



RIBBLE VALLEY
BOROUGH COUNCIL

Council Offices, Church Walk, Clitheroe, Lancashire. BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

For office use only

Application No.

Date received 320120591P

Fee paid £

Receipt No:

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

You can complete and submit this form electronically via the Planning Portal by visiting www.planningportal.gov.uk/apply

Publication of applications on planning authority websites

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application

1. Applicant Name and Address

Title: **MR+MRS** First name: **A. + H.**
Last name: **MARSHALL**
Company (optional):
Unit: House number: House suffix:
House name: **WOODACRE COTTAGE**
Address 1: **FLEET STREET LANE**
Address 2: **PILCHESTER**
Address 3:
Town: **PRESTON**
County: **LANCASHIRE**
Country:
Postcode: **PR3 3ZA**

2. Agent Name and Address

Title: **MR** First name: **PHIL**
Last name: **WALSH**
Company (optional): **PHIL WALSH ARCHITECTURAL SERVICES**
Unit: House number: **1** House suffix:
House name:
Address 1: **REGENT PARK**
Address 2: **FULWOOD**
Address 3:
Town: **PRESTON**
County: **LANCASHIRE**
Country:
Postcode: **PR2 9WX**

3. Description of Proposed Works

Please describe the proposed works:

SINGLE STOREY REAR EXTENSION FOLLOWING DEMOLITION OF EXISTING
CONSERVATORY EXTENSION;
FIRST FLOOR SIDE EXTENSION.

Description of Proposed Works (continued)Has the work already started? ☐ Yes ☒ No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work already been completed? ☐ Yes ☒ No

If Yes, please state when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

320120591P

4. Site Address Details

Please provide the full postal address of the application site.

Unit: House number: House suffix: House name: WOODACRE COTTAGEAddress 1: FLEET STREET LANEAddress 2: RIBCHESTERAddress 3: Town: PRESTONCounty: LANCASHIREPostcode (optional): PR3 3ZA**5. Pedestrian and Vehicle Access, Roads and Rights of Way**Is a new or altered vehicle access proposed to or from the public highway? ☐ Yes ☒ NoIs a new or altered pedestrian access proposed to or from the public highway? ☐ Yes ☒ NoDo the proposals require any diversions, extinguishments and/or creation of public rights of way? ☐ Yes ☒ No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

6. Pre-application AdviceHas assistance or prior advice been sought from the local authority about this application? ☒ Yes ☐ No

If Yes, please complete the following information about the advice you were given (This will help the authority to deal with this application more efficiently)

Please tick if the full contact details are not known, and then complete as much possible: ☒

Officer name:

Reference:

Date (DD MM YYYY):

(must be pre-application submission)

Details of the pre-application advice received:

TELEPHONE ADVICE WAS SOUGHT BUT THE SWITCHBOARD WOULD NOT ALLOW ME TO SPEAK DIRECT WITH A PLANNING OFFICER COUNCIL POLICY APPARENTLY.

7. Trees and HedgesAre there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development? ☐ Yes ☒ No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal? ☐ Yes ☒ No

If Yes, please show on your plans which trees by giving them numbers e.g. T1, T2 etc, state the reference number of the plan(s)/drawing(s) and indicate the scale.

8. ParkingWill the proposed works affect existing car parking arrangements? ☐ Yes ☒ No

If Yes, please describe:

9. Authority Employee / Member

With respect to the Authority, I am:

(a) a member of staff
(b) an elected member
(c) related to a member of staff
(d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

If Yes, please provide details of the name, relationship and role

5. Materials

320120591P

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know
Walls	RANDOM STONE .	RANDOM STONE TO MATCH .	<input type="checkbox"/>	<input type="checkbox"/>
Roof	NATURAL SLATE ; POLYCARBONATE (CONSERVATORYS)	NATURAL SLATE TO MATCH .	<input type="checkbox"/>	<input type="checkbox"/>
Windows	TIMBER .	TIMBER TO MATCH .	<input type="checkbox"/>	<input type="checkbox"/>
Doors	TIMBER .	TIMBER .	<input type="checkbox"/>	<input type="checkbox"/>
Boundary treatments (e.g fences, walls)			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Vehicle access and hard-standing			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Lighting			<input checked="" type="checkbox"/>	<input type="checkbox"/>
Others (please specify)			<input checked="" type="checkbox"/>	<input type="checkbox"/>

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☐ Yes

☒ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

I. Ownership Certificates

320120591P

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form

CERTIFICATE OF OWNERSHIP - CERTIFICATE A

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/ The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which the application relates.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Redacted Signature]

[Redacted Signature]

31/5/12

CERTIFICATE OF OWNERSHIP - CERTIFICATE B

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/ The applicant certifies that I have/ the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Redacted Signature]

[Redacted Signature]

[Redacted Signature]

CERTIFICATE OF OWNERSHIP - CERTIFICATE C

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (*owner is a person with a freehold interest or leasehold interest with at least 7 years left to run*) of the land or building, or of a part of it, but I have/ the applicant has been unable to do so

The steps taken were:

[Redacted Signature]

Name of Owner	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

[Redacted Signature]

On the following date (which must not be earlier than 21 days before the date of the application):

[Redacted Signature]

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

[Redacted Signature]

[Redacted Signature]

[Redacted Signature]

11. Ownership Certificates (continued)

320120591P

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so.

The steps taken were:

--

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

--

On the following date (which must not be earlier than 21 days before the date of the application):

--

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

--

--

--

12. Agricultural Land Declaration

AGRICULTURAL LAND DECLARATION

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

--

--

31/5/12

(B) I have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

--

--

--

13. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

The original and 3 copies of a completed and dated application form:



The original and 3 copies of a design and access statement if proposed works fall within a conservation area or World Heritage Site, or relate to a Listed Building:



The correct fee:

£150 ☒

The original and 3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:



The original and 3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable):



The original and 3 copies of other plans and drawings or information necessary to describe the subject of the application:



The original and 3 copies of the completed, dated Article 12 Certificate (Agricultural Holdings):



14. Declaration

320120591P

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

31/5/12

(date cannot be pre-application)

15. Applicant Contact Details

Telephone numbers

Country code:

National number:

Extension number:

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

Email address (optional):

16. Agent Contact Details

Telephone numbers

Country code:

National number:

Extension number:

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

Email address (optional):

17. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☐ Agent☒ Applicant☐ Other (if different from the agent/applicant's details)

If Other has been selected, please provide:

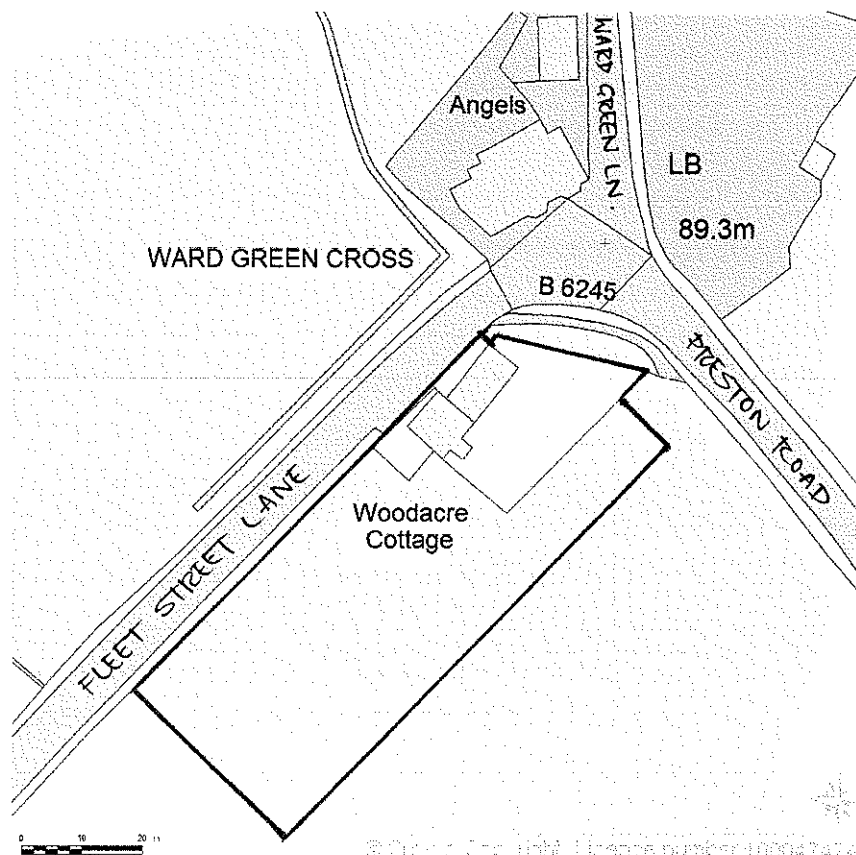
Contact name:

Telephone number:

Email address:

SITE LOCATION PLAN
AREA 2 HA
SCALE 1:1250

CENTRE COORDINATES: 363171, 436990

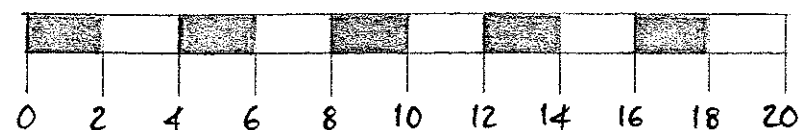


Supplied by Streetwise Maps Ltd
www.streetwise.net
Licence No: 100047474
30/05/2012 14:09

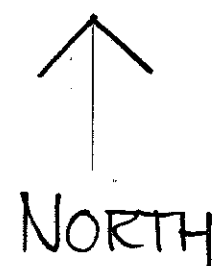
320120591P

Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:200	DRWG NO.	12-0842-1
		DATE:	MAY '12
PHIL WALSH <i>Architectural Services</i>			
1 Regent Park Fulwood, Preston PR2 9WX			
e-mail: pwplans@gmail.com		Tel. (01772) 713421	

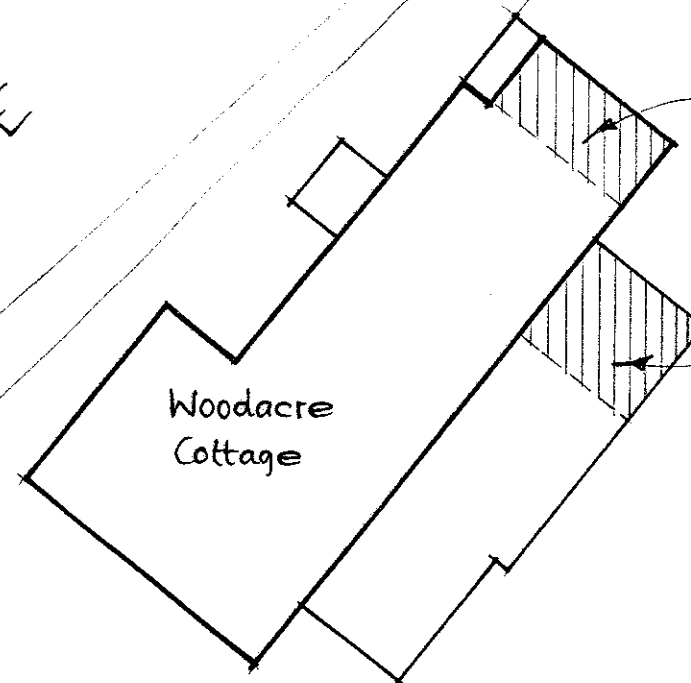
SITE PLAN



SCALE (metres) PAPER SIZE: A3



FLEET STREET LANE



Woodacre Cottage

proposed 1st floor side extension

proposed single storey rear extension

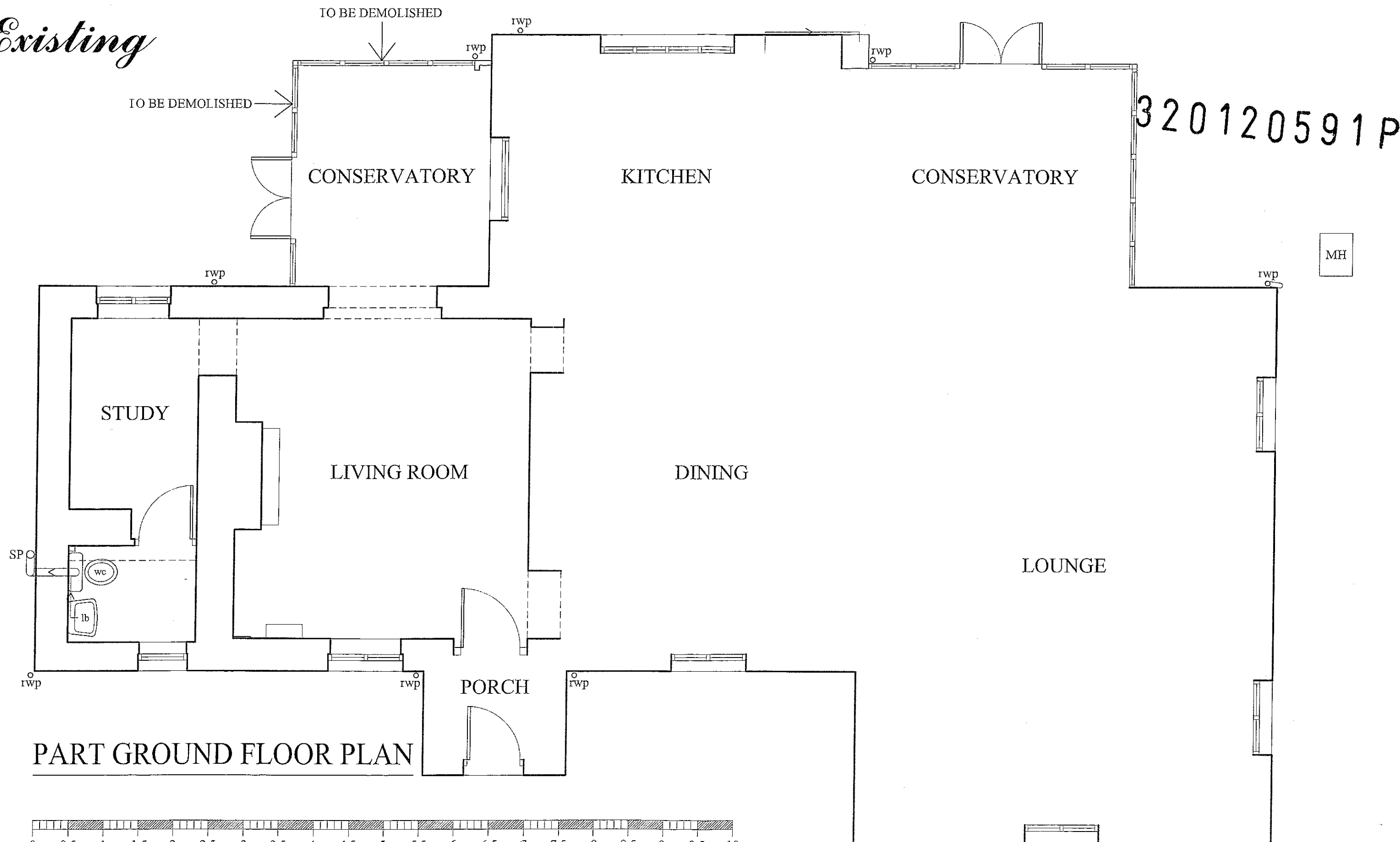
Angels Restaurant

320120591P

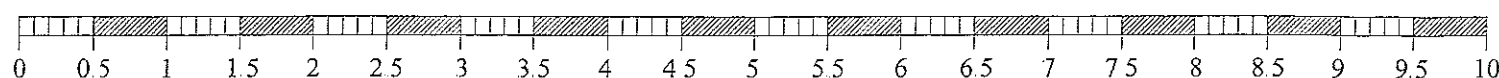
Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO. 12-0842-2	DATE: MAY '12
PHIL WALSH <i>Architectural Services</i>			
1 Regent Park Fulwood Preston PR2 9WX			
e-mail: pwplans@gmail.com Tel. (01772) 713421			

THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY
DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

Existing



PART GROUND FLOOR PLAN



SCALE (metres)

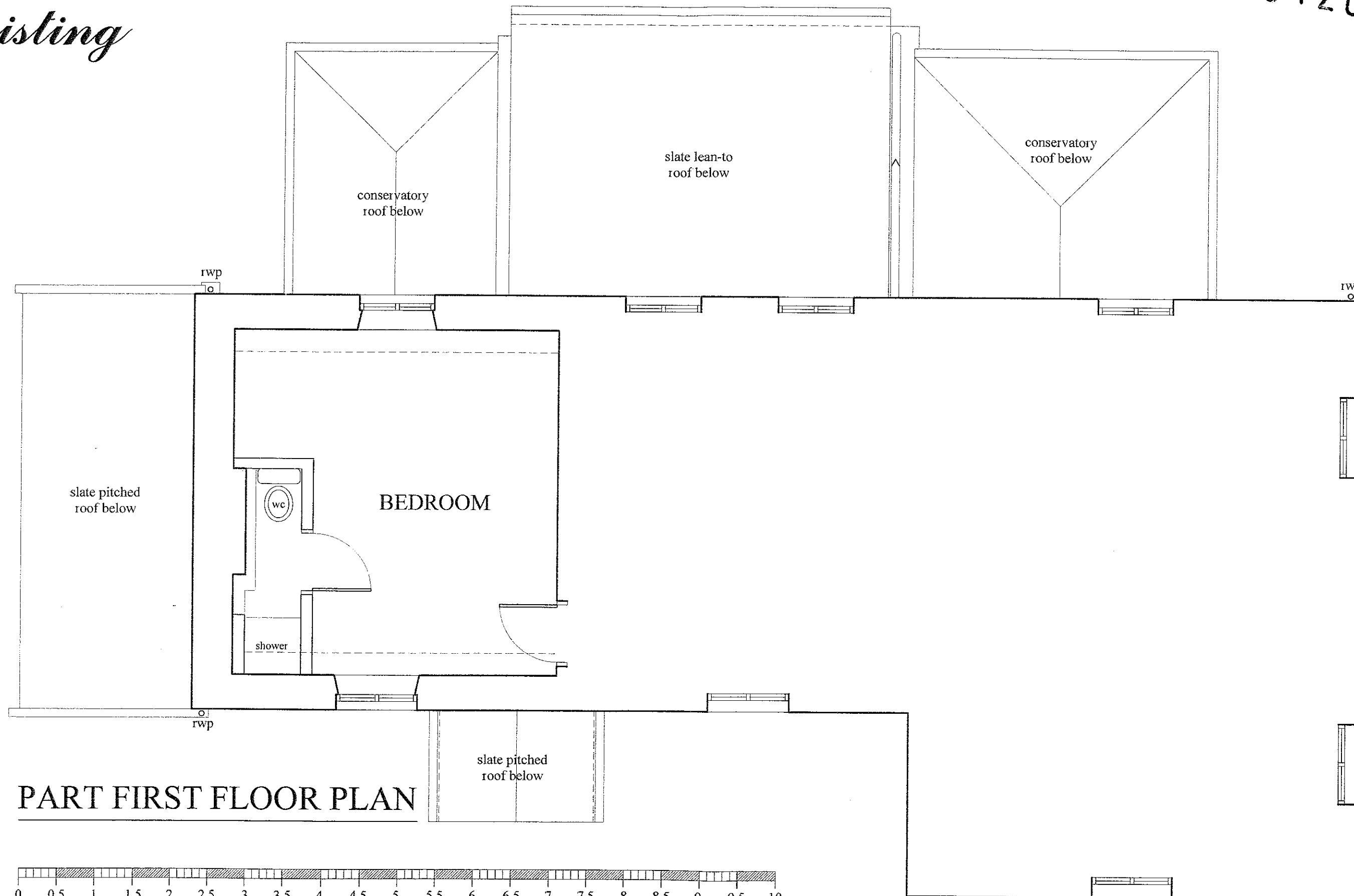
PAPER SIZE: A3

Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO.	12-0842-3
		DATE:	MAY '12
PHIL WALSH <i>Architectural Services</i>			
1 Regent Park Fulwood Preston PR2 9WX			
e-mail: pwplans@gmail.com		Tel. (01772) 713421	

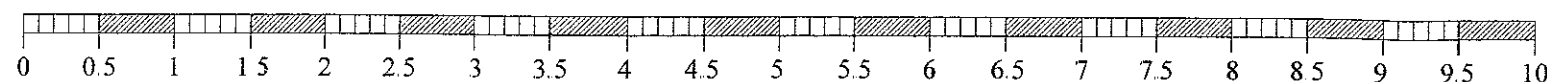
THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY.
DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

Existing

320120591P



PART FIRST FLOOR PLAN



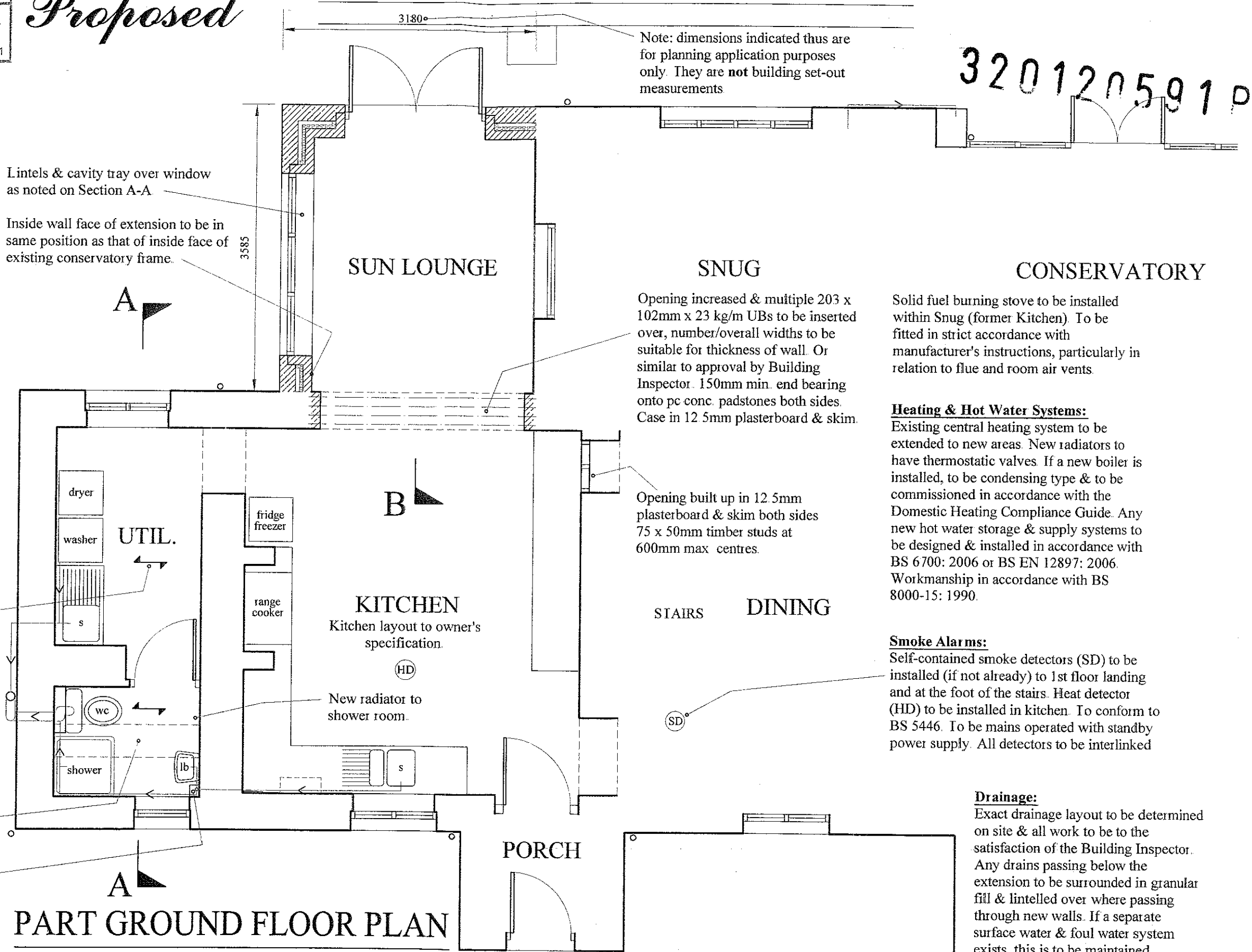
SCALE (metres)

PAPER SIZE: A3

Project:	PROPOSED FIRST FLOOR SIDE EXTENSION SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO.	12-0842-4
		DATE:	MAY '12
PHIL WALSH <i>Architectural Services</i> 1 Regent Park, Fulwood, Preston PR2 9WX e-mail: pwplans@gmail.com Tel. (01772) 713421			

THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY
 DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

Proposed



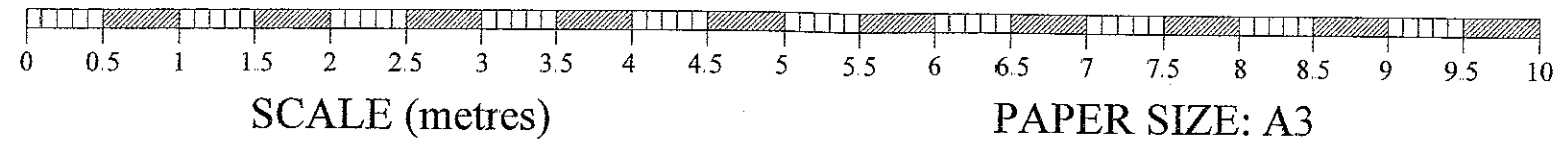
Ground Floor Room Ventilation:
SUN LOUNGE
 Double doors & windows openable area exceeds 1/20th of the floor area of the room. Trickle vent to be provided within frame head(s) of min total equivalent area of 5000 sq mm;
KITCHEN
 Extract fan capable of min. intermittent extraction of 60 litres/sec (or 30 l/s adjacent a hob) with min high rate for continuous extraction of 13 l/s. If new window, trickle vent to be provided within frame head of min equivalent area of 2500 sq mm;
UTILITY
 Extract fan capable of min. intermittent extraction of 30 litres/sec with min. high rate for continuous extraction of 8 l/s. If new window, trickle vent to be provided within frame head of min. equivalent area of 2500 sq mm;
SHOWER ROOM
 Extract fan capable of min. intermittent extraction of 15 litres/sec with min high rate for continuous extraction of 8 l/s. If new window, trickle vent to be provided within frame head of min. equivalent area of 2500 sq mm;
 All rooms with extract fans to have 10mm air inlet gap below the door into the room & above the floor finish.

Plumbing:
 Min trap sizes & seal depths:
 basin - 32mm trap diam, 75mm deep seal;
 shower - 40, 50;
 wc - 100, 50;
 sinks & washer - 40, 75.

Heating & Hot Water Systems:
 Existing central heating system to be extended to new areas. New radiators to have thermostatic valves. If a new boiler is installed, to be condensing type & to be commissioned in accordance with the Domestic Heating Compliance Guide. Any new hot water storage & supply systems to be designed & installed in accordance with BS 6700: 2006 or BS EN 12897: 2006. Workmanship in accordance with BS 8000-15: 1990.

Smoke Alarms:
 Self-contained smoke detectors (SD) to be installed (if not already) to 1st floor landing and at the foot of the stairs. Heat detector (HD) to be installed in kitchen. To conform to BS 5446. To be mains operated with standby power supply. All detectors to be interlinked

Drainage:
 Exact drainage layout to be determined on site & all work to be to the satisfaction of the Building Inspector. Any drains passing below the extension to be surrounded in granular fill & lintelled over where passing through new walls. If a separate surface water & foul water system exists, this is to be maintained



Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO.	12-0842-5
		DATE:	MAY '12
PHIL WALSH <i>Architectural Services</i> 1 Regent Park, Fulwood, Preston PR2 9WX e-mail: pwplans@gmail.com Tel. (01772) 713421			

THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY.
 DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

Proposed

320120591P

First Floor Room Ventilation:

DRESSING ROOM

Window openable area to exceed 1/20th of the floor area of the room. Trickle vent to be provided within window frame head of min. total equivalent area of 5000 sq mm;

EN SUITE

Extract fan capable of min. intermittent extraction of 15 litres/sec with min. high rate for continuous extraction of 8 l/s. Trickle vent to be provided within window frame head of min. equivalent area of 2500 sq mm. Door into En Suite to have 10mm air inlet gap below the door into the room & above the floor finish.

Plumbing:

Min trap sizes & seal depths:
 basin - 40mm trap diam, 75mm deep seal;
 shower - 40, 50;
 wc - 100, 50.

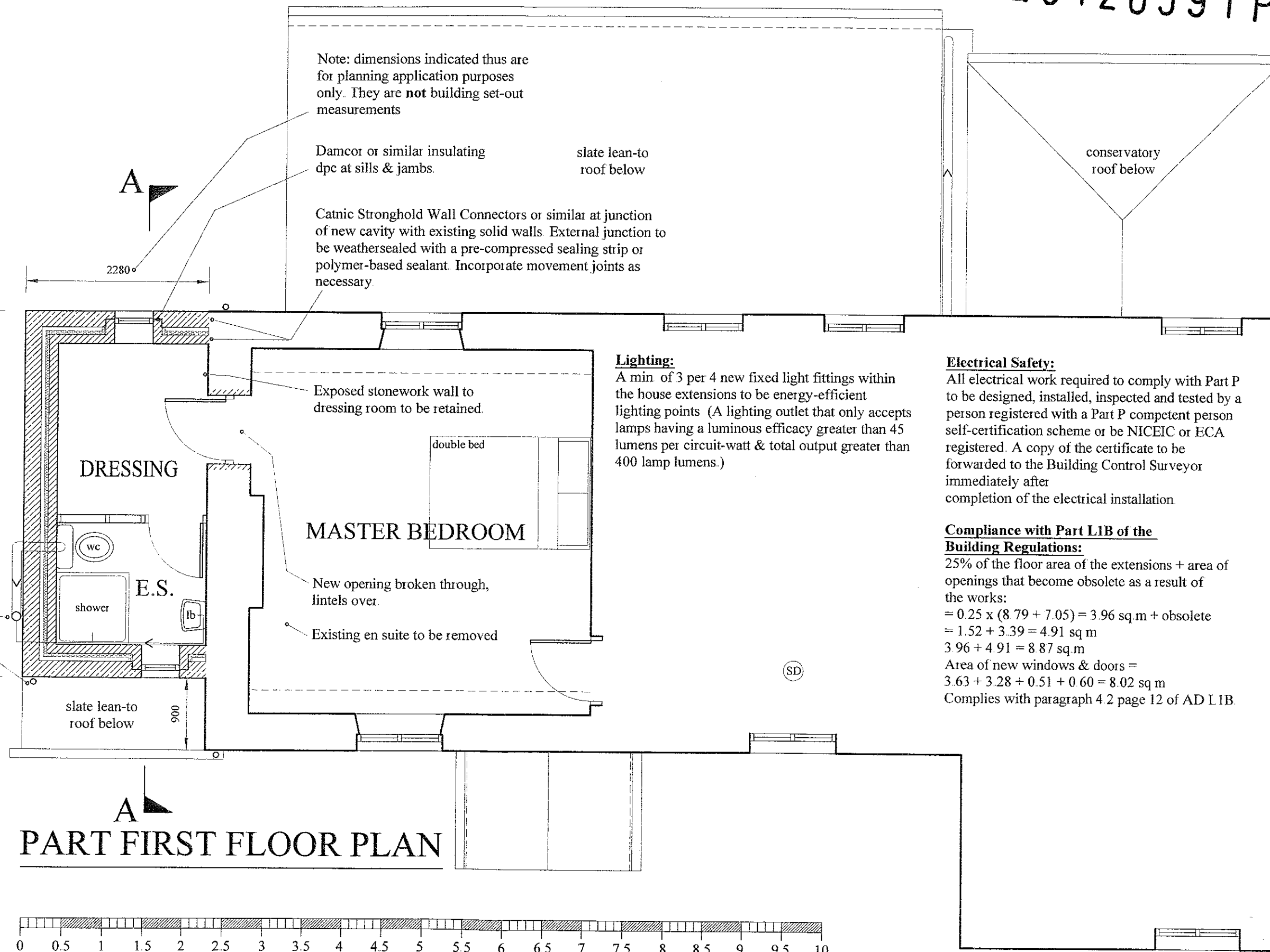
PVCu rwp to discharge onto lower roof

External Wall Construction:

Natural stonework facing externally to match existing with 100mm dense blockwork backing, 50mm clear cavity plus 50mm Xtratherm Thin-R/CW insulation boards, or 50mm Kingspan Kooltherm K8 Cavity Board insulation, against inner leaf of 100mm Thermalite Shield or similar insulating blockwork. 12mm lightweight plaster finish internally.

(Attains a U value of 0.28 W/m2K).

Insulation-retaining type stainless steel cavity ties at 750mm centres horizontally & 450mm vertically, to BS 1243: 1978/BS 5628-3: 2001. At least one tie to be provided for each 300mm of height within 225mm of openings. Or similar construction to approval of Building Inspector



Lighting:

A min. of 3 per 4 new fixed light fittings within the house extensions to be energy-efficient lighting points (A lighting outlet that only accepts lamps having a luminous efficacy greater than 45 lumens per circuit-watt & total output greater than 400 lamp lumens.)

Electrical Safety:

All electrical work required to comply with Part P to be designed, installed, inspected and tested by a person registered with a Part P competent person self-certification scheme or be NICEIC or ECA registered. A copy of the certificate to be forwarded to the Building Control Surveyor immediately after completion of the electrical installation.

Compliance with Part L1B of the Building Regulations:

25% of the floor area of the extensions + area of openings that become obsolete as a result of the works:

$$= 0.25 \times (8.79 + 7.05) = 3.96 \text{ sq.m} + \text{obsolete}$$

$$= 1.52 + 3.39 = 4.91 \text{ sq.m}$$

$$3.96 + 4.91 = 8.87 \text{ sq.m}$$

$$\text{Area of new windows \& doors} =$$

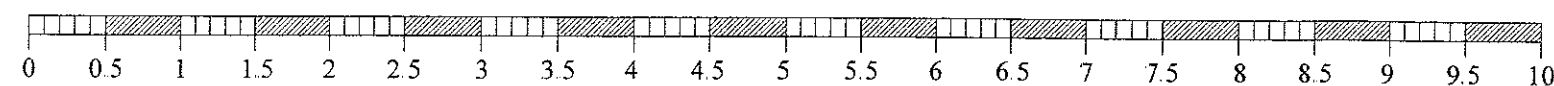
$$3.63 + 3.28 + 0.51 + 0.60 = 8.02 \text{ sq.m}$$

Complies with paragraph 4.2 page 12 of AD L1B.

320120591P



FRONT (NORTH WEST FACING) ELEVATION



SCALE (metres)

PAPER SIZE: A3

Existing

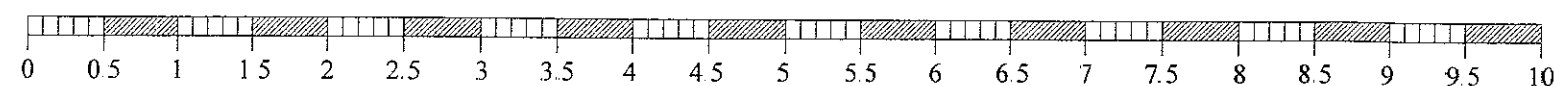
THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY.
DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO. 12-0842-6	DATE: MAY '12
PHIL WALSH <i>Architectural Services</i>			
1 Regent Park, Fulwood, Preston PR2 9WX			
e-mail: pwplans@gmail.com		Tel. (01772) 713421	

320120591P



REAR (SOUTH EAST FACING) ELEVATION



SCALE (metres)

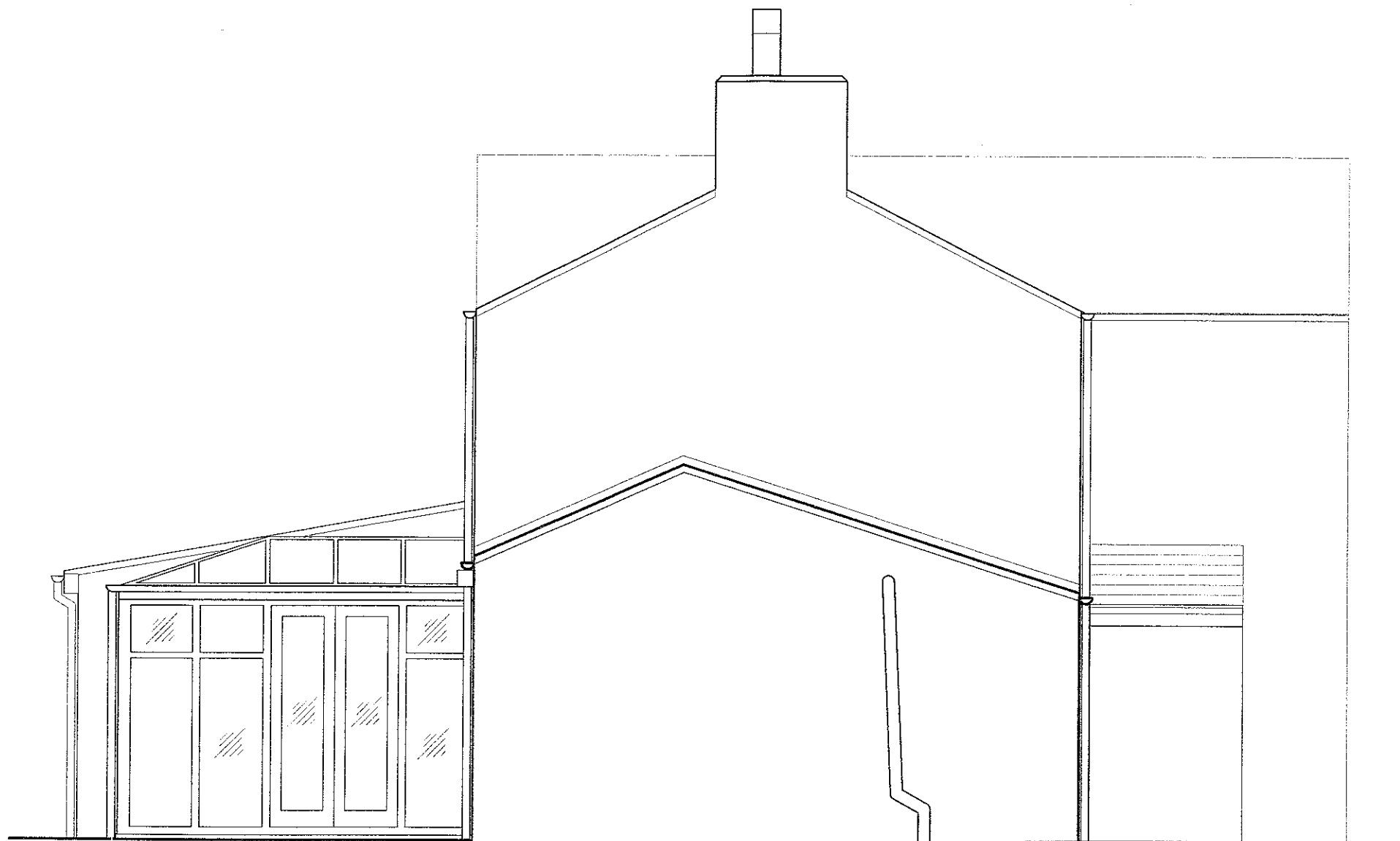
PAPER SIZE: A3

Existing

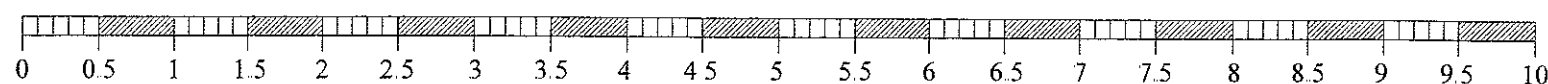
THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY. DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE).

Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO.	12-0842-7
		DATE:	MAY '12
PHIL WALSH <i>Architectural Services</i>			
1 Regent Park Fulwood Preston PR2 9WX			
e-mail: pwplans@gmail.com		Tel. (01772) 713421	

320120591P



SIDE (NORTH EAST FACING) ELEVATION



SCALE (metres)

PAPER SIZE: A3

Existing

THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO
OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY.
DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

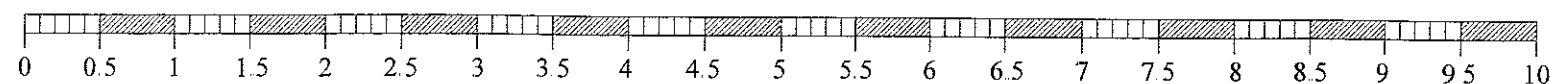
Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO.	12-0842-8
		DATE:	MAY '12
PHIL WALSH <i>Architectural Services</i>			
1 Regent Park Fulwood Preston PR2 9WX			
e-mail: pwplans@gmail.com		Tel. (01772) 713421	

320120591P

Lead flashing & cavity tray
at abutment of new roof
with new wall.



FRONT (NORTH WEST FACING) ELEVATION



SCALE (metres)

PAPER SIZE: A3

Proposed

THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY.
DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO.	12-0842-9
		DATE:	MAY '12
PHIL WALSH <i>Architectural Services</i>			
1 Regent Park, Fulwood, Preston PR2 9WX			
e-mail: pwplans@gmail.com		Tel. (01772) 713421	

320120591P

EXTERNAL FINISHES:

WALLS
Random stonework to match existing;
ROOFS
Natural slate to match existing

Lead flashing at abutment of
new roof with existing wall

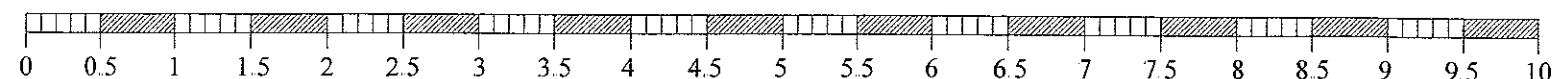


REAR (SOUTH EAST FACING) ELEVATION

Toughened glass within new doors.
Both internal & external panes
Stamped to BS 6206: 1981

Glazing:

All new windows & doors to attain a 'U' value of
1.6 W/m²K, e.g. glaze as follows: 4mm external
pane, 12mm argon-gas filled cavity, Pilkington K
glass inner pane, or as manufacturer's specification.



SCALE (metres)

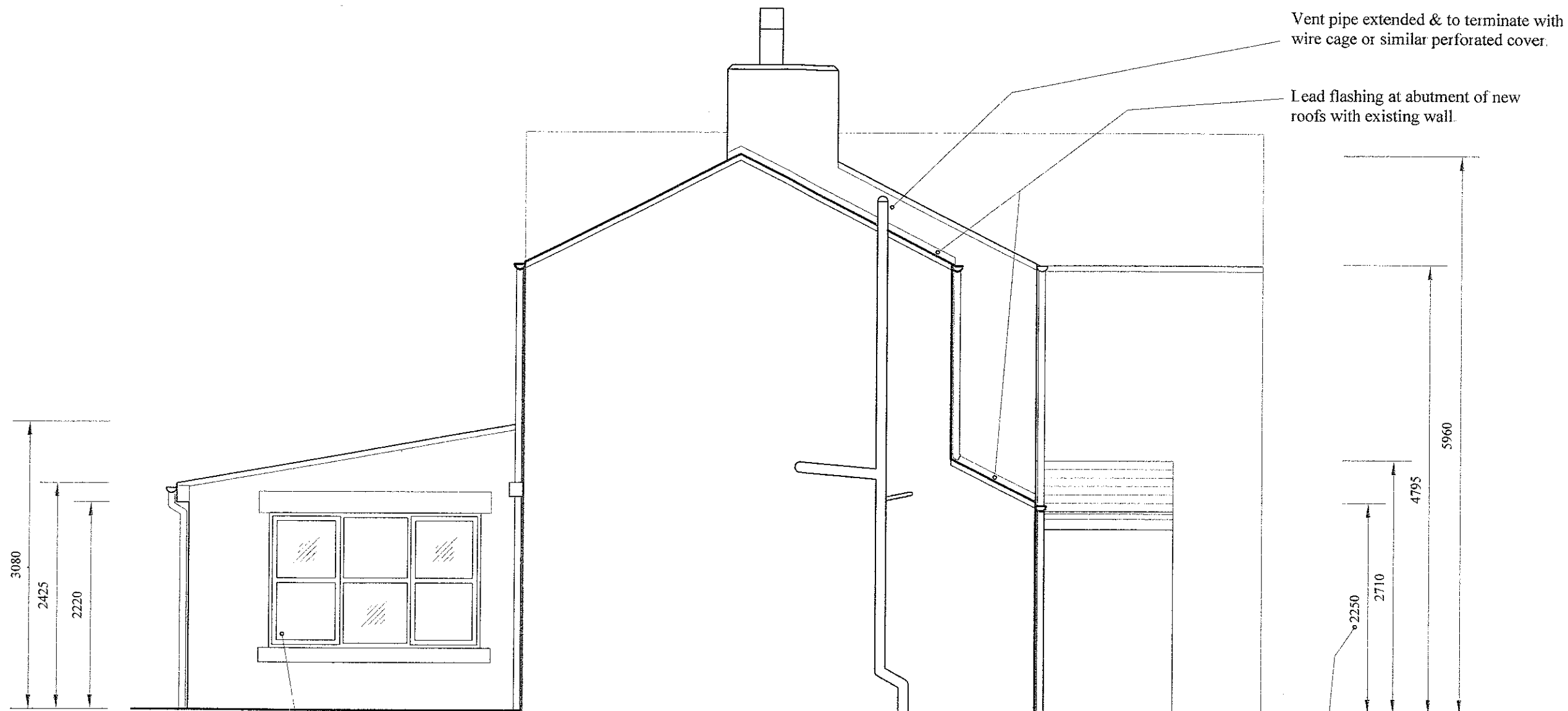
PAPER SIZE: A3

Proposed

THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO
OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY.
DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

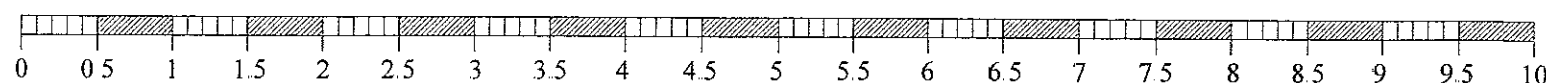
Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO.	12-0842-10
		DATE:	MAY '12
PHIL WALSH <i>Architectural Services</i>			
1 Regent Park Fulwood, Preston PR2 9WX			
e-mail: pwplans@gmail.com		Tel. (01772) 713421	

320120591P



SIDE (NORTH EAST FACING) ELEVATION

Note: dimensions indicated thus are for planning application purposes only They are **not** building set-out measurements.



SCALE (metres)

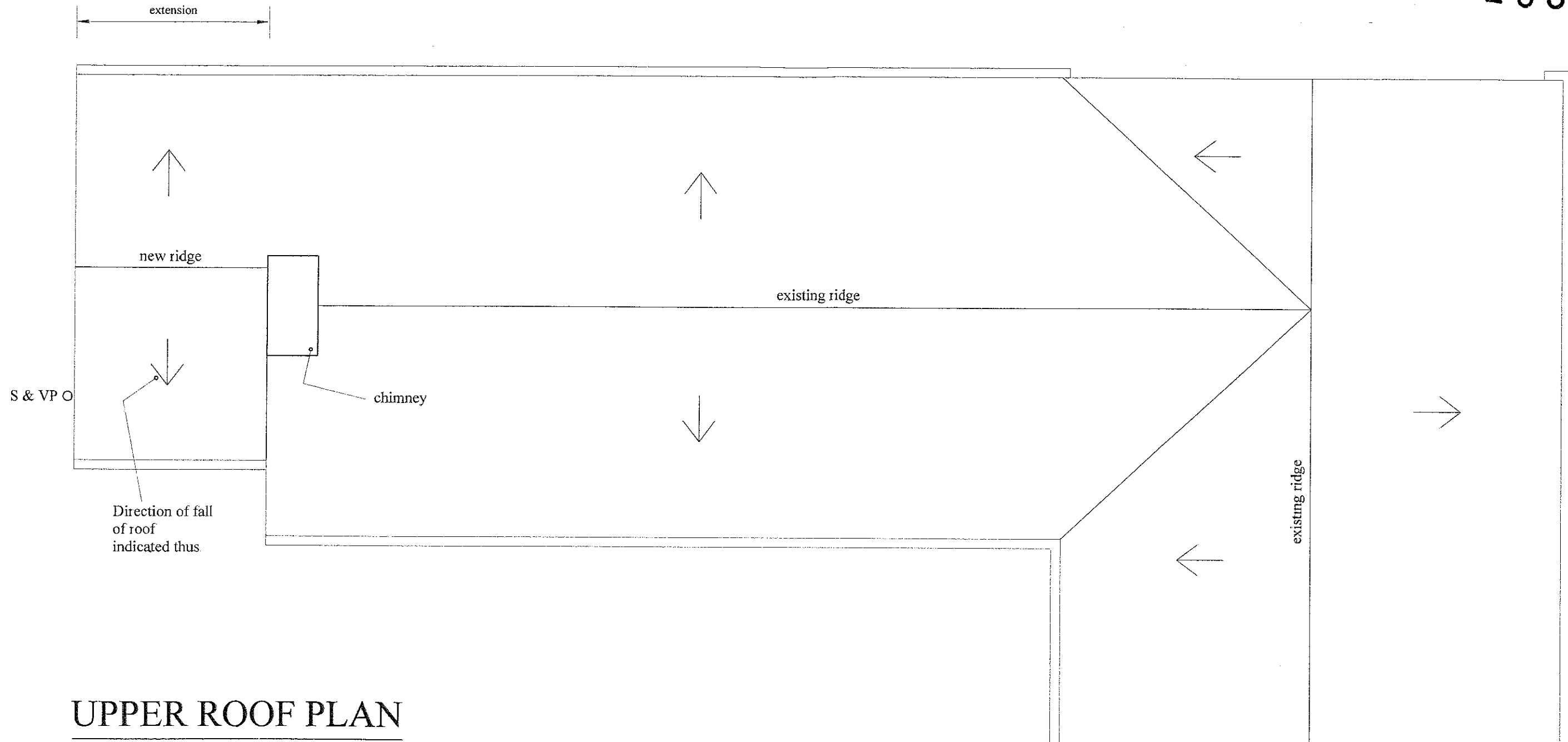
PAPER SIZE: A3

Proposed

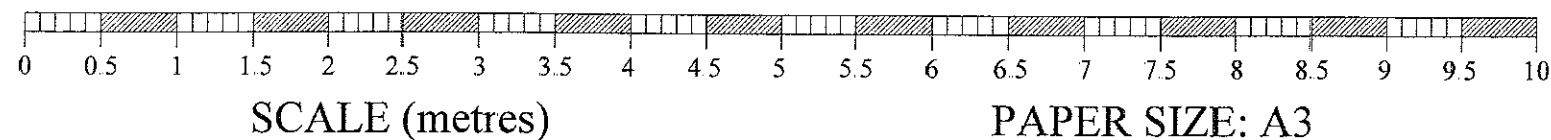
THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY
DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

Project:	PROPOSED FIRST FLOOR SIDE EXTENSION, SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO. 12-0842-11	DATE: MAY '12
PHIL WALSH <i>Architectural Services</i>			
1 Regent Park, Fulwood, Preston PR2 9WX			
e-mail: pwplans@gmail.com		Tel. (01772) 713421	

320120591P



UPPER ROOF PLAN



Proposed

THIS DRAWING HAS BEEN PREPARED FOR LOCAL AUTHORITY APPLICATIONS AND TO OBTAIN BUILDERS QUOTATIONS (WHERE APPLICABLE) ONLY.
DIMENSIONS ARE IN MILLIMETRES - TO BE CHECKED ON SITE (WHERE APPLICABLE)

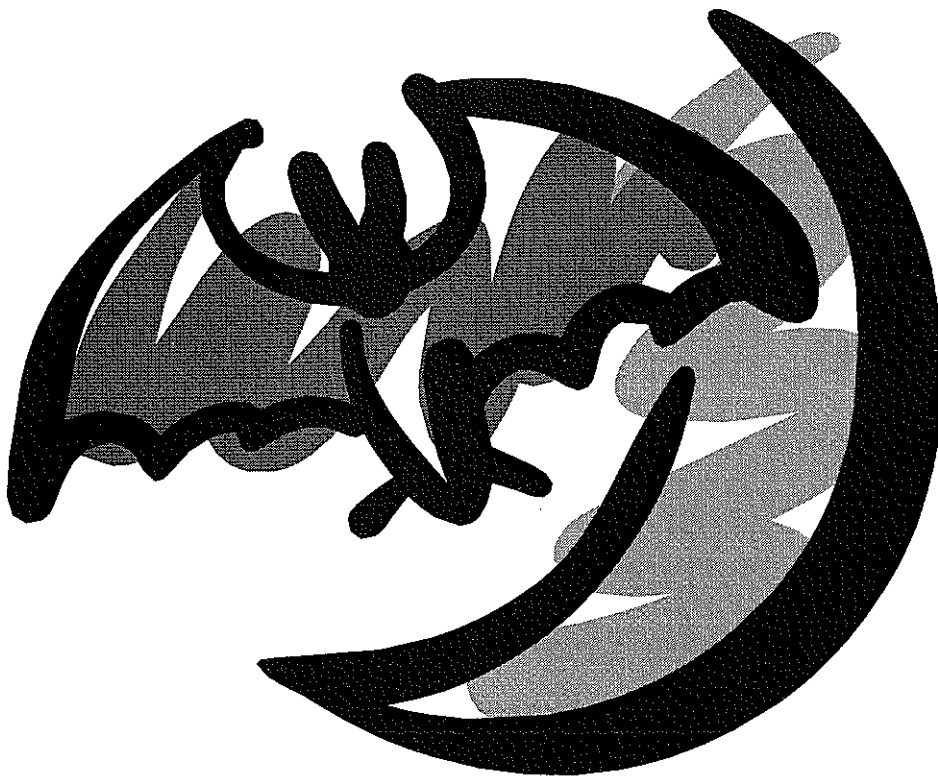
Project:	PROPOSED FIRST FLOOR SIDE EXTENSION SINGLE STOREY REAR EXTENSION AND ALTERATIONS		
Address:	WOODACRE COTTAGE, FLEET STREET LANE, RIBCHESTER		
Client:	MR. A. & MRS. H. MARSHALL		
SCALE:	1:50	DRWG NO. 12-0842-12	DATE: MAY '12
PHIL WALSH <i>Architectural Services</i> 1 Regent Park, Fulwood, Preston PR2 9WX e-mail: pwplans@gmail.com Tel. (01772) 713421			

WILDLIFE SURVEY FOR BATS

320120591P

AT

Woodacre Cottage,
Fleet Street Lane
Ribchester
Lancs.
PR3 3ZA



Denis Lambert
Wildlife Survey
Spout Farm, Preston Road
Longridge, Preston, Lancashire. PR3 3BE
Tel: **01772 783322** Mob: **07813 140682**
E-mail: denis@wildlifesurvey.co.uk
www.wildlifesurvey.co.uk





BAT AND OWL SURVEY & REPORT

Commissioned By:

Mrs Marshall

Address:

Woodacre Cottage,
Fleet Street Lane
Ribchester
Lancs.
PR3 3ZA

Tel No:

07850 133899

Instruction Method:

Verbal

Bat Survey Address:

Woodacre Cottage,
Fleet Street Lane
Ribchester
Lancs.
PR3 3ZA

Visit Date/Time:

26 June 2012 @ 20.00hrs

Weather Conditions:

Overcast and damp with no wind and a temperature of 16°C

Document Reference:

1436



BAT SURVEY & REPORT

Survey Brief

1. To inspect buildings, assess the value of the site for bats, and compile a report prior to a Planning Application being submitted.
2. The report will identify if bats have ever used the buildings at any time, or not as the case may be.
3. If bats have used the buildings, assess the importance of the site for bats and bat conservation.

Limitations of the report

1. The aim of the survey is to prove use by bats, but does not guarantee their absence.
2. Surveys undertaken when bats are hibernating may have to be re-assessed during summer months when bats are most active.
3. External walls and internal rooms are inspected from ground level only. Roof voids, attics and lofts will only be inspected when safe access is possible. Buildings whose structure is unsafe in any way, will only be inspected from a safe distance with the use of a pair of binoculars.
4. A bat detector will be used in all cases but daytime visits may only produce limited success. When buildings are inspected during winter months, a bat detector will have very limited results.
5. Buildings with no signs of bats on the date of the survey, may be used by individuals or small numbers of bats, in subsequent weeks, months or years.
6. Thorough inspection should reveal whether bats have been present during previous years. Small bats, e.g. pipistrelles, leave evidence of occupation in small inaccessible crevices which may be extremely difficult to detect if the bats are not present when the survey is being conducted.

BAT SURVEY & REPORT

Objectives of the report:

1. To thoroughly inspect all buildings, and record any findings indicating the presence or absence of bats.
2. To make recommendations when the presence of bats are found.

Survey Guidelines

This survey follows guidelines recommended by the Bat Conservation Trust (BCT Bat Surveys, Good Practice Guidelines, 2007) and Natural England (Survey objectives, methods and standards- Bat Mitigation Guidelines, 2004) and JNCC Bat Workers Manual.

Survey Methods

The purpose of the survey is to look for evidence confirming that bats use, or have used the buildings for resting, feeding, roosting or winter hibernacula, or not as the case may be.

Evidence of use will include the following;

- 1 Presence of live or dead bats.
- 2 Bat droppings.
- 3 Moth and insect wings and remains.
- 4 Faint scratch marks on roof timbers.
- 5 Grease staining marks on roof timbers.
- 6 Odour of bats.

Evening Surveys

For evening surveys, an ultra-sound receiver is used, tuned to different frequencies to pick up the noises emitted by flying bats. Bat emergence time may start half an hour before sunset, to one hour after. Fine tuning the 'bat detector' can be a very accurate way of identifying the presence of bats emerging from roof areas where human access is limited or impossible.

Time spent on suitable evenings, will confirm or not the presence of bats, and bat species identification should be possible if bats are present.

Surveying Equipment

Re-chargeable torches, one at 1 million, the other at ½ million candlepower.

8 x 32 Opticron binoculars.

Bat box 'duet' bat detector, a heterodyne type sonar receiver.

Bat Scanner, a heterodyne type instrument which actively scans ultrasound for bats.

Petzl headlamp torches.

A variety of folding aluminium ladders.

Telescopic inspection mirrors, large and small.

Bat detection methods

The size of the site or the complexity of the buildings may make daytime searches for bats very difficult. Subsequently, the detection of the presence of bats is undertaken by night visits and relies on the use of a bat detector, an instrument that picks up the ultra-sound emitted by bats, converting it into a sound audible to the human ear. Species may be identified by the frequency on which they 'transmit' and by the sonar graph of their sounds.

Evening surveys

Any survey is reliant on the scope and depth of the information sourced. In an attempt to obtain more detail, an evening survey may be conducted around the site or buildings. To give greater coverage and scope, the survey is normally conducted by two persons. Ultra-sound bat detectors were used at varying frequencies throughout the duration of the survey, to pick up noises emitted by bats.

Analysis of results

Dependent on the results indicated by the bat detector, further inspection of the site may be required within the buildings to confirm any findings. Negative results from the bat detector will only indicate that bats are not present at the time of the survey.

Bat habits

Bats frequently use trees and building for feeding. Insects are found at all sites, and their presence attracts bats, which may travel up to five kilometres or more, to feast in insect rich habitat. The presence of feeding bats does not indicate that the roost is close by, and this survey is undertaken to establish whether bats use any of the structures on the site as a roost.

Adverse weather

Adverse weather conditions affect the ability to collect data on night visits. Cold nights, strong wind and heavy rain may prevent bats from flying, and numbers of insects may be likewise very limited. Subsequent visits should provide sufficient data and prove positive or negative results.

Risk Assessment

The level of probability that Bats are using the property is calculated on the evidence found.

Low risk:

No evidence of use by bats was found.

Medium risk:

Implies that the presence or use by Bats has been identified, and the building is probably used as a feeding site.

High risk:

Identifies that Bats use the property, droppings are found and a roost is confirmed or suspected, even if bats are not present at the time of the survey

BAT SURVEY & REPORT

External Survey Results

Property type

House:
Extension:
Conservatory

YES	NO
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>

Comments: This is a two storey building with a two single storey extensions and a conservatory.

Construction

Stone
Brick
Other:
Bat Access Places

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments: The property is well built and no bat access points could be found.

Roof

Slate
Tile:
Other: Stone
Bat Access Places

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments:

Bat Signs

Bats seen
Droppings
Bat Detector Results

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments: A careful search could find no clues or evidence of bats to the outside of this property.

External Conclusions:

No signs of bat use could be found.

Risk Assessment: Low

BAT SURVEY & REPORT

320120591P

Internal Survey Results

Is the building lived In? The building is occupied.

YES	NO
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Construction

Stone
Brick
Other/plaster:
Bat Access Places

Comments:

Roof space, attic or loft

Beams
Cracks in beams
Lined roof: Underfelt
Bat Access Places

<input checked="" type="checkbox"/>	<input type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments. Access into the attics was via three small hatches. The extensions all have under-felt, whilst the roof of the original building has no under-felt

Bat signs

Bats seen
Droppings
Bat Detector Results
Staining on beams
Moth + insect wings present
Suspect summer roost
Suspect winter hibernacula

<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>
<input type="checkbox"/>	<input checked="" type="checkbox"/>

Comments: A careful search found no signs of bats occupying any part of the attic. Numerous spiders' cobwebs adorn the beams and spars in all the attics, making it unlikely that bats fly around in these places.

Internal Conclusions:

There are no signs of bats using the premises for roosting.

Risk Assessment: Low

BAT SURVEY & REPORT

Date: 26th June 2012

Start Time: 21.00 hours

End Time: 22.30 hours

Weather:

An overcast evening, with rain imminent, a light breeze, and a temperature of 16°C.

Bat Suitability Evening:

The evening was a good evening for foraging bats, with flying insects and moths observed in the sheltered areas of the buildings and garden.

Survey Details:

The survey was conducted using a 'bat detector' set at 45 Khz. The bat detector was occasionally tuned to 55 Khz to allow for different species of bat sonar. Continuous observation was achieved by using the detector adjacent to the gable end.

Survey Findings:

At 21.51 hrs, a pipistrelle bat flew over the site from the west and proceeded to fly and forage around the property and garden area.

A second pipistrelle followed at 21.58 hrs followed by a third at 22.03 hrs, taking the same flight path onto the site and foraging the same area.

Fine tuning of the bat detector confirmed the species to be Common Pipistrelle, echo locating on 45 Khz.

No bats were seen or detected emerging from the buildings under observation.

Evaluation of the Survey Results:

The survey could find no evidence of bats using the buildings for any purpose.

Risk Assessment:

Low.

BAT SURVEY & REPORT

SURVEY SUMMARY

Proposed Development

320120591P

The proposal is to create additional accommodation.

Site Description

The property is sited alongside a B road, in a rural location and is surrounded by agricultural land with other residential and commercial properties nearby.

Survey Results

The survey found no evidence of any part of the building being used as a roost site or as a hibernacula.

Importance of the Site

The site has not and is not being used by European Protected Species and is of no special wildlife importance.

Conclusions

The survey could find no evidence of previous or present occupation by bats.

Risk Assessment

Low

Mitigation and Enhancement

No mitigation or habitat enhancement will be necessary.

Author: Denis Lambert

Signed: *Denis Lambert*

Dated: *30th June 2012*

SURVEYOR'S DETAILS

Denis Lambert is a registered and licensed Bat Warden No. 20120533 for Natural England, since 1981. Dedicated to conservation and environmental issues, he has been a keen bird watcher and mammal specialist all his life and was involved with the formation of the Lancashire Badger Group and acted as its chairman for ten years. Working as a qualified arborist (tree surgeon) he has been actively involved in protecting many species of flora and fauna over the years. Richard Bowden, a retired ex-licensed Bat Warden assists with surveillance where two persons are needed.

BAT SURVEY & REPORT

Bats and the Law

It may not be possible to determine whether the building is used as a maternity roost or just a resting place, but the fact that bat activity has been recorded, means that any work that disturbs or impacts on the colony within the buildings will require a license. Additional survey work may be necessary, especially in the evenings or early morning to determine the exact extent of use by bats and the access points that are used. Deliberate disturbance during the breeding season, the exclusion of bats and the destruction of a bat roost is now a criminal offence under the Conservation (Natural Habitats &c) (Amendment) Regulations 2007. The onus lies on the applicant to satisfy him/her that no offence will be committed if and when the development goes ahead.

Natural England now advises, *"Operations to known breeding sites should be timed to avoid the months of June, July and August if possible, the best times for building or re-roofing operations are spring and autumn"*.

How to proceed when bats are found

Depending on the extent of the proposed works, a license may be required before any work can start. If the work does not impact on the bats in any way, ie, bats are not present and the habitat and access points are not being affected, then the work may probably be done without a licence. Each site has different requirements and Natural England have the final say.

When European Protected Species are present and the works cannot be done at a time when they are absent, as a licensed bat person, I can apply on your behalf for a licence to enable the works to proceed. The granting of a license is not guaranteed, but when the application is a matter of health and public safety and supporting mitigation enhances the habitat for continued use by bats, there is a good likelihood that the license will be approved. Natural England requires a minimum six weeks to process any licence application. Mitigation will include detailed information for the retention, enhancement and preservation of the population of European Protected Species in the locality.

General recommendations:

Being aware of how bats move from site to site, and the possibility that bats may occur in any building, the following points should help developers.

1. Bats may use buildings at any time of the year for feeding or refuge.
2. Work to the roof should be undertaken when bats are free flying, generally early March to late November.
3. Care must be taken when removing existing roof beams and associated stonework.
4. During completion of roof works, bat access points may be built into the new structure.
5. Pointing of walls should not be carried out between mid-November to early March to avoid entombing bats, which may be hibernating within.
6. If any timber treatment is carried out, only chemicals safe for bats should be used. Any new timber used should be treated using the CCA method (Copper, Chrome Arsenic), which is safe for bats.

I shall be available to advise and oversee the above points at any time, if requested.

Should bats be found, work must cease immediately in that area and then please contact: **Denis Lambert** on **01772 783322** or **07813 140682** for advice.