



RIBBLE VALLEY
BOROUGH COUNCIL

25 APR 2012

For office use only

Application No:

Date received 320120410 P

Fee paid £

Receipt No:

Council Offices, Church Walk, Clitheroe, Lancashire, BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

Application for listed building consent for alterations,
extension or demolition of a listed building.

Planning (Listed Buildings and Conservation Areas) Act 1990

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.
If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

Title: Mr	First name: C	Surname: Garth-Jones		
Company name				
Street address:	Halsteads Farm	Country Code	National Number	Extension Number
	Rimington Lane			
	Rimington			
Town/City	Clitheroe	Telephone number:		
County:	Lancs	Mobile number:		
Country:		Fax number:		
Postcode:	BB7 4EA	Email address:		
Are you an agent acting on behalf of the applicant? <input checked="" type="radio"/> Yes <input type="radio"/> No				

2. Agent Name, Address and Contact Details

Title: Mrs	First Name: Judith	Surname: Douglas		
Company name: Janet Dixon Town Planners Ltd				
Street address:	10A Whalley Road	Country Code	National Number	Extension Number
			01200 425051	
Town/City	Clitheroe	Telephone number:		
County:	Lancs	Mobile number:		
Country:		Fax number:		
Postcode:	BB7 1AW	Email address:	Judith@jdixontownplanners.co.uk	

3. Description of Proposed Works

Please describe the proposals to alter, extend or demolish the listed building(s):

Insertion of two roof lights

Has the work already started
without planning permission?

Yes No

4. Site Address Details

Full postal address of the site (including full postcode where available)

House: Suffix:
House name: HALSTEADS FARM
Street address: RIMINGTON LANE
RIMINGTON
Town/City: CLITHEROE
County:
Postcode: BB7 4EA

Description:

Description of location or a grid reference
(must be completed if postcode is not known):

Easting: 380904
Northing: 446067

5. Related Proposals

Are there any current applications, previous proposals or demolitions for the site?

Yes No

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes No

7. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal?

Yes No

8. Authority Employee/Member

With respect to the Authority I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

Yes No

9. Materials

Please provide a description of existing and proposed materials and finishes to be used in the build (demolition excluded):

Windows - add description

Description of existing materials and finishes:

N/A

Description of proposed materials and finishes:

Velux conservation roof light

Are you supplying additional information on submitted drawings or plans?

Yes No

If Yes, please state plan(s)/drawing(s) references:

Planning Design and Access Statement and Heritage Statement

Location Plan 1:1250

Existing and proposed front elevation 1:200

Details of Velux conservation roof light windows

10. Demolition

Does the proposal include total or partial demolition of a listed building?

Yes No

11. Listed building alterations

Do the proposed works include alterations to a listed building?

Yes No

If Yes, will there be works to the interior of the building?

Yes No

Will there be works to the exterior of the building?

Yes No

Will there be works to any structure or object fixed to the property (or buildings within its curtilage) internally or externally?

Yes No

Will there be stripping out of any internal wall, ceiling or floor finishes (e.g. plaster, floorboards)?

Yes No

If the answer to any of these questions is Yes, please provide plans, drawings and photographs sufficient to identify the location, extent and character of the items to be removed, and the proposal for their replacement, including any new means of structural support, and state references for the plan(s)/drawing(s).

State references for these plan(s)/drawing(s):

Planning Design and Access Statement and Heritage Statement

Location Plan 1:1250

Existing and proposed front elevation 1:200

Existing and Proposed rear elevation 1:200

Details of Velux windows

320120410P

12. Listed Building Grading

If known, what is the grading of the listed building (as stated in the list of Buildings of Special Architectural or Historical Interest)?

Don't know Grade I Grade II* Grade II

Is it an ecclesiastical building?

Don't know Yes No

13. Immunity from Listing

Has a Certificate of Immunity from listing been sought in respect of this building?

Yes No

14. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent The applicant Other person

15. Certificates (Certificate A)

Certificate Of Ownership - Certificate A

Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates

Title: First name: Surname:

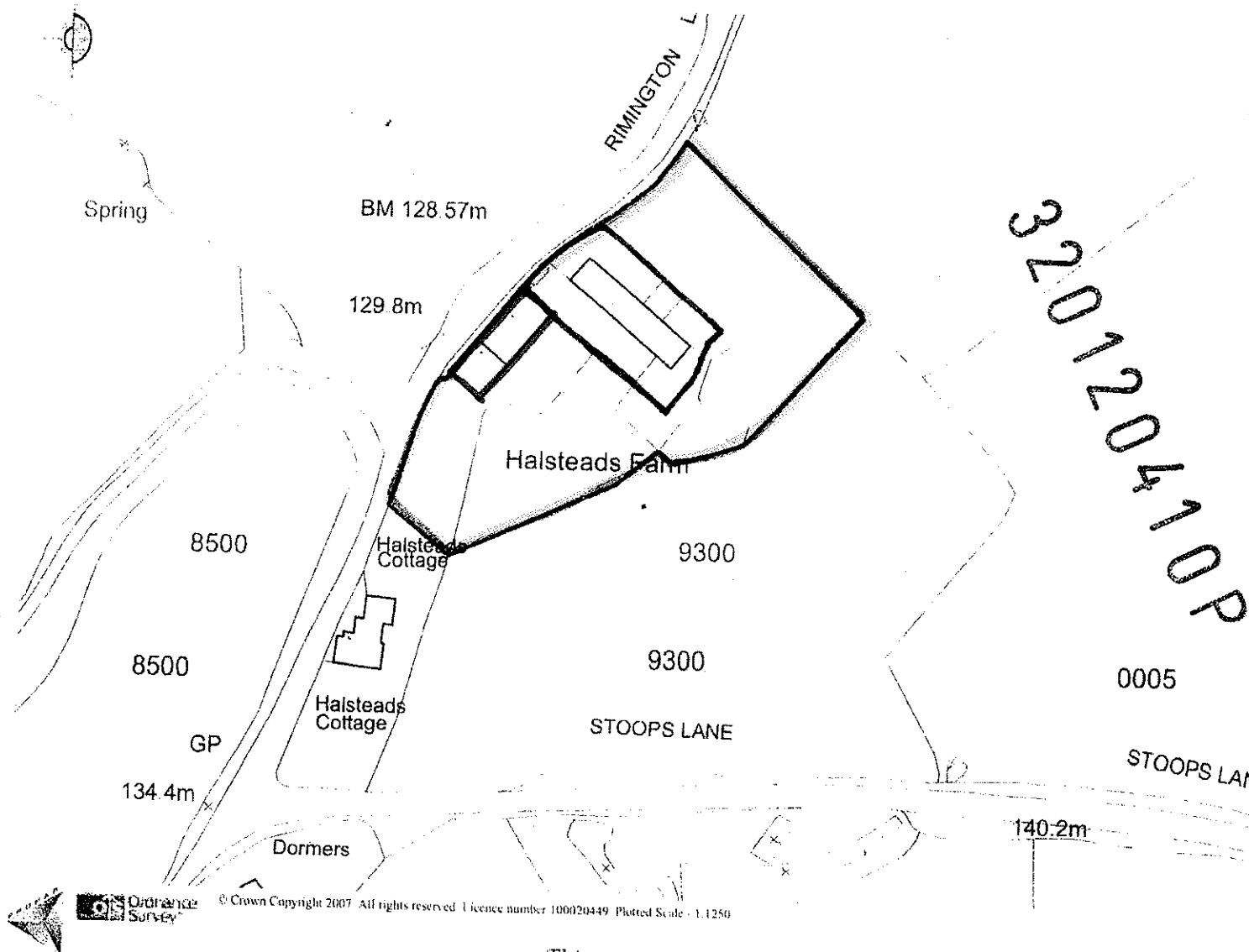
Person role: Declaration date: Declaration made

16. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information



Date



This map was created with Promap

PLANNING, DESIGN AND ACCESS STATEMENT AND HERITAGE STATEMENT

HALSTEADS FARM, RIMINGTON, CLITHEROE BB7 4EA

320120410P

1. INTRODUCTION

- 1.1 This statement is in support of an application for Listed Building Consent to insert two conservation type roof lights in the rear roof slope of the former barn attached to the former farm house.

2. SITE CIRCUMSTANCES

- 2.1 Halsteads Farm is situated approximately 100m outside and to the north east of the defined settlement boundary of Rimington, on the east side of Rimington Lane. Stoops Lane continues in an easterly direction from the village, and affords views of the property. Halsteads Farm is therefore situated within the open countryside, amongst land that is predominantly in agricultural use. The land in the vicinity generally slopes down to the north.

3. SITE HISTORY AND PERMITTED DEVELOPMENT RIGHTS

- 3.1 The original two bay dwelling bears a date stone inscribed JG 1783 and that is believed to be an accurate reflection of the date that the dwelling was constructed, together with the barn attached to the north east elevation. The barn is set at a lower level reflecting the slope of the land, and was originally roofed in two sections with that over the north east bay at a slightly lower level. The whole of the barn has since been converted to form an extension to the dwelling (planning references 3/87/0435 (outline) and 3/87/0633 (reserved matters approved 19 November 1987). These permissions did not remove permitted development rights. The insertion of roof light is permitted development under Class C of amended General Permitted Development Order 2008, according we consider that only listed building consent is required for the development.

- 3.2 An application to insert four roof lights, two on the front roof slope and two on the rear roof slope were refused listed building consent on the 24 November 2011 for the following reason,

“the proposal would be unduly harmful to the character (including setting) and significance of the listed building because the roof lights are conspicuous, incongruous and visually intrusive in the otherwise unbroken and prominent roof slopes and further compromise agricultural character.”

4 INVOLVEMENT

- 4.1 We have not sought pre-application advice for this application as the Delegated Item File Report (DIFR) for the previous application set out the perceived deficiencies in the previous scheme. We have taken note of the comments in the DIFR carried out further research and amended the proposed scheme accordingly.

5. THE PROPOSAL

- 5.1 This application seeks listed building consent to insert two roof lights in the front roof slope of the former barn. The existing roof covering is natural blues slates.

6 HERITAGE STATEMENT

6.1 Nation Planning Policy Framework

The previous application was considered under *Planning Policy Statement 5: Planning for the Historic Environment* (PPS5, 2010) which has since been replaced by the Nation Planning Policy Framework (NPPF). English Heritage has advised that the advice in the companion Historic Environment Planning Practice Guide (HEPPG) is still relevant where the guidance does not directly refer to policies in the now superseded PPS5.

- 6.2 The purpose of this Heritage Statement is to **identify the heritage asset**. Following identification of the heritage asset it is necessary to **assess the significance of the heritage asset**. Finally it is necessary to **assess the impact of the development on the heritage asset**.

Identifying the heritage asset

- 6.3 Halstead Farmhouse is listed as follows; '*Halstead Farmhouse (formerly listed as Halstead Head) 16-11-1954 - II House, 1783. Watershot sandstone with modern tile roof imitating stone slates. Double-pile plan with gable chimneys and central entry. 2 storeys, 2 bays. Windows, of 3 lights, have plain stone surrounds and square mullions. The door has a cement surround, and an open pediment on square brackets. Above on the 1st floor, within a rectangular plain stone surround, is a plaque with an oval border, inscribed 'JG 1783'. The rear wall, racing the road, has 2 bays having 2-light windows with plain stone surrounds and square mullions. Between them is a stair*

window with plain stone surround and a semi-circular head with keystone and impost blocks. It is divided by a square mullion.'

320120410 P

- 6.4 The farmhouse was listed in 1954 with an amendment to the description in 1984. It is the farm house that is mentioned in the listing and not the attached barn. Whilst the attached former barn is clearly covered by the listed of the building because it is attached to it, the barn in itself is not worthy of listing otherwise it would have been included in the list description in 1954 or added to the description when the description was amended in 1984. The fact the former barn is attached to a listed building affords the building significance as a heritage asset.

Assessing the significance of the heritage asset.

- 6.5 The barn part of Halsteads Farm was converted to living accommodation in the late 1980's. It is clearly distinguishable as a former barn having few and irregularly positioned openings within the walls. In addition the roof line of the barn is considerably lower than the farm house which helps to distinguish the house from the barn, and the footprint is greater and the length of the roof longer in comparison to the house. At the present time there are no roof lights within the roof slopes of either the house or the former barn. The house has two chimney stacks at each gable and the barn has one small stack low down on the rear roof slope.
- 6.6 Prior to the conversion of the barn to living accommodation the barn an aerial photograph taken on the 7th July 1976 shows the barn with the roof covered two thirds in blue slate and one third in stone slate. On the front roof slope there are clearly three roof lights within the roof slope. See photographs.

Assessment of the impact of the development on the heritage asset.

- 6.7 The introduction of the two roof lights in the front roof slope will not have a significant impact on the significance of the heritage asset. Roof lights within the roof slopes of barn are common features on barns in this area. The barn before it was converted to living accommodation had three roof lights in this roof slope. The proposal will return two of the roof lights to their original position. On the front elevation of the building there are no windows at first floor within the walls of the former barn below where the roof lights are proposed. The barn will continue to retain its agricultural character.

Justification for the proposed alterations.

- 6.8 The roof lights are needed to provide additional light within the existing residential accommodation, in order to reduce the use of electric light.

7.0 EVALUATION

- 7.1 The NPPF paragraph 14 sets out a presumption in favour of sustainable development where development proposals that accord with the development should be approved without delay. Within the 12 core principles set out in the paragraph 17 of the Framework there is a requirement to always seek and secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings. The DIFR rejected the introduction of roof lights into the roof slopes on the basis that they were conspicuous, incongruous and visually intrusive. We have reduced the number of roof lights from four to two and we have positioned the two roof lights on the less conspicuous roof slope. This is inline with guidance in HEPPG paragraph 185 which states "*Harm might be avoided if roof lights are located on less prominent roof slopes*". The application proposes conservation roof lights which are usually accept as being preferable to other types of roof lights and shows that good design has been considered in the proposals.
- 7.2 The NPPF supports the transition to a low carbon future in a changing climate, including the conversion of existing buildings..." The introduction of the roof light will provide more day light within the building reducing the reliance on electric light
- 7.3 The positioning of the roof lights has been informed by the position of the roof lights that existed in the building prior to its conversion to residential use. The NPPF states that a core planning principle is to conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life for this and future generations. The barn itself is not included in the listing of Halsteads Farmhouse it is less significant than the former farmhouse as a heritage asset. The barn contributes to the setting of the listed building. The barn originally has roof lights in the position that the conservation roof lights are now proposed. The proposed alteration of the barn by the reintroduction of the roof light on an inconspicuous elevation of the building can be said to have at least neutral effect on the significance of the building or even a positive effect by reintroducing a feature to the roof of the barn that existed historically on this barn prior to its conversion. The

reintroduction of roof lights to the building accords with Policy H17 of the Ribble Valley Districtwide Local Plan (quoted in the DIFR) which gives guidance on the conversion of buildings which that planning permission will be granted for conversions of buildings providing that (a) the design of the conversion is of a high standard and is in keeping with local tradition particularly in terms of material, geometric form and window and door openings. The reintroduction of the roof light returns the inclusion of roof lights into this barn which existed prior to its conversion. See Appendix

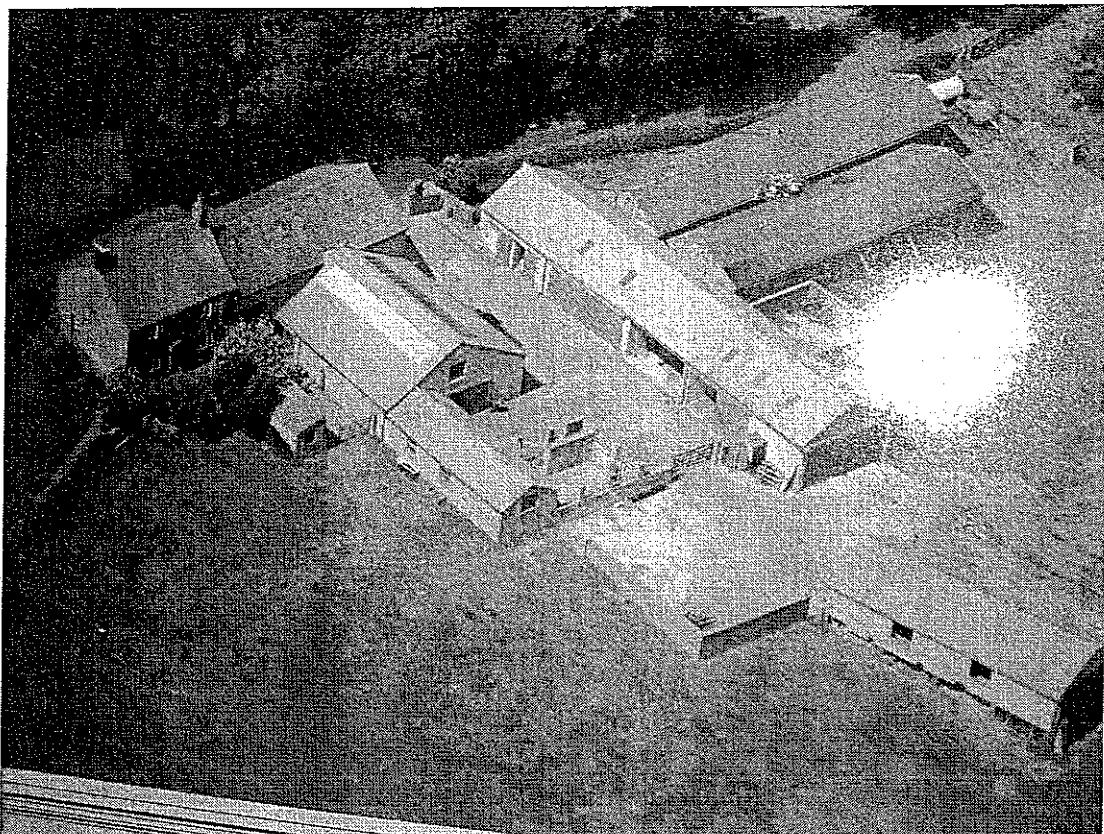
8 CONCLUSION

- 8.1. The proposal meets the requirement of the NPPF and Local Plan Policy ENV19 in that the alterations will not significantly affect the significance of the listed building and the development is required to provide additional natural light in order to reduce the amount of artificial lighting required within the building.

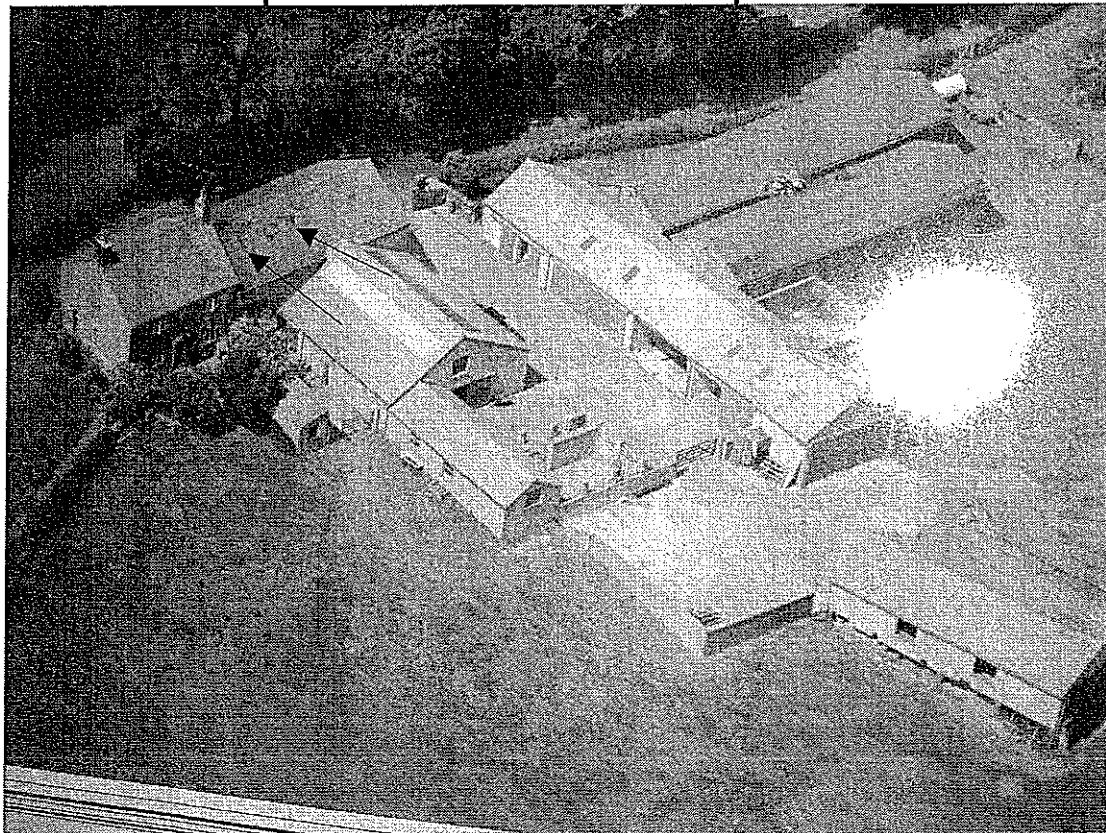
Judith Douglas Bsc (Hons) Dip TP, MRTPI
Janet Dixon Town Planners Ltd
10A Whalley Road
Clitheroe.
BB7 1AW.
Tel: 01200 425051.

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April 2012



Halsteads Farm 1976 showing three roof lights in the front roof slope of the barn two in the blue slate part and one in the stone slate part.



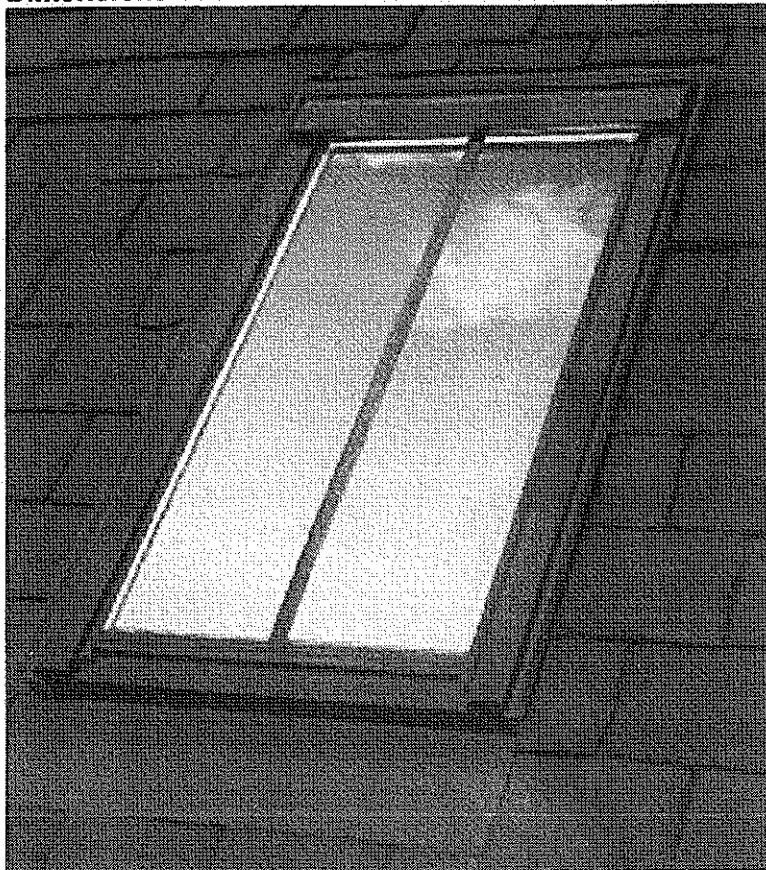
Arrows show the position of the two roof lights which are to be re-introduced.

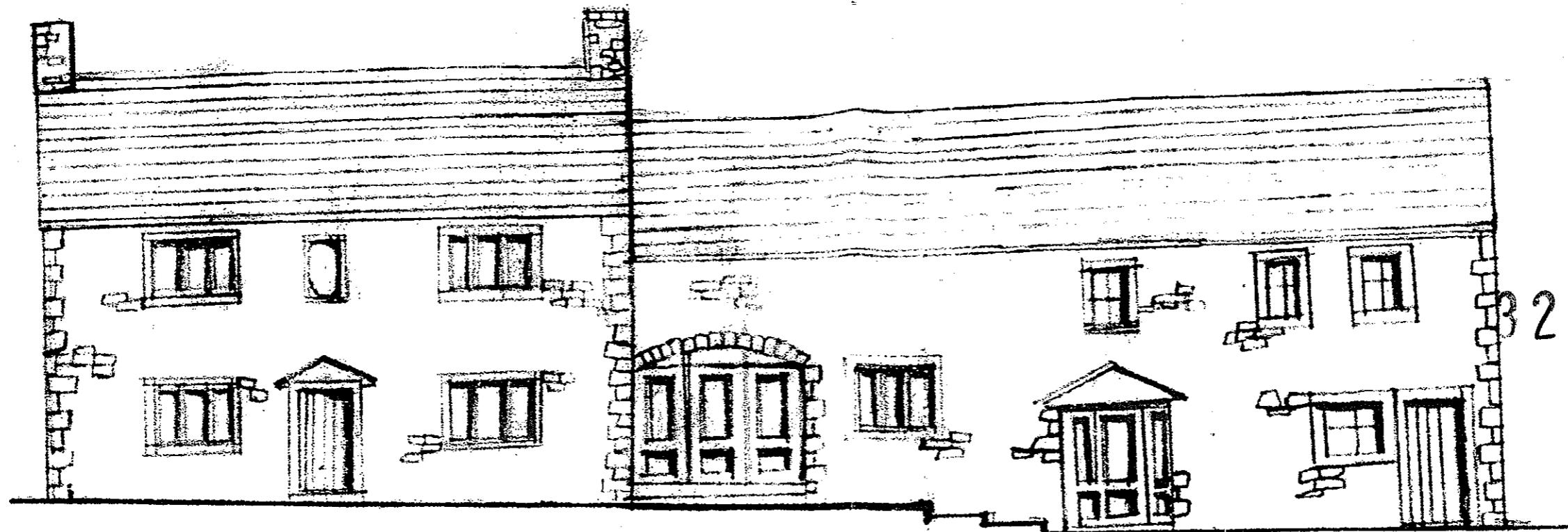
Proposed Insertion of
Roof Lights
Halsteads Farm
Rimington

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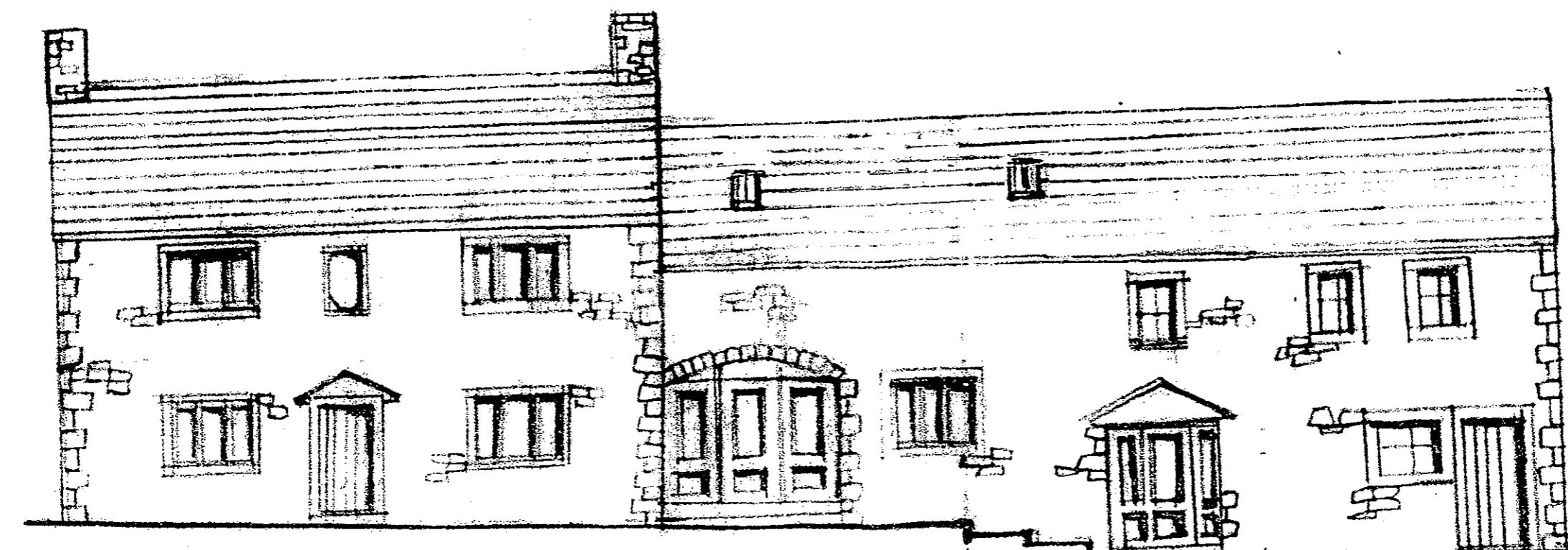
Conservation roof light details for Velux Standard Conservation roof
light with single vertical glazing bar ref. CO4

Dimensions 55cm x 98cm





Existing Front Elevation



Proposed Front Elevation

Proposed Insertion of
Roof Lights
Halsteads Farm
Rimington
Scale 1:200