



RIBBLE VALLEY
BOROUGH COUNCIL

For office use only

Application No

Date received

Fee paid £

Receipt No:

320120827P

Council Offices, Church Walk, Clitheroe, Lancashire. BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling. Town and Country Planning Act 1990

Publication of planning applications on council websites

Please note that with the exception of applicant contact details and Certificates of Ownership, the information provided on this application form and in supporting documents may be published on the council's website

If you have provided any other information as part of your application which falls within the definition of personal data under the Data Protection Act which you do not wish to be published on the council's website, please contact the council's planning department.

Please complete using block capitals and black ink.

It is important that you read the accompanying guidance notes as incorrect completion will delay the processing of your application

1. Applicant Name and Address

Title:	MR & MRS			First name:	G & M		
Last name:	JONES						
Company (optional):							
Unit:		House number:	11	House suffix:			
House name:							
Address 1:	LINGFIELD AVENUE						
Address 2:							
Address 3:							
Town:	CLITHEROE						
County:	LANCS						
Country:							
Postcode:	BB7 1HA						

2. Agent Name and Address

Title:		First name:	
Last name:			
Company (optional):			
Unit:		House number:	
House name:			
Address 1:			
Address 2:			
Address 3:			
Town:			
County:			
Country:			
Postcode:			

3. Description of Proposed Works

Please describe the proposed works:

Proposed replacement porch to rear, and new store to side elevation.

Description of Proposed Works (continued)

Has the work already started?

☐ Yes ☒ No

If Yes, please state when the work was started (DD/MM/YYYY):

(date must be pre-application submission)

Has the work already been completed?

☐ Yes ☒ No

If Yes, please state when the work was completed (DD/MM/YYYY):

(date must be pre-application submission)

4. Site Address Details

Please provide the full postal address of the application site

Unit: House number: House suffix: House name: Address 1: Address 2: Address 3: Town: County: Postcode (optional): **5. Pedestrian and Vehicle Access, Roads and Rights of Way**

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Do the proposals require any diversions, extinguishments and/or creation of public rights of way?

☐ Yes ☒ No

If Yes to any questions, please show details on your plans or drawings and state the reference number(s) of the plan(s)/drawing(s):

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☒ Yes ☐ No

If Yes, please complete the following information about the advice you were given. (This will help the authority to deal with this application more efficiently)

Please tick if the full contact details are not known, and then complete as much possible: ☐

Officer name:

Reference:

Date (DD MM YYYY):

(must be pre-application submission)

Details of the pre-application advice received:

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your boundary?

☐ Yes ☒ No

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☐ Yes ☒ No

If Yes, please show on your plans which trees by giving them numbers e.g. T1, T2 etc, state the reference number of the plan(s)/drawing(s) and indicate the scale.

8. Parking

Will the proposed works affect existing car parking arrangements?

☐ Yes ☒ No

If Yes, please describe:

9. Council Employee / Member

Is the applicant or agent related to any member of staff or elected member of the council?

☐ Yes ☒ No

If Yes, please provide details:

10. Materials

If applicable, please state what materials are to be used externally. Include type, colour and name for each material:

	Existing (where applicable)	Proposed	Not applicable	Don't Know	Drawing references if applicable
Walls	Brick/RENDER	RENDER WALLS Brick plinth	<input type="checkbox"/>	<input type="checkbox"/>	
Roof	Porch - GLAZED 24	Porch - Tile store - steel roof	<input type="checkbox"/>	<input type="checkbox"/>	
Windows	UPVC	UPVC	<input type="checkbox"/>	<input type="checkbox"/>	
Doors	UPVC	UPVC	<input type="checkbox"/>	<input type="checkbox"/>	
Boundary treatments (e.g fences, walls)			<input type="checkbox"/>	<input type="checkbox"/>	
Vehicle access and hard-standing			<input type="checkbox"/>	<input type="checkbox"/>	
Lighting			<input type="checkbox"/>	<input type="checkbox"/>	
Others (please specify)			<input type="checkbox"/>	<input type="checkbox"/>	

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☐ Yes

☒ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

126-1
126-2A
LOCATION PLAN

1. Certificates

One Certificate A, B, C, or D, must be completed, together with the Agricultural Holdings Certificate with this application form

CERTIFICATE OF OWNERSHIP - CERTIFICATE A**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

I certify/ The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

2012/09/18

CERTIFICATE OF OWNERSHIP - CERTIFICATE B**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

I certify/ The applicant certifies that I have/ the applicant has given the requisite notice to everyone else (as listed below) who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which this application relates.

Name of Owner	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

CERTIFICATE OF OWNERSHIP - CERTIFICATE C**Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7**

I certify/ The applicant certifies that:

- Neither Certificate A or B can be issued for this application
- All reasonable steps have been taken to find out the names and addresses of the other owners (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of the land or building, or of a part of it but I have/ th

unable to do so
The steps taken were:

The steps taken were:

Name of Owner	Address	Date Notice Served

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

11. Certificates (continued)

CERTIFICATE OF OWNERSHIP - CERTIFICATE D

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

I certify/ The applicant certifies that:

- Certificate A cannot be issued for this application
- All reasonable steps have been taken to find out the names and addresses of everyone else who, on the day 21 days before the date of this application, was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land to which this application relates, but I have/ the applicant has been unable to do so

The steps taken were:

Notice of the application has been published in the following newspaper (circulating in the area where the land is situated):

On the following date (which must not be earlier than 21 days before the date of the application):

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

AGRICULTURAL HOLDINGS CERTIFICATE

Town and Country Planning (General Development Procedure) Order 1995 Certificate under Article 7

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of, an agricultural holding.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

2012/9/18

B) Have/ The applicant has given the requisite notice to every person other than myself/ the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

Name of Tenant	Address	Date Notice Served

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

12. Planning Application Requirements - Checklist

Please read the following checklist to make sure you have sent all the information in support of your proposal. Failure to submit all information required will result in your application being deemed invalid. It will not be considered valid until all information required by the Local Planning Authority has been submitted.

3 copies of a completed and dated application form:



3 copies of a design and access statement where proposed works fall within one of the following designated areas:



The correct fee:



3 copies of a plan which identifies the land to which the application relates drawn to an identified scale and showing the direction of North:



- National Park
- Site of special scientific interest
- Conservation area
- Area of outstanding natural beauty
- World Heritage Site
- The Broads

3 copies of the completed, dated Article 7 Certificate (Agricultural Holdings):



3 copies of other plans and drawings or information necessary to describe the subject of the application:



3 copies of the completed, dated Ownership Certificate (A, B, C or D - as applicable):



13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information.

Signed - Applicant:

Or signed - Agent:

Date (DD/MM/YYYY):

2012/9/18

(date cannot be

14. Applicant Contact Details

Telephone numbers

Country code:

National number:

Extension number:

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

Email address (optional):

15. Agent Contact Details

Telephone numbers

Country code:

National number:

Extension number:

Country code:

Mobile number (optional):

Country code:

Fax number (optional):

Email address (optional):

16. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes☐ NoIf the planning authority needs to make an appointment to carry out a site visit, whom should they contact? *(Please select only one)*☐ Agent☒ Applicant☐ Other (if different from the agent/applicant's details)

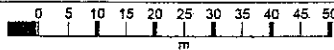
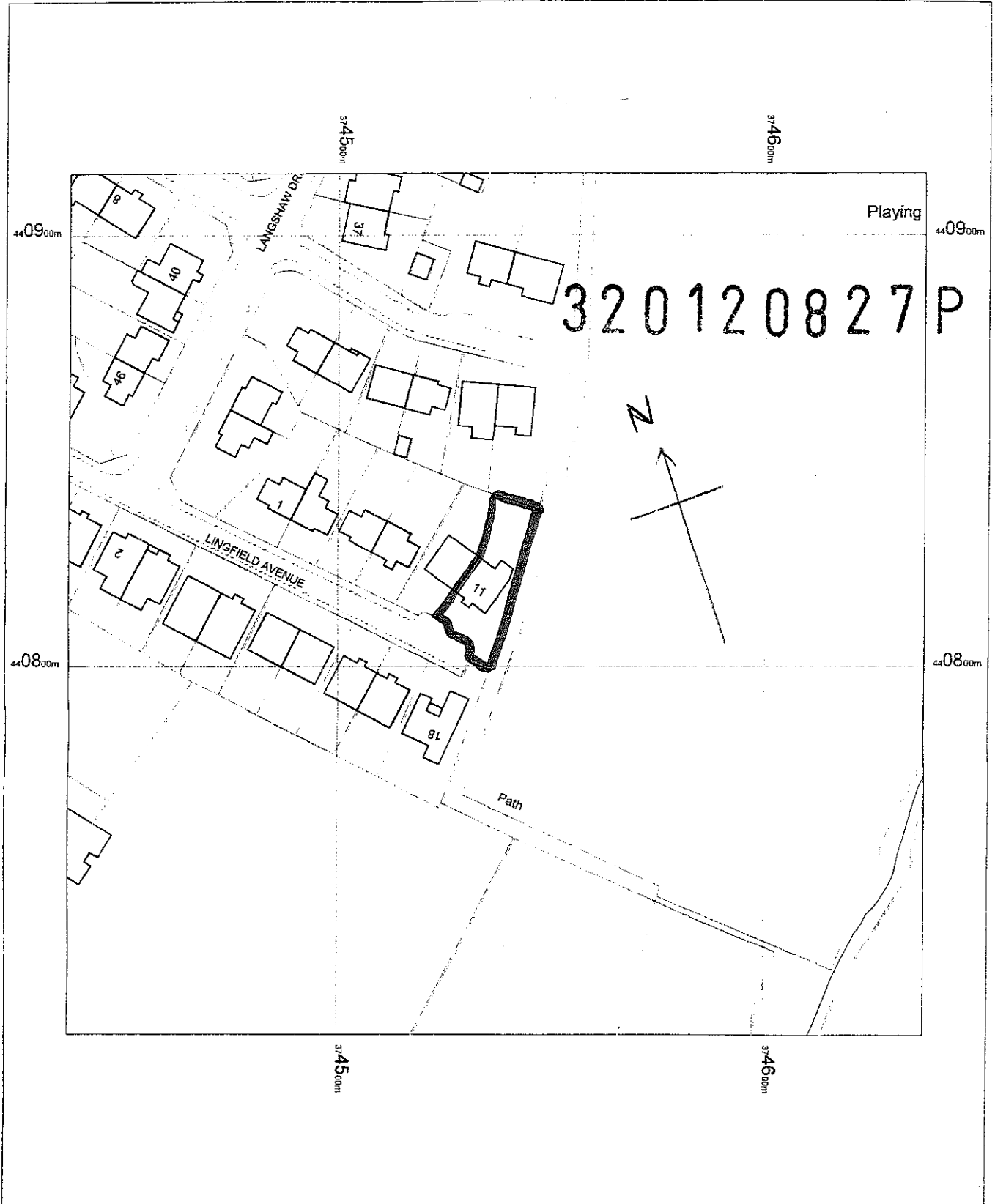
If Other has been selected, please provide:

Contact name:

Telephone number:

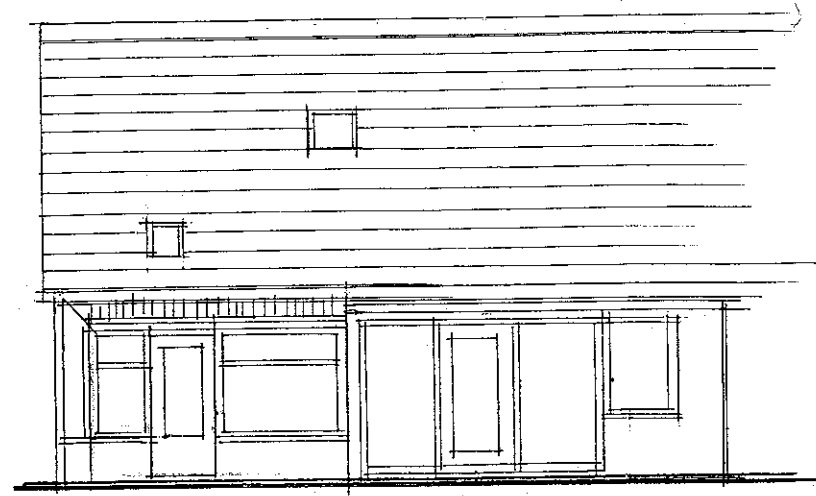
Email address:

11 Lingfield Avenue

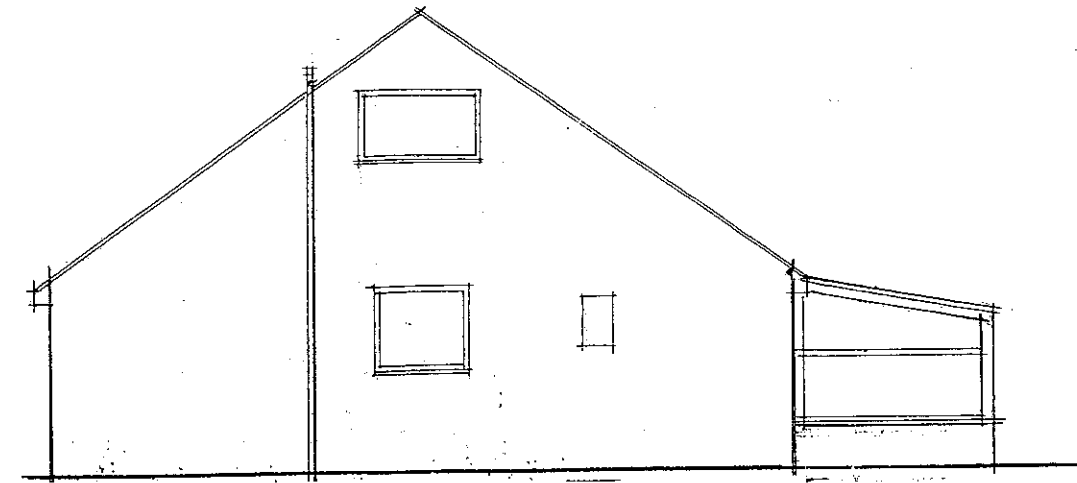


OS Mastermap
25 June 2012, ID: BLJT-00159112
www.planningapplicationmaps.co.uk
1:1250 scale print at A4 Centre: 374537 E 440814 N
©Crown Copyright. Licence no. 100019980

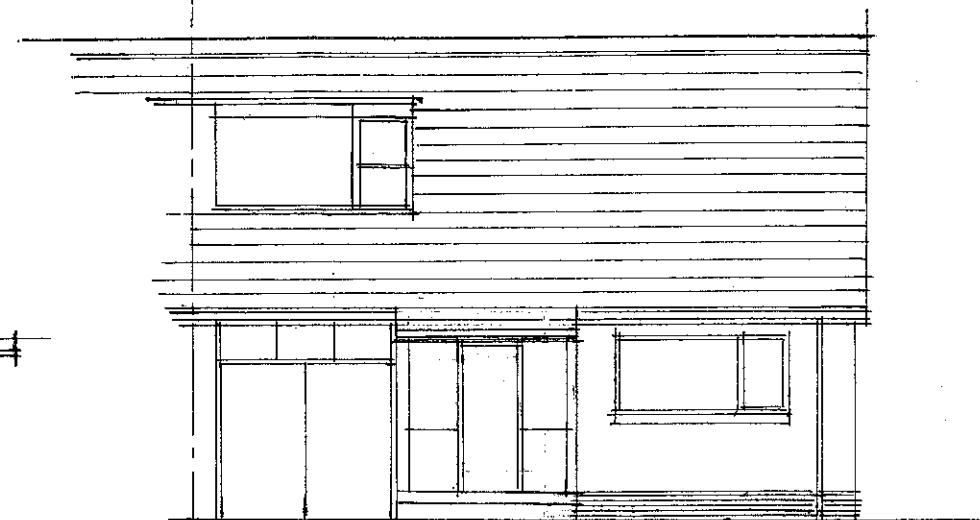




REAR ELEVATION



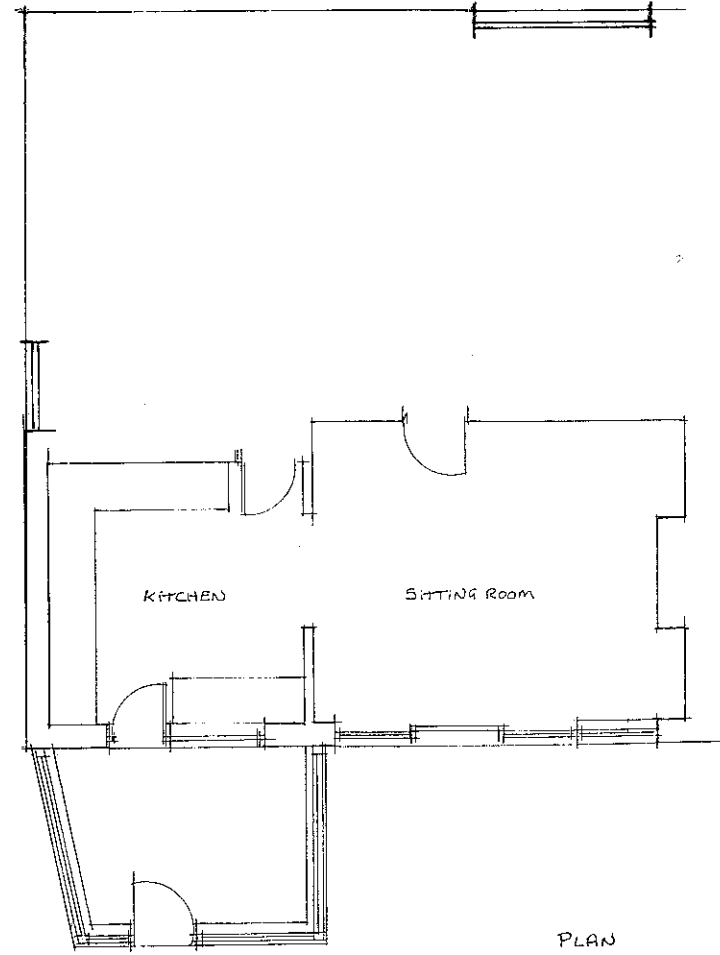
SIDE ELEVATION



FRONT ELEVATION

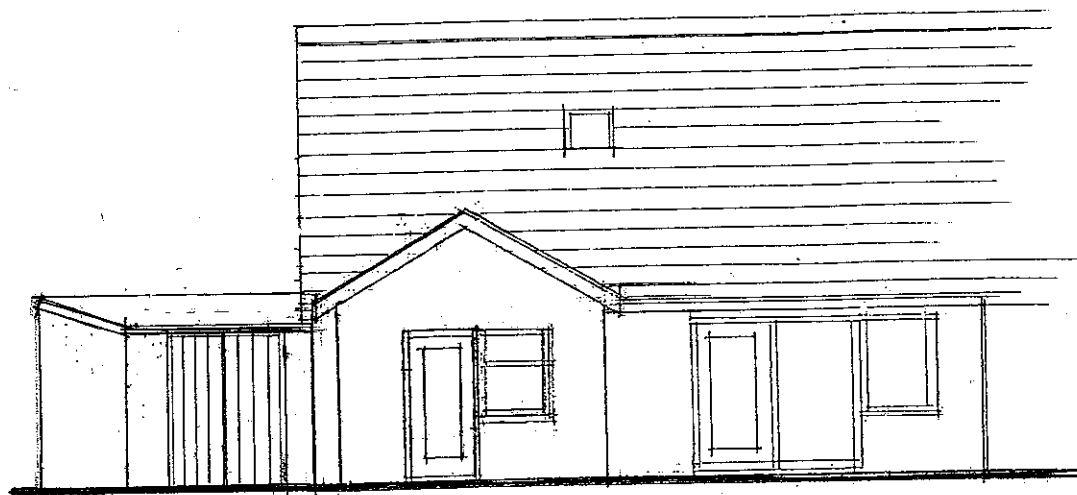
320120827P

Boundary



PLAN

Client		
MR & MRS G JONES		
Job Title		
PROPOSED REPLACEMENT PORCH AND NEW GARAGE 11 LINGFIELD AVE CLITHEROE		
Drawing Title		
EXISTING ELEVATIONS AND PART PLAN		
Scale	Date	Drawn
1:100	JUN 12	L. KAR
126 - 1		

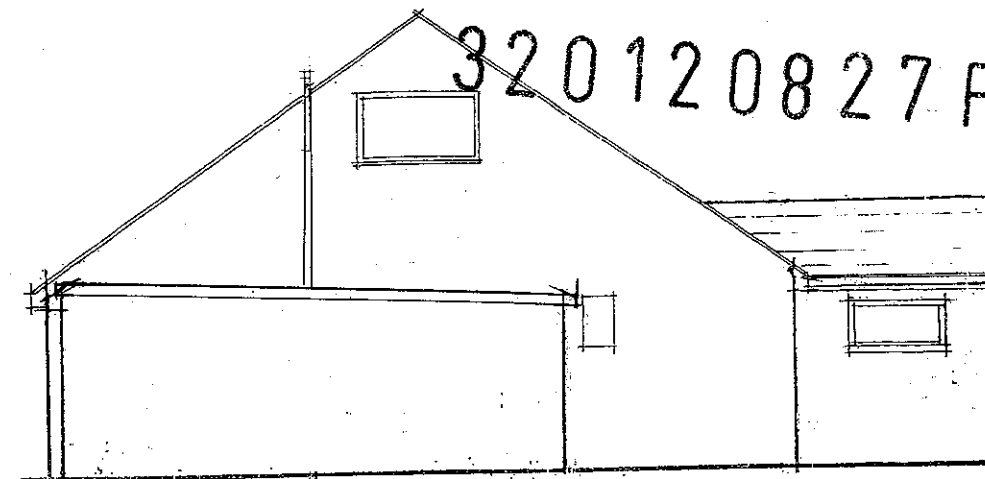


NORTH REAR ELEVATION

1. Existing rear porch to be removed and carted away. Carefully disconnect sink unit and adapt pipework to new position.
2. Existing wall broken out and carted away. Build in 1 No steel 203 x 133 x 30kg ub's with concrete padstones to each end. Beam to be encased in 2 NO layers 12.5mm p.b. with skim finish. (Provisional size to be approved by structural engineer)
3. New walls to be 100mm block with brick plinth external leaf, 110mm cavity with 60mm Celotex tuff R insulation 100mm concrete block internal leaf. Stainless steel vertical twist type wall ties spaced at 750mm ctrs horizontally, 450mm ctrs vertically and 225mm vertically within 225mm of openings with unbounded jambs, lightweight plaster finish internally. 2000 gauge dpc min 150mm above external grd level, weak mix cavity fill up to external grd level. Catnic lintels over door/window openings. Visqueen insulated vertical and horizontal dpc's and cavity trays to openings. External window head detail to match existing.
4. Walls built up off concrete strip foundation. 200mm thk, projecting 200mm either side of supported wall, min 750mm below external grd level or as agreed on site with B.C.O.

5. Store wall off foundation to be 100mm concrete block with fair face finish internally. Front and rear wall to be 215mm block. Block piers in positions shown (max 3m spacings). Wall to have 2no coat waterproof render finish to match existing externally. Catnic lintels over openings.

SIDE ELEVATION WEST



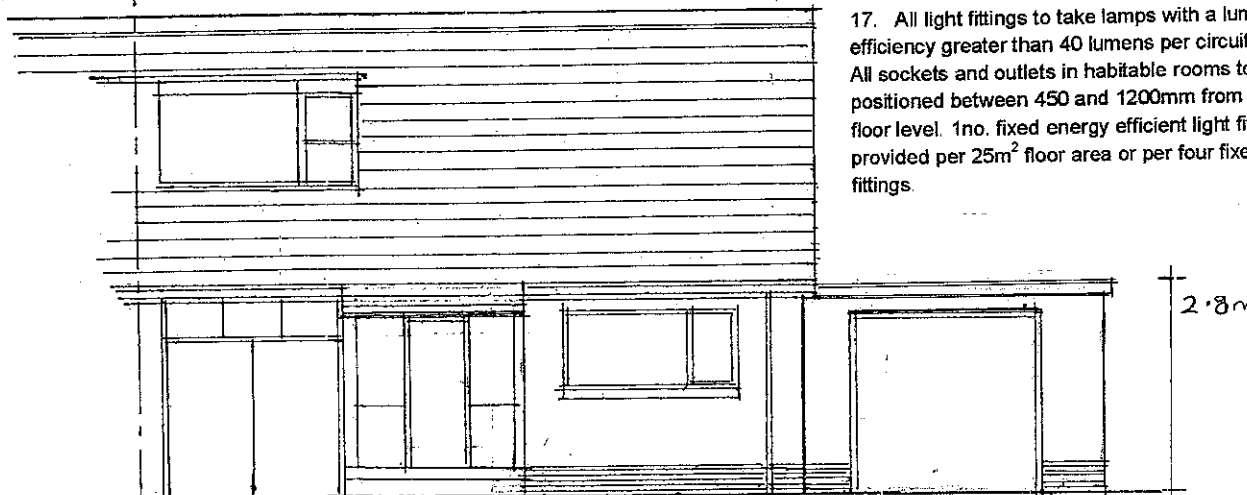
13. New standard polypropylene manhole chambers with bases set in concrete, granular/concrete backfill in accordance with the manufacturer's instructions (if necessary). Existing manhole to have double sealed screw down cover in store area.

14. Ceiling mounted air extract fan to existing bathroom, 15 litres/sec ventilation insulated flexible duct encased in plasterboard and stud when passing through new store, to proprietary roof terminal. Fan to be operated with humidistat controls with delayed action switch off.

15. New window/door openings to have double glazed units. Pilkington K glass internal leaf min 16mm argon gas filled gap. Toughened safety glass to all units within 800mm of floor level. Good quality weather seals to openers. Ironmongery to match existing. Hit and miss trickle ventilators mounted in frame.

16. Self contained smoke alarm in hall. Alarms to be fixed min 300mm away from any wall or light fitting within 3m of any bedroom door, within 7m of any living room or kitchen door. Alarms on different levels to be interlinked and connected back to mains in an independent permanently fused circuit.

17. All light fittings to take lamps with a luminous efficiency greater than 40 lumens per circuit watt. All sockets and outlets in habitable rooms to be positioned between 450 and 1200mm from finished floor level. 1no. fixed energy efficient light fitting to be provided per 25m² floor area or per four fixed light fittings.



SOUTH FRONT ELEVATION

FLOORS

6. Floor in extension to be 150mm concrete with power float finish. 1000 gauge vapour check. 100mm celotex tuff R insulation. Insulation upstand to perimeter wall. 1200 gauge dpm under insulation lapped with dpc to walls. Sand blinding on 150mm well consolidated hardcore.

7. Floor in store as note 6. But omit the insulation and 1000 gauge vapour check.

ROOFS

8. Tile to match existing. Tanalised battens, kingspan nilvent or similar permeable underlay complete with eaves carriers. Fixed in accordance with manufacturer's instructions. 75mm x 100mm treated wall plate fixed to walls 30x 5mm galvanised m/s ties at max 2mm ctrs. 50 x 125mm SC3 grade rafters at 400mm ctrs. 1no. structural ridge to be 203 x 133 x 30kg ub's s/w timber plate bolted over. Ceiling joists 50 x 170mm SC3 grade at 400mm ctrs. Solid strutting to mid spans. 12.5mm foil backed plasterboard with skim finish to u/s. Stepped cavity tray and dpc at abutment of roof with existing wall. 150mm insulation quilt laid between ceiling joists, 150mm laid over. 12.5mm foil backed p.b. Skim finish to u/s.

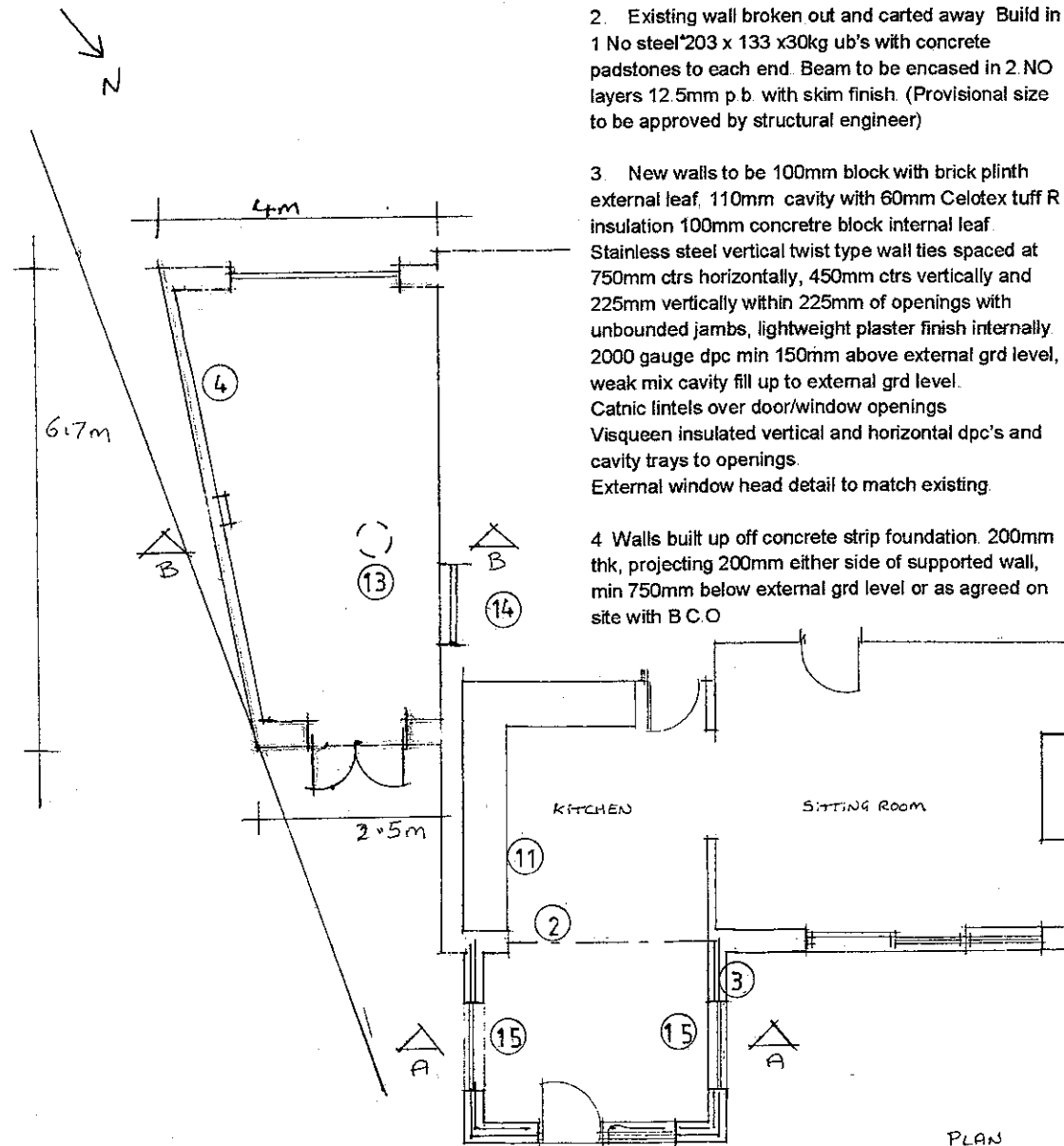
9. Store roof 50 x 170mm (50 x 150 mm to 3m spans and less) SC3 grade joists at 600mm ctrs fixed to wall plate on new walls and runner bolted on to existing wall. Kingspan or similar composite steel roof sheets (to clients spec). Proprietary flashings, fascias and drip details. Cavity tray at abutment with existing wall. Proprietary flashing to soil and vent pipe when passing through store roof.

Plumbing

10. New rainwater gutters and downpipes to match house to discharge into existing surface water system via new and existing Bi gullies.

11. New sink complete with deep seal anti-vac trap and 38mm dia waster to discharge as existing sink unit.

12. Drainage is provisional and to be approved on site with B.C.O. New drainage runs (if necessary) solid wall underground pipe-work connecting gullies, rest bends, manholes etc to existing system. Pipes when passing beneath building to be encased and bedded in concrete or granular material to approval of B.C.O. All drainage is provisional and to be agreed on site with B.C.O.



PLAN

Client
MR & MRS G JONES

Job Title
PROPOSED REPLACEMENT
PORCH AND NEW STORE
11 LINGFIELD AVE
CLITHEROE

Drawing Title
PROPOSED ELEVATIONS AND
PART PLAN

Scale
1:100

Date
JUN 12

Drawn
LKR