



**RIBBLE VALLEY  
BOROUGH COUNCIL**

For office use only

Application No: **320120887 P**

Date received

Fee paid £

Receipt No:

**Council Offices, Church Walk, Clitheroe, Lancashire. BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk**

**Application for conservation area consent for demolition in a conservation area.  
Planning (Listed Buildings and Conservation Areas) Act 1990**

**Publication of applications on planning authority websites.**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

**1. Applicant Name, Address and Contact Details**

Title:  First name:  Surname:

Company name:

Street address:

Town/City:   
County:   
Country:

Postcode:

Telephone number: 

Country Code	National Number	Extension Number
<input type="text"/>	<input type="text"/>	<input type="text"/>

Mobile number: 

<input type="text"/>	<input type="text"/>	<input type="text"/>
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Fax number: 

<input type="text"/>	<input type="text"/>	<input type="text"/>
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Email address:

Are you an agent acting on behalf of the applicant?  Yes  No

**2. Agent Name, Address and Contact Details**

Title:  First Name:  Surname:

Company name:

Street address:

Town/City:   
County:   
Country:   
Postcode:

Telephone number: 

Country Code	National Number	Extension Number
<input type="text"/>	<input type="text" value="01200 423487"/>	<input type="text"/>

Mobile number: 

<input type="text"/>	<input type="text"/>	<input type="text"/>
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Fax number: 

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Email address:

**3. Description of the Proposal**

Please describe the proposed works:

Has the work already started?  Yes  No

- 4 OCT 2012

FOR THE  
ATTENTION OF

#### 4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:	50	Suffix:	
House name:			
Street address:	King Street		
Town/City:	Clitheroe		
County:	Lancashire		
Postcode:	BB7 2EU		
Description of location or a grid reference (must be completed if postcode is not known):			
Easting:	374237		
Northing:	441991		

#### 5. Related Proposals

Are there any current applications, previous proposals or demolitions for the site?

Yes  No

If Yes, please describe and include the planning application reference number(s), if known:

3/2011/0542 (Refused): Replacement dormer window to front of building and installation of 3no. conservation rooflights to rear roof slope. Removal of existing chimney stack to rear outshut. Replacement sash windows to first floor, front elevation.

#### 6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

Yes  No

#### 7. Neighbour and Community Consultation

Have you consulted your neighbours or the local community about the proposal?

Yes  No

#### 8. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

Yes  No

#### 9. Explanation for Proposed Demolition Work

Why is it necessary to demolish all or part of the building(s) and/or structure(s)?

The redundant chimney / flue has become an ongoing maintenance concern due to continuing water ingress / damp, which is causing damage within the building.

#### 10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

Yes  No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

The agent  The applicant  Other person

#### 11. Certificates (Certificate A)

##### Certificate Of Ownership - Certificate A

##### Certificate under Regulation 6 of the Planning (Listed Buildings and Conservation Areas) Regulations 1990

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title:  First name:  Surname:   
Person role:  Declaration date:   Declaration made

**12. Declaration**

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I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that to the best of my/our knowledge any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



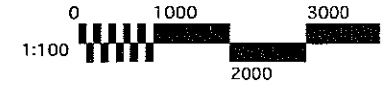
Date

04/10/2012

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This drawing is the property of IWA Architects. Copyright is reserved by them and the drawing is issued on condition that it is not copied either wholly or in part without the consent in writing of IWA Architects.

Dimensions should not be scaled. All dimensions to be checked on site by the contractor before commencement of the relevant part of the work



Rear Elevation as Existing  
Scale 1:100

Existing chimney stack removed to below roof level, with roof made good in natural slate to match existing.

Existing flue ventilated at head with new terracotta air brick ('buff' colour)



Rear Elevation as Proposed  
Scale 1:100

Rev.	Date	Description
-	dd/mm/yyyy	-

**50 King Street**  
Clitheroe

Chimney Proposal

Drwg No.: 1806.P.100 Rev.: -

Date: 08/2012 Scale: as shown@A4

**IWA Architects**

Waterloo Mill, Waterloo Road, Clitheroe, Lancashire BB7 1LR

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f: +44 (0) 1200 458278  
e: admin@iwarchitects.co.uk  
w: www.iwarchitects.co.uk

## Heritage Statement

For

50 King Street, Clitheroe

In support of a planning application to remove a chimney at the rear of the property

### 1.0 Planning policy context

- 1.1 NPPF Section 12 sets out the Government's planning policies on the conservation and enhancement of the historic environment.
- 1.2 NPPF Paragraph 128 outlines the requirement of the applicant to provide a description of the significance of the heritage assets affected and the contribution of their setting to that significance, to a level of detail that is proportionate to the importance of the heritage asset, providing sufficient information to understand the potential impact on the heritage asset.

### 2.0 Overview of property

- 2.1 50 King street is a late Victorian, garden fronted end terrace house at the Western end and on the North side of King Street.
- 2.2 50 King Street is within the Clitheroe Conservation Area, is not Listed, but has been designated a Building of Townscape Merit on the Townscape Appraisal Map.

### 3.0 Analysis of the character and appearance of the building

#### 3.1 Overview

50 King Street is the end property of a row of three terraced houses located adjacent to the Old Post House Hotel. The property is two storey to the King Street elevation and three storey to the rear, which also includes an 'outshut' to main terrace. The building is of solid brick construction with stone facing.

To the front elevation, the building is finished with coursed natural stone blocks, with ashlar quoins, window and door surrounds, frieze and corbels.

The roof is finished with natural 'blue' slate and in-keeping with a number of similar designed buildings on King Street, a pitched roofed, timber framed dormer window is located on the main roof facing King Street. There are existing stone built chimney stacks to front and rear roof slopes, as well as a small stone built stack to the rear 'outshut'.

The rear of the building is faced in the same stone as the front, though in a more 'rustic' coursed random stone and without the decorative ashlar stonework visible on the front of the building.

The building retains traditional sliding sash windows to the King Street elevation, although these incorporate 'planted on' lead lights. The dormer contains a single glazed timber casement window. To the rear of the property, there is a mixture of timber framed sliding sash and more modern design casement windows.

#### 3.2 History

50 King Street is located adjacent to the former Clitheroe Post Office constructed 1879, now the Old Post House Hotel. Opposite is the Police Station constructed in 1886. The property does not appear on the Ordnance Survey First Edition of C.1890, but is present on the map of 1914 and is therefore believed to have been built between these dates as part of the continued expansion / infill of Clitheroe towards the Railway Station [constructed 1871].

### 4.0 Justification / Impact on the special character of the area, for the proposed alterations

- 4.1 The proposal is to take down the existing redundant chimney stack to the rear

'outshut'. The already redundant stack has become a continuing maintenance problem, letting in water and causing damage to the building.

- 4.2 The current form of the chimney is of a stub remnant of the original stack, which was removed at an unknown time and not by the current owners, presumably due to ongoing maintenance issues.
- 4.3 The chimney is in a semi-demolished state and therefore it is in this condition that an assessment has to be made as to its significance and the contribution it makes to the conservation area, rather than what it may have looked like historically.
- 4.4 In this context, it is our opinion that in its current form the stub stack makes a negative, or at best a neutral contribution to the character of the conservation area.
- 4.5 During the pre application stage officers made reference to the relevant sections in the Conservation Area Appraisal (2005, p19) as follows,  
*"Chimneys are a significant element of the conservation area's lively roofscape which is also enhanced by the turrets and pinnacles of the town's many churches and chapels.*

Later on in the same paragraph, the text also makes reference to the typical, and therefore expected, construction of these chimneys:

*"Typically, chimneys are constructed in stone with clay pots".*

It is therefore right to assume that this text sets the benchmark for what is considered a 'typical' chimney which would make a positive contribution. It is a reasonable observation that in the particular case of 50 King St and its current condition, it is right to assume that this description does not apply.

- 4.6 In the same document, in the section relating to Character Area 2, King Street is specifically assessed for its contribution to the conservation area as a whole. Reference is made to both positive and negative features of this area, of which chimneys are not singled out as specific elements. More importantly though, what is noticeable from this list, is that it appears to refer to principal elevations of buildings and their contribution to the street scene, not secondary rear elevations as in this particular situation.
- 4.7 In the Townscape Appraisal Map a number of important views are indicated across the conservation area. The lane to the rear of King Street is not singled out for special consideration. In many respects, this secondary elevation is more dominated by buildings highlighted as making a negative contribution to the conservation area, e.g. the health centre.
- 4.8 On balance, it is our opinion that the intention of removing the current eyesore on the conservation area and reinstatement with slate pitched roof will make a positive contribution to the significance of the heritage asset in the context of the NPPF. It will achieve this without reintroducing a future maintenance issue, which it is assumed, was the reason that it was partially dismantled in the past.

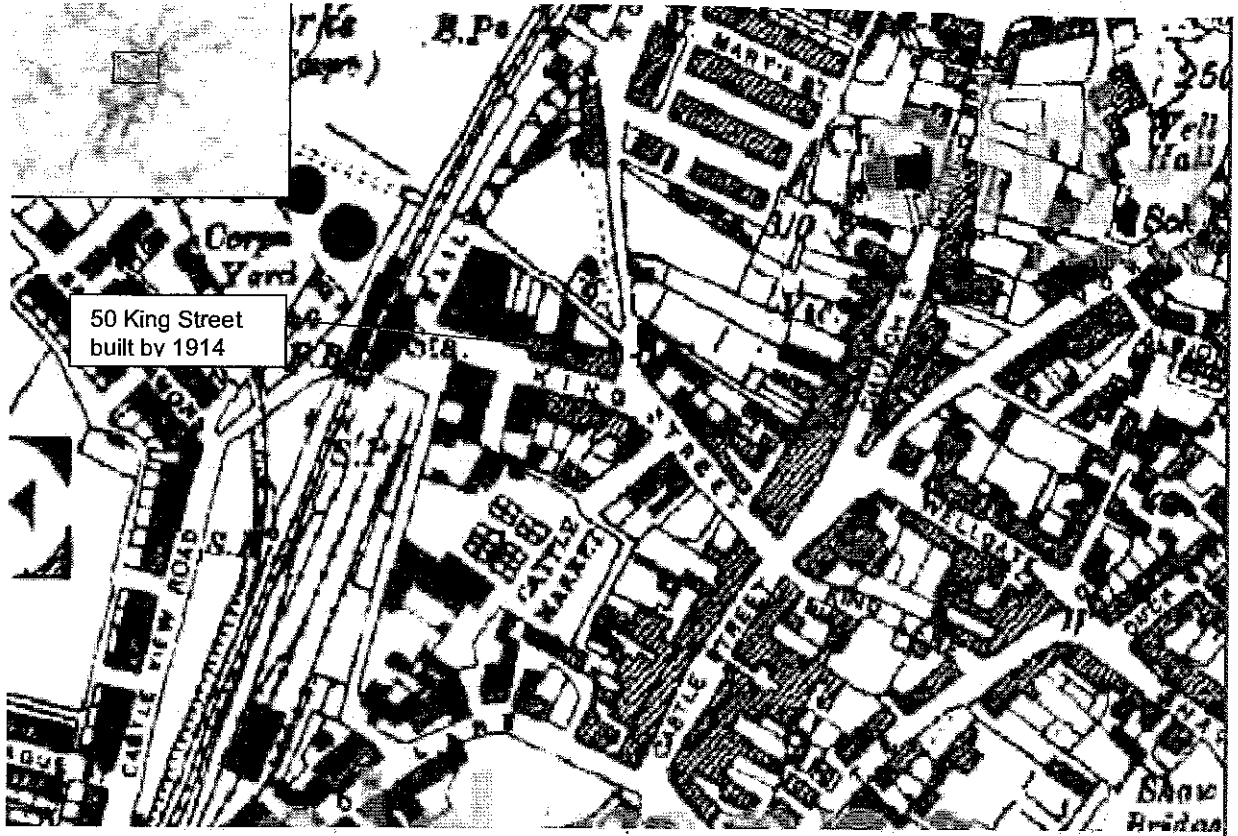
1806 50 King Street, Clitheroe

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**Appendix A**

**Historic Maps**





1914 map

1806 50 King Street, Clitheroe

## Appendix B

### Photos

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1806 50 King Street, Clitheroe



# earthworks environmental design

9 Poorsland Barn, Slaidburn, Clitheroe, Lancashire, BB7 3AE  
01200 446859 M: 07709 225783 [earthworksuk@yahoo.co.uk](mailto:earthworksuk@yahoo.co.uk)

## Mr Ivan Wilson

320120887P

IWA Architects  
Waterloo Mill  
Waterloo Road  
Clitheroe  
Lancashire  
BB7 1LR

5 July 2011

Ref: B990

Dear Ivan

Re: Protected Species Survey (Bats): 50 King Street, Clitheroe, Lancashire, BB7 2EU

### **Introduction**

You have requested a protected species survey at the above property on behalf of your clients Mr and Mrs Black, as a condition of a planning application to Ribbles Valley Borough Council for building alterations.

The local authority requires an appraisal of the impact of the development on all protected species in accordance with PPS9. Additionally mitigation procedures are required to protect bats and their roosts and to ensure there are *'no adverse effects on the favourable conservation status of a bat population'*.

A scoping survey and daylight inspection was undertaken on Thursday 30 June 2011 between 16.45 and 17.15. The weather at the time of the inspection was warm, dry and bright (max temperature: 20°C; cloud cover: light 20%; wind: light westerly) providing optimal conditions for a daylight scoping survey.

The inspection has found no evidence of bat activity and therefore it is highly unlikely that bats will be disturbed during the proposed development.

### **Survey methodology**

The protected species survey (bats) provides a daylight assessment of the property.

The aim of a bat inspection is to make an assessment of the potential value of the site for European Protected Species (EPS) and to establish whether bats have ever been active within any part of the property that will be affected by the building operations.

A desk study including record / data search was undertaken to identify significant records of bat activity within 0.5 km of the property.

The survey methodology follows the recommended monitoring guidelines published by the Bat Conservation Trust (*BCT – Bat Surveys, Good Practice Guidelines, 2007*), Natural England (*Survey Objectives, Methods and Standards as outlined in the Bat Mitigation Guidelines, 2004*) and Survey and Monitoring Methods, (*Bat Worker's Manual, JNCC, 2004*).

Non-intrusive survey methods were used to assess the use of the property by bats. The search was made using a high-powered lamp (Clu-lite 1,000,000 candle power), close-focussing binoculars (Leica Trinovid), a digital camera (Kodak MD41) and 900mm endoscope (ProVision 300) to view all likely areas of the building for the presence of bats, ie. droppings and urine and grease staining, feeding remains such as discarded moth and butterfly wings and other insects fragments typically found in a feeding and resting area.

The survey was carried out by David Fisher (Earthworks Environmental Design) - an experienced ecological consultant with more than 25 years experience of bat ecology and field survey work and a Natural England licence holder since 1990; current NE licence No: 20103384, (Conservation, Science and Education).

### Constraints

The inspection was carried out using 'non-intrusive' survey techniques to determine bat activity. (reference: *Bat Surveys, BCT, 2007, p23*).

Activity loggers and / or ultrasonic bat detectors were not employed during the daylight scoping survey.

Evening emergence and / or dawn re-entry surveys at the property have not been undertaken.

The survey methodology is designed to determine the likely presence of bats within the building and does not necessarily prove absence.

National Biodiversity Network (NBN Gateway) database records, whilst indicative of the bat species that likely to occur within a 10km square, do not confirm presence or absence of a species or habitat.

Absence of records does not imply that a particular bat species is not present within the recording area.

### Data search

A local data search was carried to identify records of bat activity within 1km of the site. The following bat species are known to be present throughout the Ribble Valley - NBN 10km square SD74 / ELBG records:

- Natterer's bat (*Myotis nattereri*)
- Whiskered bat / Brandt's bat (*M. mystacinus / M. brandtii*)
- Daubenton's bat (*M. daubentonii*)
- Common long-eared bat (*Plecotus auritus*)
- Common pipistrelle (*Pipistrellus pipistrellus*)
- Soprano pipistrelle (*P. pygmaeus*)
- Noctule bat (*Nyctalus noctula*)

The following websites and datasets were consulted during the preparation of this report:

1. National Biodiversity Network (NBN) database, (terrestrial mammals - chiroptera)
2. Bat Conservation Trust (BCT)
3. North Lancashire Bat Group
4. East Lancashire Bat Group
5. Lancashire Biodiversity Partnership
6. Biological Heritage Sites Partnership (LCC, NE and LWT)
7. EED dataset (Lancashire bat records 2000 - 2011)
8. Magicmap interactive map
9. Natureonthemap (Natural England)
10. Multimap
11. Google Maps
12. MARIO - Maps and related information online (Lancashire County Council).

There are no records of roosting bats at this property or at neighbouring properties within 0.5km of the site.

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The property (figures 1 to 3) is a two storey end-of-terrace house with stone and brick cavity wall construction and pitched slate roof. The roof void has been converted to an attic bedroom and there is a narrow roof void within the eaves to the front and rear. The roof has a traditional rafter with purlin construction and the slates are unlined and back pointed with mortar as shown in figure 3. The eaves voids have at some time been insulated with a 50 – 100mm glass fibre material over the ceiling joists. There is a single dormer-type window on the roof above the front elevation (figure 1).

### Existing property (images)

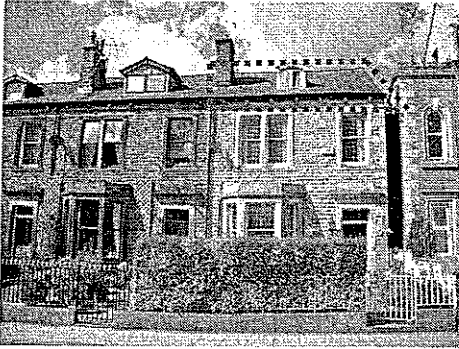


Figure 1: Front elevation



Figure 2: Rear elevation



Figure 3: Roof void (eaves at front)

### Location of the property

NGR: SD 743420. Elevation: 80m.

The property is located close to the centre of the town and is close to several other properties of similar age, design and construction. The house has an urban location and is not adjacent to woodland, meadow, standing open water or water channel. The nearest significant water course is the Mearley Brook more than 0.5km east of the site; the nearest riparian woodland is close to the River Ribble at Brungerley Bridge (1km NW).

There are no designated nature conservation sites adjacent to the property – ie. Sites of Special Scientific Interest (SSSI), Biological Heritage Sites (BHS), National Nature Reserves (NNR's), Local Nature Reserves (LNR's) or Regionally Important Geological and Geo-morphological Sites (RIGS).

### Survey results

There is no evidence of bat activity at this property.

All external features of the building including both internal roof voids were inspected for evidence of roosting activity; there are no signs of bat droppings, discarded feeding remains or other indicative signs normally associated with bat roosting activity. It is very unlikely that bats have ever been present within the property.

### Evaluation of results

- The scale of impact of the proposed development at site level on local bat populations is negligible.
- All external features of the building are very well-sealed and secure therefore the potential of this property to support roosting, resting or perching bats is considered negligible / very low.
- The potential of the existing building to support a maternity roost, hibernation roost or transitory / mating roost is very low.
- The conservation significance of building is currently very low / negligible.
- The surrounding land / habitats provide sub-optimal feeding, foraging and commuting habitat for bats; the site is not adjacent to high-value feeding and foraging habitat and there are no extensive areas of broadleaved woodland, plantation, riparian habitat, open water or river channel adjacent to the site.

## Summary and recommendations

The proposed building alterations are **unlikely to cause disturbance to bats** or result in the loss of a bat roost or cause injury or death of a European Protected Species – (Bats) or result in any significant impact on a local bat population.

In the unlikely event of bats being exposed or vulnerable to harm during the proposed works you should follow the mitigation procedures outlined below and seek further advice.

The scale of impact of the development at site level on local bat populations is likely to be negligible or low.

Further survey effort at this site is not recommended.

### MITIGATION NOTES:

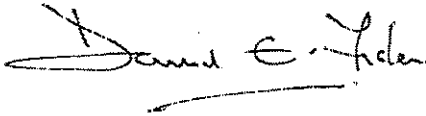
Mitigation refers to the practices adopted to reduce or remove the risk of disturbance, injury or death of a protected species or damage to a roost. The Bat Mitigation Guidelines define mitigation as “...measures to protect the bat population from damaging activities and reduce or remove the impact of development”.

ACTION:	METHOD:
1. Timing constraints	None.
2. Removal of roofing materials	<p>There is only a <b>very low risk</b> of accidentally exposing roosting bats at this property; however, you should be aware that isolated bats are 'occasionally' found roosting beneath roofing materials at any time of year, although most commonly between May and November particularly in dwellings of this age, design and construction.</p> <p>All parts of the building are low risk.</p>
3. Accidental exposure of bats	<p>In the unlikely event of bats being exposed or vulnerable to harm, all work in that area must stop immediately. Cover the exposed bats to reduce further risk of harm and seek further advice by calling the Bat Conservation Trust (BCT) helpline on 0845 1300 228.</p> <p>Stop work immediately if bats are exposed or likely to be disturbed.</p> <p>All contractors should be aware of their responsibilities to protected species. If accumulations of droppings are found during the removal of the roofing materials, stop work and seek advice before continuing work in this area.</p>
4. Avoid handling bats	Contractors should avoid handling bats but where there is no alternative, use gloves or a small container to move them to a dark and quiet area, preferably without causing them to fly in daylight.
5. Legal protection	Site contractors and project managers should be fully aware of the legal protection afforded all species of bat in the UK and procedures should be in place to mitigate for the potential impact on bats - see notes on 'Bats and the Law' in this report.
6. Further advice	If you require further advice on bats during the proposed building operations or if you find an injured or resting bat, call BCT immediately; they will normally contact a qualified bat worker in the local area who will visit the site and provide further advice free of charge.
7. Post-development monitoring	None, no further survey effort is required.

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Please note: I do not provide a copy of this report to the local planning authority, therefore it is your responsibility to forward the report to Ribble Valley Borough Council.

Yours sincerely



David Fisher

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### Wildlife legislation – Bats and the law

All bat species in the UK receive full protection under the Wildlife and Countryside Act 1981 (amended by the Environment Protection Act 1990). The Countryside and Rights of Way Act 2000 amends the Wildlife and Countryside Act to also make it an offence to intentionally or recklessly damage, destroy or obstruct a place that bats use for shelter or protection. All species of bats are listed on Schedule 5 of the 1981 Act, which makes it an offence to:

- *intentionally kill, injure or take any wild bat.*
- *intentionally or recklessly damage, destroy or obstruct access to any place that a wild bat uses for shelter or protection. This is taken to mean all bat roosts whether bats are present or not.*
- *intentionally or recklessly disturb any wild bat while it is occupying a structure or place which it uses for shelter or protection.*

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### Protected species (Bats) and the planning process<sup>1</sup>

For development proposals requiring planning permission, the presence of bats, and therefore the need for a bat survey, is an important 'material planning consideration'. Adequate surveys are therefore required to establish the presence or absence of bats, to enable a prediction of the likely impact of the proposed development on them and their breeding sites or resting places and, if necessary, to design mitigation and compensation. Similarly, adequate survey information must accompany an application for a Habitats Regulations licence (also known as a Mitigation Licence) required to ensure that a proposed development is able to proceed lawfully.

The term 'development' [used in these guidelines] includes all activities requiring consent under relevant planning legislation and / or demolition operations requiring building control approval under the Building Act 1984.

Natural England (Formerly English Nature) states that development in relation to bats "covers a wide range of operations that have the potential to impact negatively on bats and bat populations. Typical examples would be the construction, modification, restoration or conversion of buildings and structures, as well as infrastructure, landfill or mineral extraction projects and demolition operations".

(Mitchell-Jones, 2004)

<sup>1</sup> 2.2.3 - Planning for development, p10, Bat Surveys, Good Practice Guidelines. BCT (2007).