



RIBBLE VALLEY  
BOROUGH COUNCIL

Council Offices, Church Walk, Clitheroe, Lancashire. BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

19 APR 2012

For office use only

Application No

Date received

Fee paid £

Receipt No:

320120407P

## Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

You can complete and submit this form electronically via the Planning Portal by visiting [www.planningportal.gov.uk/apply](http://www.planningportal.gov.uk/apply)

### Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Please complete using block capitals and black ink

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application

### 1. Applicant Name and Address

Title:  First name:   
Last name:   
Company (optional):   
Unit:  House number:  House suffix:   
House name:   
Address 1:   
Address 2:   
Address 3:   
Town:   
County:   
Country:   
Postcode:

### 2. Agent Name and Address

Title:  First name:   
Last name:   
Company (optional):   
Unit:  House number:  House suffix:   
House name:   
Address 1:   
Address 2:   
Address 3:   
Town:   
County:   
Country:   
Postcode:

### 3. Description of Proposed Works

Please describe the proposed works:

PROPOSED GARAGE.

**3. Description of Proposed Works (continued)**Has the work already started? ☐ Yes ☒ No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work already been completed? ☐ Yes ☒ No

If Yes, please state when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

**4. Site Address Details**

Please provide the full postal address of the application site.

Unit:  House number:  House suffix: 

House name: WHITTAKERS FARM

Address 1: BACK LANE

Address 2: Address 3: 

Town: READ

County: LANCs

Postcode (optional): BB12 7SA

**5. Pedestrian and Vehicle Access, Roads and Rights of Way**Is a new or altered vehicle access proposed to or from the public highway? ☐ Yes ☒ NoIs a new or altered pedestrian access proposed to or from the public highway? ☐ Yes ☒ NoDo the proposals require any diversions, extinguishments and/or creation of public rights of way? ☐ Yes ☒ No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

**6. Pre-application Advice**Has assistance or prior advice been sought from the local authority about this application? ☒ Yes ☐ No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently)

Please tick if the full contact details are not known, and then complete as much possible: ☐

Officer name:

CLARE BOOTH

Reference:

3/2011/0574

Date (DD MM YYYY):  
(must be pre-application submission)

18/07/11

Details of the pre-application advice received:

AGRICULTURAL DETERMINATION-  
PLANNING PERMISSION IS REQUIRED  
AGRICULTURAL BUILDING APPLICATION  
MADE BUT WITHDRAWN IN  
OCTOBER 2011.**7. Trees and Hedges**Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? ☐ Yes ☒ No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? ☐ Yes ☒ No

If Yes, please show on your plans which trees by giving them numbers e.g. T1, T2 etc, state the reference number of the plan(s)/drawing(s) and indicate the scale.

**8. Parking**Will the proposed works affect existing car parking arrangements? ☐ Yes ☒ No

If Yes, please describe:

**9. Authority Employee / Member**

With respect to the Authority, I am:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member
- Do any of these statements apply to you? ☐ Yes ☒ No

If Yes, please provide details of the name, relationship and role

**10. Materials**

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know
Walls		BLOCKWORK AND TIMBER BOARDING	<input type="checkbox"/>	<input type="checkbox"/>
Roof		BLUE CONCRETE TILE	<input type="checkbox"/>	<input type="checkbox"/>
Windows			<input type="checkbox"/>	<input type="checkbox"/>
Doors		TIMBER BOARDED	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g. fences, walls)			<input type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard-standing			<input type="checkbox"/>	<input type="checkbox"/>
Lighting			<input type="checkbox"/>	<input type="checkbox"/>
Others (please specify)			<input type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☐ Yes

☒ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

**11. Ownership Certificates**

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form

**CERTIFICATE OF OWNERSHIP - CERTIFICATE A**

**Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

I certify/ The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):


 18/04/12
**CERTIFICATE OF OWNERSHIP - CERTIFICATE B**

**Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

I certify/ The applicant certifies that I have/ the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):



**CERTIFICATE OF OWNERSHIP - CERTIFICATE C**

**Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so

The steps taken were:

Name of Owner	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

**11. Ownership Certificates (continued)****CERTIFICATE OF OWNERSHIP - CERTIFICATE D****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so

The steps taken were:

--

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

--

On the following date (which must not be earlier than 21 days before the date of the application):

--

Signed - Applicant:

--

Or signed - Agent:

--

Date (DD/MM/YYYY):

--

**12. Agricultural Land Declaration****AGRICULTURAL LAND DECLARATION****Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12**

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding

Signed - Applicant:

--

Or signed - Agent:

--

Date (DD/MM/YYYY):

--

(B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served
MR FALSHAW	SHUTTLEWORTH HALL, GIBBURN	07/09/11

Signed - Applicant:

--

Or signed - Agent:

h
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Date (DD/MM/YYYY):

18/04/12
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**13. Planning Application Requirements - Checklist**

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

The original and 3 copies of a completed and dated application form:



The original and 3 copies of a design and access statement if proposed works fall within a conservation area or World Heritage Site, or relate to a Listed Building:



The correct fee:



The original and 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:



The original and 3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable):



The original and 3 copies of other plans and drawings or information necessary to describe the subject of the application:



The original and 3 copies of the completed, dated Article 12 Certificate (Agricultural Holdings):



**14. Declaration**

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

(date cannot be pre-application)

**15. Applicant Contact Details**

Telephone numbers

Country code:

National number:

Extension number:

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

Email address (optional):

**16. Agent Contact Details**

Telephone numbers

Country code:

National number:

Extension number:

01200 423178

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

Email address (optional):

**17. Site Visit**

Can the site be seen from a public road, public footpath, bridleway or other public land?

☐ Yes☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ Agent☒ Applicant☐ Other (if different from the agent/applicant's details)

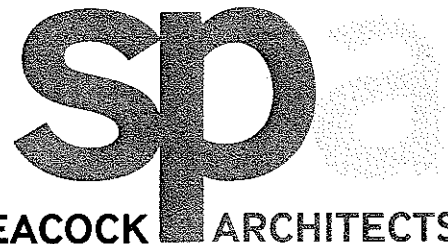
If Other has been selected, please provide:

Contact name:

Telephone number:

Email address:

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SUNDERLAND PEACOCK ARCHITECTS

18<sup>th</sup> April 2012

**PROPOSED GARAGE AT WHITTAKERS FARM, BACK LANE,  
READ, FOR MR AND MRS HOLLINRAKE**

**Design and Access Statement**

**DEVELOPMENT**

Proposed garage at Whittakers Farm.

**BUILDING USE**

The proposed garage will be used to store cars and other such items ancillary to the enjoyment of the dwelling-house.

**AMOUNT**

The gross area of the proposed garage is 224sq m.

**LAYOUT**

The proposed garage is located adjacent to an existing outbuilding

**SCALE OF EXTENSION – please see drawing**

Height	8.2m.
Width	12.2m.
Length	18.3m.

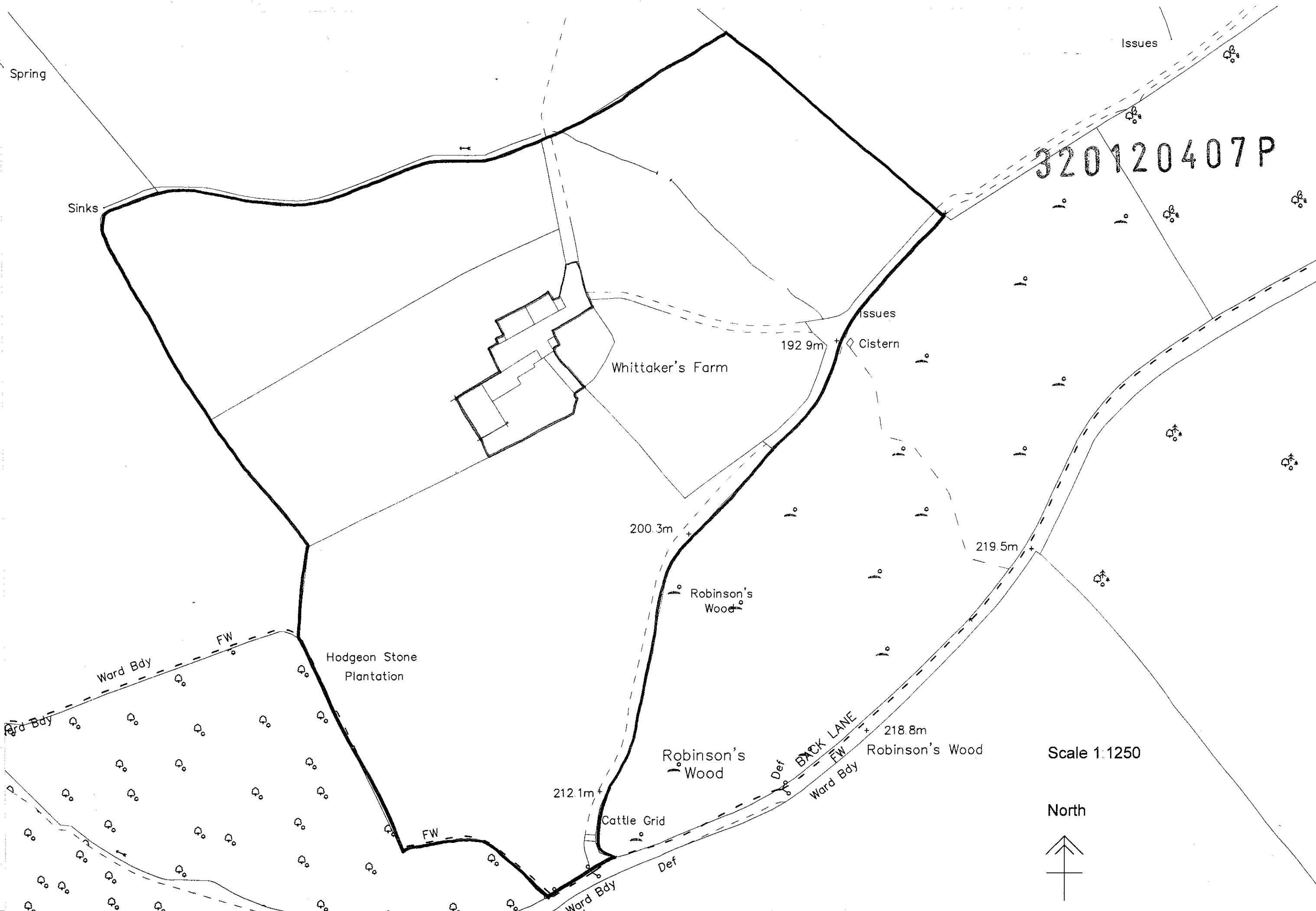
**APPEARANCE**

Blue concrete tile roof with block and timber boarded walls

**ACCESS**

There is no proposed change to the access as the development is within the existing farmyard

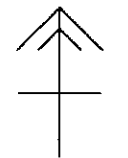
SUNDERLAND PEACOCK & ASSOCIATES LTD.  
HAZELMERE, PIMLICO ROAD, CLITHEROE,  
LANCASHIRE BB7 2AG  
T 01200 423178 F 01200 427328  
E [info@sunderlandpeacock.com](mailto:info@sunderlandpeacock.com)  
[www.sunderlandpeacock.com](http://www.sunderlandpeacock.com)



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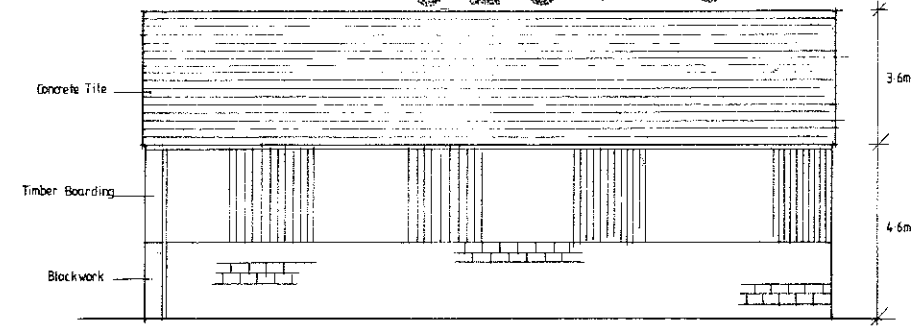
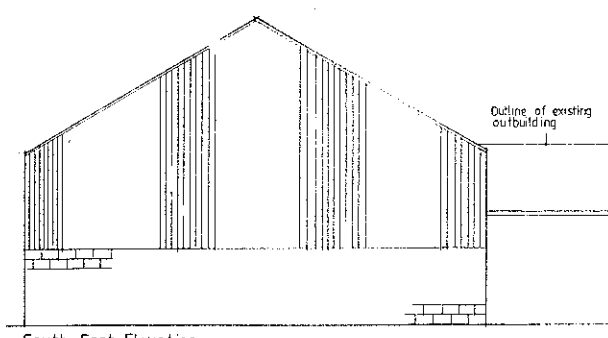
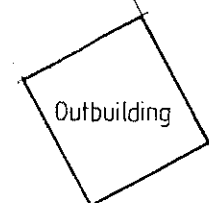
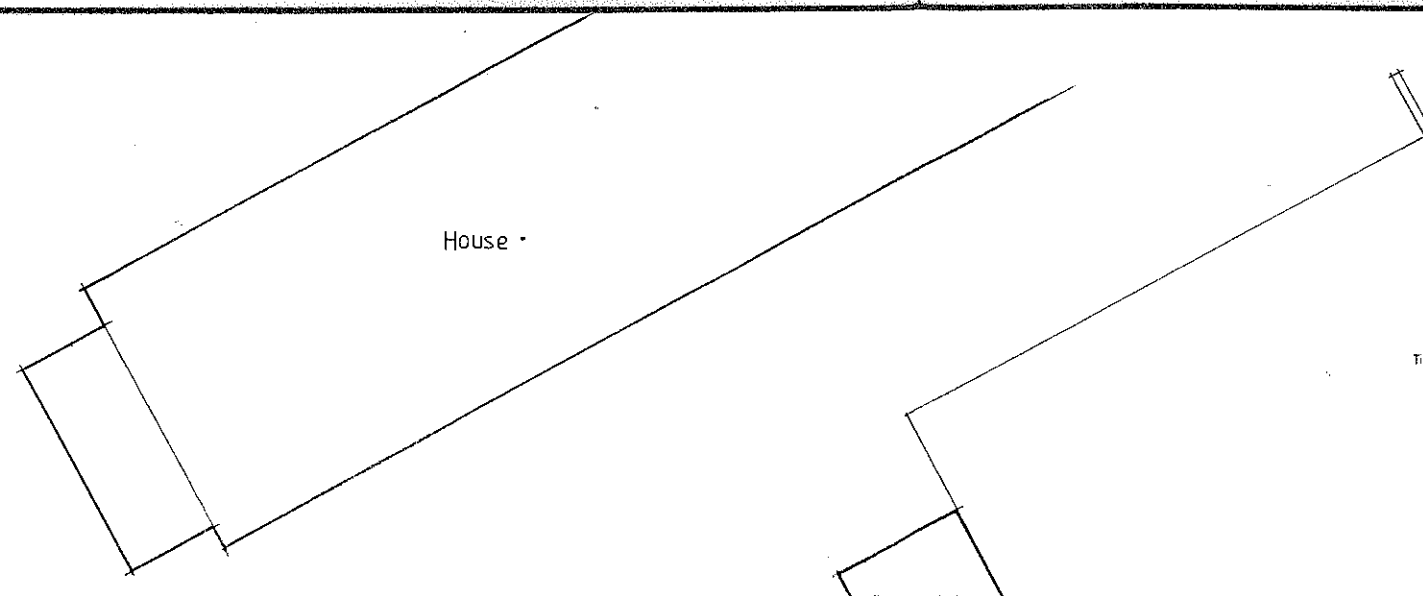
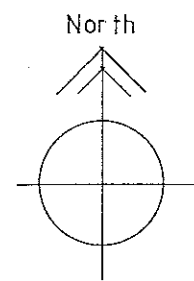
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North

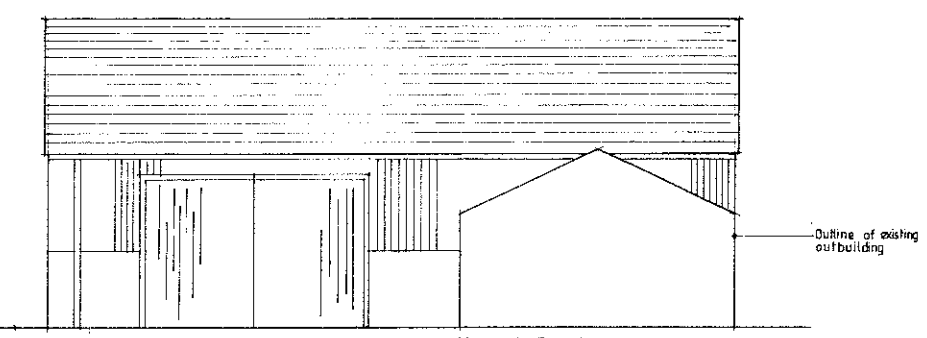




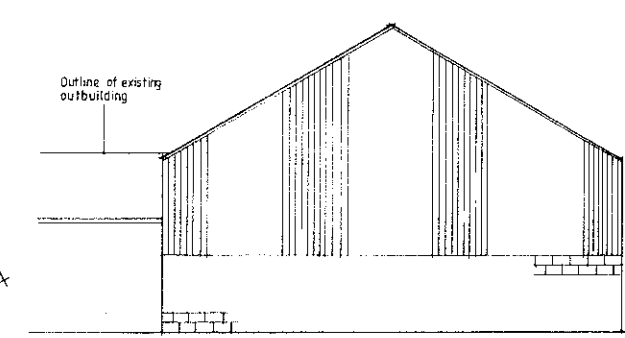
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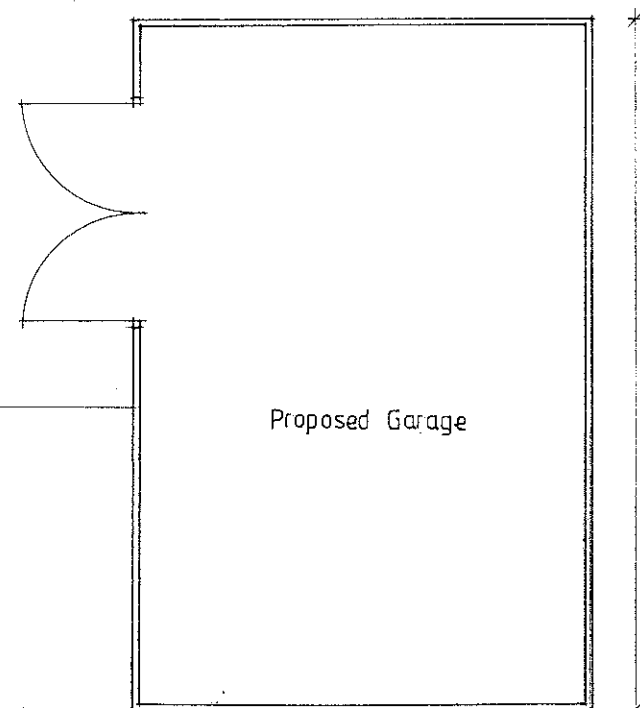
South West Elevation



North East Elevation



North West Elevation



Existing Outbuilding

Client  
Mr and Mrs Hollinrake

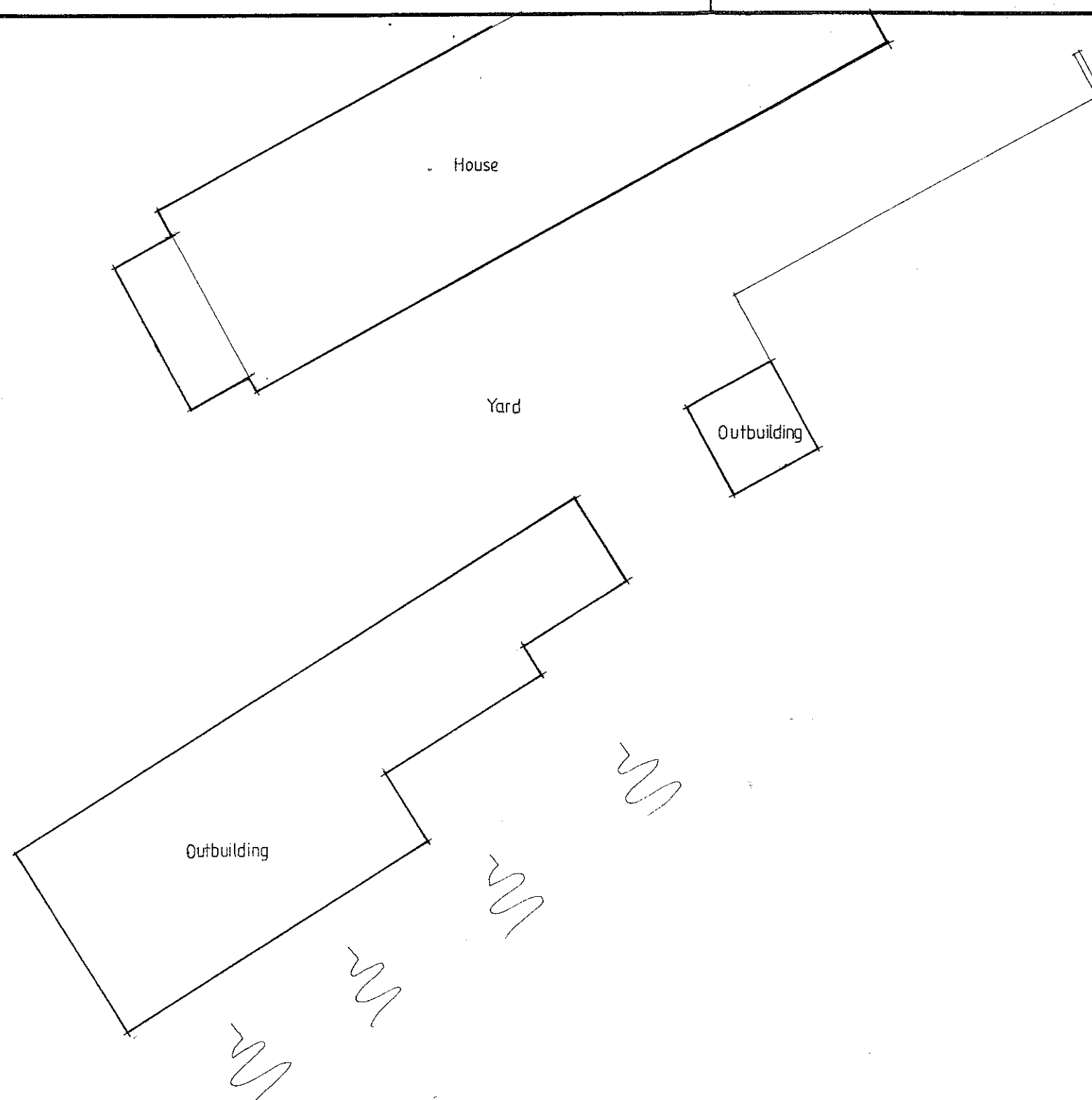
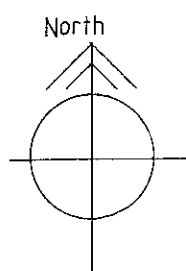
Job Title  
Whittakers Farm  
Back Lane  
Read

Drawing Title  
Proposed Plan and Elevations

Scale 1:200 Date Sep 11 Drawn LG

**spa** ARCHITECTS  
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HAZELMERE, PIMLICO ROAD, CUTHROE,  
LANCASHIRE, BB7 2AG  
T 01200 423178 F 01200 427328  
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Client  
Mr and Mrs Hollinrake

Job Title  
Whittakers Farm  
Back Lane  
Read

Drawing Title  
Existing Plan

Scale 1:200 Date Sep 11 Drawn LG

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