6-8 Church Street
Clitheroe
Lancashire BB7 2DG

T: 01200 442301
F: 01200 442976
Email: info@ghaonline.co.uk

Project No: Pot/546/1420/02

Project: Proposed Agricultural Building at
Back Lane Farm
Back Lane
Chipping
PR3 2QA

Amendment A; 06.03 12 - Proposed demolition hatched
and dimensions added to site plan. New location plan
included following comments from LPA. RB

Notes:

All work is to be carried out to the latest current British standard Codes of Practice and recognised working practices. All work and materials should comply with Health and Safety legislation. All dimensions are in millimetres except where explicitly shown otherwise. The contractor should check and certify all dimensions as work proceeds and notify GHA of any discrepancies. Do not scale off the drawings, if in doubt ask.

Client: Mrs K. Potter

Drawn: RB

Date: 16 02 12

Scale: 1:50000

@ A4

Amendments:

**ADDITIONAL INFORMATION REQUIRED FOR NEW
AGRICULTURAL BUILDINGS AND FARMHOUSES**



Ribble Valley Borough Council

Application No:

Agricultural /Countryside Planning Application

(Please note if the proposal is for a non-agricultural building questions relating to labour workforce will not be relevant)

Applicant Name MRS K POTTER
 Application site BACK LANE FARM BACK LANE, CHIPPING
 Proposed Development ERECTOR OF GENERAL PURPOSE BUILDING
 Previous Applications

1. Land

Owned 5 ACRES (SMALL HOLDING)

Rented

Short-term

Land use: Pasture SAC Meadow Crop Crop

Land Quality (DA/SDA/NVZ)

2. Enterprise

Dairy: Pedigree/commercial Dairy Cows

In-calf heifers Bulling heifers Calving

Young stock Milk Quota

Beef Breeding: suckler cows

Calving Heifers Calves

Beef Rearing: Store Cattle (ages)

Calves Age at purchase Age at sale Bulls

Sheep: Pedigree/commercial. Breeding ewes 20 Lambs Store sheep

Lambing period Lambing location

Other THE BUILDING WILL BE USED FOR PIGS
(2 BREEDING SOWS + PIGGONS)

3. Labour & Accommodation

N/A - SMITHFIELD ONLY

Name	Age	Basis (F/t, P/t, Cas)	Hours of work/length	Main duties	Address and years

Misc

Existing Dwellings

Other Properties (incl occupiers)

Previously owned properties

Available properties in locality

4. Proposed Development/Applicant'(s) Comments

Need ... TO ENABLE INDOOR LAMING, PIS BREEDING
AND GENERAL STORAGE OF FEEDER, HAY, STRAW
AND MACHINERY.

Siting ... CLOSE TO EXISTING BUILDINGS

Design ... MODERN AGRICULTURAL BUILDING

Future Plans ... NONE BEYOND THIS BUILDING

5. Financial Details

N/A

7. Farm Buildings

(Please give details of existing farm buildings and their uses)

ANEXIONS DIAPYCNED TIMBER BUILDING MEASURING
4.3m x 7.3m WITH BK DEROLISHED



Gary Hoerty Associates

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DESIGN AND ACCESS STATEMENT

**IN RESPECT OF AN APPLICATION FOR THE
ERECTION OF A GENERAL PURPOSE STEEL
PORTAL FRAME AGRICULTURAL BUILDING
FOR GENERAL STORAGE ON LAND**

AT

**BACK LANE FARM, BACK LANE, CHIPPING,
PR3 2QA**

Prepared by: Gary Hoerty BSc (Hons) MRICS FAAV
Our Client: Mrs K Potter
Our Ref: Pot/546/1420/DS
Date: February 2012



Chartered Surveyors ■■■■ Planning & Development ■■■■ Land Agents
Valuers ■■■■ Property Agency ■■■■ Property Management



1. INTRODUCTION

- 1.1 The applicants have a small holding that extends to approximately five acres of owner occupied land and Rural Land Register Maps showing the extent of the farm are included with the planning application. The applicants have a sheep enterprise and will use the proposed building for housing a small number of rare breed pigs. The applicants require the proposed agricultural building to enable them to lamb sheep inside and to keep pigs and to provide a general storage facility for their tractor, agricultural machinery and implements and fertiliser, hay and straw. An existing timber agricultural building will be demolished and removed as part of the proposed development.

2. USE

- 2.1 The buildings will be used for housing livestock (sheep and pigs) and for general agricultural storage.

3. AMOUNT

- 3.1 The size of the development is determined by the requirement to be able to house twenty sheep and the lambs that will be produced over the lambing period and a couple of sows and their progeny. There is a minimum requirement for the amount of space required by each sheep for feeding and a minimum amount of floor space required. Each sheep would require a minimum area of 1.4m² and 450mm of feed frontage. The building will also be required for the storing of farm machinery and general storage at all times of the year.
- 3.2 The building will measure 18.66m x 9.14m with an eaves height of 2.6m. The roof pitch will be 19° which creates a ridge height of 4.17m. The total area of the building will be 439.04m.

4. LAYOUT

- 4.1 The layout of the building can be clearly seen on the plans submitted with the application. The building will be sited where there is an existing dilapidated timber building, which will be demolished. The building will be sited next to some existing buildings which will reduce the visual impact on the landscape.

5. SCALE

- 5.1 The scale of the development is determined by the size of the enterprise which will be undertaken. The buildings that are proposed are reasonably required to accommodate this scale of the enterprise. The amount of floor space and length of feed space is also a contributing factor. Modern tractors and vehicles

are getting ever larger and therefore an appropriate eaves and ridge heights are required to accommodate them.

- 5.2 We consider that the scale of the development is appropriate for its intended use and as it is a form of development that is appropriate in an Area of Outstanding Natural Beauty and it will not appear out of place or create any unacceptable visual impact.

6. LANDSCAPING

- 6.1 This is a relatively modest sized development in an Area of Outstanding Natural Beauty and we do not consider that landscaping is necessary, as it is located in close proximity to an existing range of buildings and will therefore be seen as part of the group. It will be partially screened by existing trees on one side and by buildings on another side. We do not consider that it will look out of place within the landscape. We are of the opinion that there is no requirement for the introduction of tree planting in this location to screen the building. People expect to see agricultural buildings in the countryside.

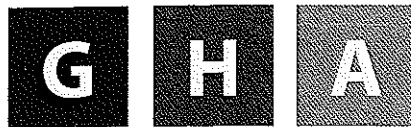
7. APPEARANCE

- 7.1 The appearance of the building will be typical of modern agricultural portal frame building; the materials used will be typical of modern agricultural buildings; it will be of portal frame construction with box profile wall cladding at the sides and timber space boarding at the ends. The roof will be clad in jumper green ventilated box profile roof cladding. In addition to other buildings belonging to the applicant there are a number of other dwellings and agricultural buildings in the immediate location of the development site which will mean that it is clearly part of a group of buildings and not isolated.

8. ACCESS

- 8.1 Access to the site is via the existing access from Back Lane Farm using the existing farm track, an access between the proposed yard area and the existing track will have to be created however it will be no more than a few meters in length.

Signed..........Date.....27.2.2012.....
Gary Hoerty BSc (Hons) MRICS FAAV



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SUPPORTING STATEMENT

**IN RESPECT OF A PLANNING APPLICATION
FOR THE ERECTION OF A GENERAL PURPOSE
STEEL PORTAL FRAME AGRICULTURAL
BUILDINGS FOR LIVESTOCK HOUSING AND
GENERAL STORAGE ON LAND**

AT

**BACK LANE FARM, BACK LANE, CHIPPING,
PR3 2QA**

Applicants: Mrs K Potter
Prepared by: Gary Hoerty
Date: February 2012
Our ref: Pot/546/1420/DS



Chartered Surveyors ■■■ Planning & Development ■■■ Land Agents

Valuers ■■■ Property Agency ■■■ Property Management



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APPENDICES

Appendix 1	Rural Land Register maps of the applicant's holding
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1. INTRODUCTION AND BACKGROUND INFORMATION

- 1.1 Gary Hoerty Associates has been instructed by Mrs K Potter of Back Lane Farm, Back Lane, Chipping, Lancashire, PR3 2QA to submit a planning application on their behalf for the proposed creation of a general purpose steel portal frame agricultural building to be used for livestock housing and general storage on land at Back Lane Farm.
- 1.2 Our clients' own and farm an area extending to approximately five acres of agricultural land. Plans showing the extent of the farm are attached at Appendix 1. The applicants will use the building in association with sheep and pig enterprises. The proposed development would involve the demolition of a dilapidated timber building.
- 1.3 The applicants want to erect the farm building to enable them to lamb indoors house pigs and to provide a general agricultural storage facility.
- 1.4 We set out within this supporting statement the proposed development in more detail, the planning history of the site where relevant; review the application site, set out why we believe the application conforms to the relevant national and local planning policies and why the application should therefore be looked upon favourably.

2. PLANNING HISTORY

- 2.1 There is no relevant planning history.

3. THE APPLICATION SITE

- 3.1 The application site is a reasonably level parcel of agricultural land located immediately to the north west of the existing farmhouse and associated buildings and in close proximity to the access track that serves the farm. The application site is situated on land that is owned by the applicants. Back Lane Farm is situated approximately 1.4 miles from the village of Chipping.

4. THE PROPOSED DEVELOPMENT

- 4.1 The proposed development will comprise the erection of a steel portal frame building adjoining the existing yard. The building is described in detail in the Design and Access Statement that accompanies the application.

5. PLANNING CONSIDERATIONS

5.1 General

- 5.1.1 In order for the development of the farm buildings to be approved the development must conform as far as possible to the relevant saved policies of the Ribble Valley Districtwide Local Plan, the Council's SPG on farm buildings and any relevant national guidance set out in the PPS's and PPG's
- 5.1.2 The application site is located within an area designated as an Area of Outstanding Natural Beauty in the approved Ribble Valley Local Plan, where the relevant policies of the Local Plan are Policy ENV 1, G1, G5 and the Council's SPG on farm buildings.
- 5.1.3 The national policy guidance is provided by PPS 7 – Sustainable Development in Rural Areas
- 5.1.4 Set out below are extracts from the relevant documents and an assessment of the application against all of the appropriate policies and guidance.

5.2 Ribble Valley Local Plan

Policy ENV 1

- 5.2.1 We set out below Policy ENV 1 of the Adopted Local Plan which deals with development in Areas of Outstanding Natural Beauty:

"The landscape and character of the Forest of Bowland Area of Outstanding Natural Beauty will be protected, conserved and enhanced. In addition development will also need to contribute to the conservation of the natural beauty of the area. The environmental effects of proposals will be a major consideration and the design, materials, scale, massing and landscaping of development will be important factors in deciding planning applications (see Policy G1). The protection, conservation and enhancement of the natural environment will be the most important considerations in the assessment of any development proposal. Regard will also be had to the economic and social well-being of the area."

- 5.2.2 The development will have a low impact on the AONB as the building is not particularly large and is located where there is already an existing dilapidated timber building, which will be removed. The proposed building will be in close proximity to the existing buildings and farmhouse and other buildings and dwellings not owned by the applicant's, the proposed building will therefore be seen as part of a group of buildings and not in isolation. The building will be typical of modern agricultural buildings; it will be of portal frame construction with box profile wall cladding to the sides and timber space boarding at the ends. The roof will be clad in jumper green box profile roof cladding.

Policy G1

5.2.3 *"All development proposals will be expected to provide a high standard of building design and landscape quality. Development which does so will be permitted, unless it adversely affects the amenities of the surrounding area. In determining planning applications the following criteria will be applied:*

(a) Development should be sympathetic to existing and proposed land uses in terms of its size, intensity and nature."

5.2.4 The buildings will be agricultural buildings located on an agricultural land and are therefore an appropriate land use and they are of a typical design and size for such buildings.

(b) The likely scale and type of traffic generation will be assessed in relationship to the highway infrastructure and the proposed and existing public transport network. This will include safety, operational efficiency, amenity and environmental considerations.

5.2.5 There will be no increase in traffic to the farm caused by the construction of the agricultural buildings

(c) Developments should make adequate arrangements for car parking (see Policy T7)

5.2.6 There will be no requirements for car parking as the buildings will not generate any traffic

(d) A safe access should be provided which is suitable to accommodate the scale and type of traffic likely to be generated

5.2.7 The access to the building will be made wide enough for the farms existing tractors and vehicles to enter the yard area surrounding the building.

(e) The density, layout and relationship between buildings is of major importance. Particular emphasis will be placed on visual appearance and the relationship to surroundings as well as the effects of development on existing amenities.

5.2.8 The proposed buildings will be located next to existing buildings, to help reduce their impact on the surrounding area. The buildings will be of typical construction for these types of buildings as mentioned above.

(f) Developments should provide adequate arrangements for servicing and public utilities.

5.2.9 Not relevant to this application.

(g) Developments should provide adequate daylighting and privacy.

5.2.10 There will be adequate daylight provided to the building by the skylights and there will no requirement for privacy for the building itself and it will have little effect on neighbours.

(h) Materials used should be sympathetic to the character of the area.

5.2.11 The materials are typical for agricultural buildings and will not look out of place within the countryside.

(i) Developments should not result in the loss of important open space including public and private playing fields.

5.2.12 The development will not result in the loss of important open spaces.

(j) Developments should not damage SSSI's, County Heritage Sites, Local Nature Reserves or other sites of nature conservation importance.

5.2.13 There will be no damage caused to SSSI's, County Heritage Sites, Local Nature Reserves or other sites of nature conservation by the proposed development.

(k) Development should not require culverting, artificial channelling or destruction of a watercourse. Wherever possible watercourses should be maintained within a reasonable corridor of native vegetation.

5.2.14 The buildings will not require any culverting, artificial channelling or destruction of a watercourse.

(l) Developments should be economic in the use of land, water and aggregates and should not prejudice future development which would provide significant environmental and amenity improvements.

5.2.15 The development uses the least amount of land required to provide the required facility.

(m) Where it is the intention to rely upon a private water supply, developments should provide an adequate means of water supply, which will not derogate existing users.

5.2.16 The development will not affect the water supply of existing users within the area.

Policy G5

5.2.17 "Outside the main settlement boundaries and the village boundaries planning consent will only be granted for small-scale developments which are:

i) essential to the local economy or the social well being of the area; or

- ii) needed for the purposes of agriculture or forestry; or*
- iii) sites developed for local needs housing (subject to Policy H20 of this plan); or*
- iv) small scale tourism developments and small scale recreational developments appropriate to a rural area subject to Policy RTI, or*
- v) other small-scale uses appropriate to a rural area which conform to the policies of this plan."*

5.2.18 The development conforms to policy G5 as the building will be needed for the purposes of agriculture.

SPG (Agricultural Buildings and Roads)

5.2.19 The SPG acknowledges that modern agricultural buildings are generally large and similar in this respect to industrial buildings. We do not consider that the proposed building will have a seriously detrimental impact on the visual character of the area. The proposed building is positioned close to an extended group of existing buildings which minimises its impact.

5.3 Planning Policy Statement (PPS) 7 – Sustainable Development in Rural Areas.

5.3.1 Clear guidance in respect of agriculture, farm diversification, equine-related activities and forestry is set out in PPS7. Below is an extract from paragraph 27:

"Agricultural development

27. The Government recognises the important and varied roles of agriculture, including in the maintenance and management of the countryside and most of our valued landscapes. Planning policies in RSS and LDDs should recognise these roles and support development proposals that will enable farming and farmers to:

- (i) become more competitive, sustainable and environmentally friendly,*
- (ii) adapt to new and changing markets;*
- (iii) comply with changing legislation and associated guidance,*
- (iv) diversify into new agricultural opportunities (e.g. renewable energy crops); or*
- (v) broaden their operations to 'add value' to their primary produce."*

- 5.3.2 The development that is proposed is clearly supported by this part of PPS 7 because the new building would allow our clients to be more competitive and improve animal welfare on their farm.

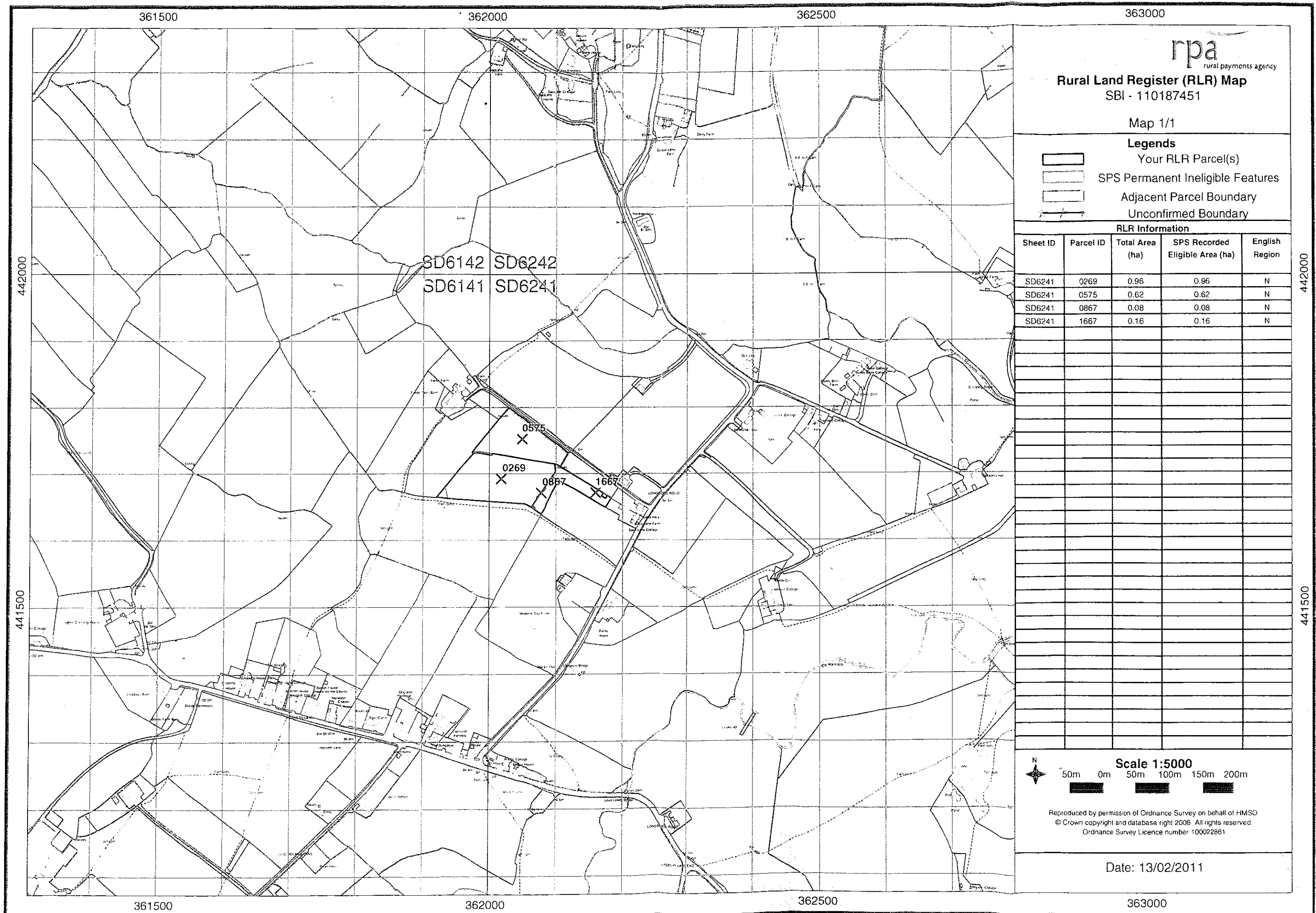
6 SUMMARY & CONCLUSION

- 6.1 The proposed development which will provide a general purpose agricultural building will enable the applicants to lamb inside which will provide a better welfare standard and a lower mortality rate for the stock. It will also enable them to breed and rear pigs as well as providing a general agricultural storage facility. The applicants have chosen a suitable location so that the building will relate well to the existing group of buildings at Back Lane Farm and will not be seen in isolation.
- 6.2 We have demonstrated that the development of the agricultural building will conform to the relevant policies of the local plan.
- 6.3 The proposed development also conforms to the relevant national guidance. The building is required for the applicants to continue to farm productively and is a necessity in modern farming; we therefore believe the application should be looked upon favourably by the Council.

Signed..........Date.....24.2.2012.....
Gary Hoerty BSc (Hons) MRICS FAAV

APPENDIX 1

A copy of the Rural Land Register map



Please return this sheet to us if you want to make any changes to the parcels shown on it.