



RIBBLE VALLEY
BOROUGH COUNCIL

For office use only

Application No. 20120947P

Date received

Fee paid £

Receipt No:

Council Offices, Church Walk, Clitheroe, Lancashire. BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

Householder Application for Planning Permission for works or extension to a dwelling.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website
If you require any further clarification, please contact the Authority's planning department

1. Applicant Name, Address and Contact Details

Title:	Mrs	First name:	JILL	Surname:	WRIGHT
Company name:					
Street address:	23 Pendle Street West		Country Code	National Number	Extension Number
			Telephone number:		
	Sabden		Mobile number:		
Town/City	Clitheroe		Fax number:		
County:	Lancashire		Email address:		
Country:					
Postcode:	BB7 9EG				

Are you an agent acting on behalf of the applicant? ☒ Yes ☐ No

2. Agent Name, Address and Contact Details

Title:	Mr	First Name:	PETER	Surname:	LORD
Company name:	Calder Design Associates				
Street address:	2 Top row		Country Code	National Number	Extension Number
	Sabden		Telephone number:	01282-771907	
			Mobile number:	07758802436	
Town/City	Clitheroe		Fax number:		
County:	Lancashire		Email address:		
Country:	United Kingdom				
Postcode:	BB7 9HL		mail@calder-design.com		

3. Description of Proposed Works

Please describe the proposed works:

2 STOREY EXTENSION TO REAR

Has the work already been started
without planning permission?

☐ Yes ☒ No

4. Site Address Details

Full postal address of the site (including full postcode where available)

Description:

House:	23	Suffix:	
House name:			
Street address:	Pendle Street West		
	Sadbden		
Town/City:	Clitheroe		
County:	LANCASHIRE		
Postcode:	BB7 9EG		
Description of location or a grid reference (must be completed if postcode is not known):			
Easting:	377626		
Northing:	437211		

5. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

☐ Yes ☒ No

6. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

7. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?

☐ Yes ☒ No

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☐ Yes ☒ No

8. Parking

Will the proposed works affect existing car parking arrangements?

☐ Yes ☒ No

9. Authority Employee/Member

With respect to the Authority, I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

10. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☒ The agent ☐ The applicant ☐ Other person

11. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of *existing* materials and finishes:

RENDERED RANDOM STONE

Description of *proposed* materials and finishes:

BRADSTONE POINTS BUFF COLOUR

Roof - description:

Description of *existing* materials and finishes:

WESH SLATE

Description of *proposed* materials and finishes:

CONCRETE SLATES

COLOUR DARK BROWN TO MATCH THOSE ON ADJACENT PROPERTIES

11. (Materials continued)

Windows - description:

Description of *existing* materials and finishes:

BROWN UPVC

Description of *proposed* materials and finishes:

BROWN UPVC

Doors - description:

Description of *existing* materials and finishes:

TIMBER DOOR PAINTED GREEN

Description of *proposed* materials and finishes:

BROWN UPVC WITH GLAZING

Boundary treatments - description:

Description of *existing* materials and finishes:

RANDOM STONE

Description of *proposed* materials and finishes:

REBUILD EXISTING WALLS

Vehicle access and hard standing - description:

Description of *existing* materials and finishes:

GRAVEL AND GRASS

Description of *proposed* materials and finishes:

GRAVEL AND GRASS

Lighting - add description

Description of *existing* materials and finishes:

NONE

Description of *proposed* materials and finishes:

NONE

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

PLANS, ELEVATIONS & STATEMENT

12. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: First name: Surname:

Person role: Declaration date: ☒ Declaration made

12. Certificates (Agricultural Land Declaration)

Agricultural Land Declaration

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding. ☒

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below: ☐

If any part of the land is an agricultural holding, of which the applicant is the sole tenant, the applicant should complete part (B) of the form by writing 'sole tenant - not applicable' in the first column of the table below

Title: First Name: Surname:

Person role: Declaration date: ☒ Declaration Made

13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them

☒ Date

Client JILL WRIGHT
Site 23 Pendle St. West
Sabden
BB77 9EG

Calder Design Associates

2 TOP ROW, SABDEN, CLITHEROE, LANCs BB79HL
Tel 01282 771907, E mail@calder-design.com

TITLE

1 : 500 SIT PLAN



320120947P

377600



437200

Allotment Gardens

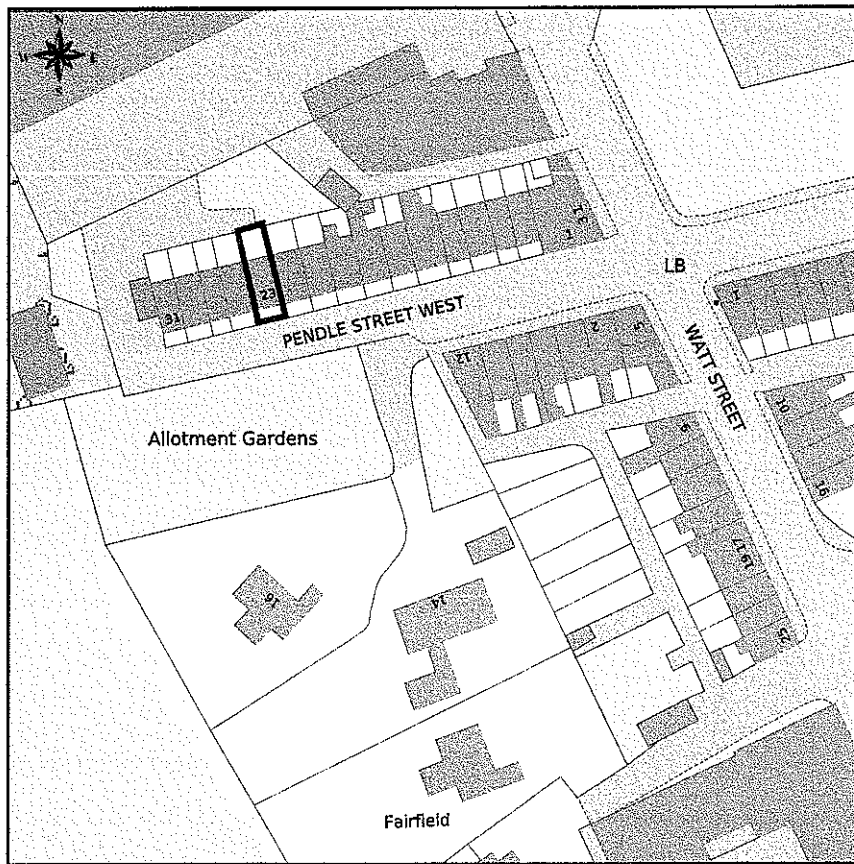
377600



5 0 5 10
Scale of Metres

Drawn	P.Lord	DWG No	Rev
Date	01.01.08	86/1/1	
Scale	1:500@A4		

320120947P



This Plan includes the following Licensed Data: OS
MasterMap Colour PDF Site Location Plan - Mini by the
Ordnance Survey National Geographic Database and
incorporating surveyed revision available at the date of
production. Reproduction in whole or in part is prohibited
without the prior permission of Ordnance Survey. The
representation of a road, track or path is no evidence of a right
of way. The representation of features as lines is no evidence
of a property boundary. © Crown copyright All rights reserved
2012 Licence number 0100031673

0m 10m 20m 30m 40m 50m 60m

Scale: 1:1250, paper size: A4

3201209 + 1 P

DESIGN STATEMENT
For
The Building Extension
to the rear of
23 Pendle St West
Sabden, Clitheroe,
Lancs.BB7 9EA

Prepared By
Calder Design Associates
2 Top Row
Sabden
Clitheroe
Lancashire

1. Existing arrangements

The dwelling forms part of a terrace and is included in the Sabden conservation area. The original internal space had a simple 2 bedroom arrangement on the first floor with 2 reception rooms and a small kitchen on the ground floor. The rear bedroom has been divided to provide a bathroom with internal W.C. to replace the original outside Privy.

An unsurfaced access road runs at the front of the property between the dwelling and a large allotment garden.

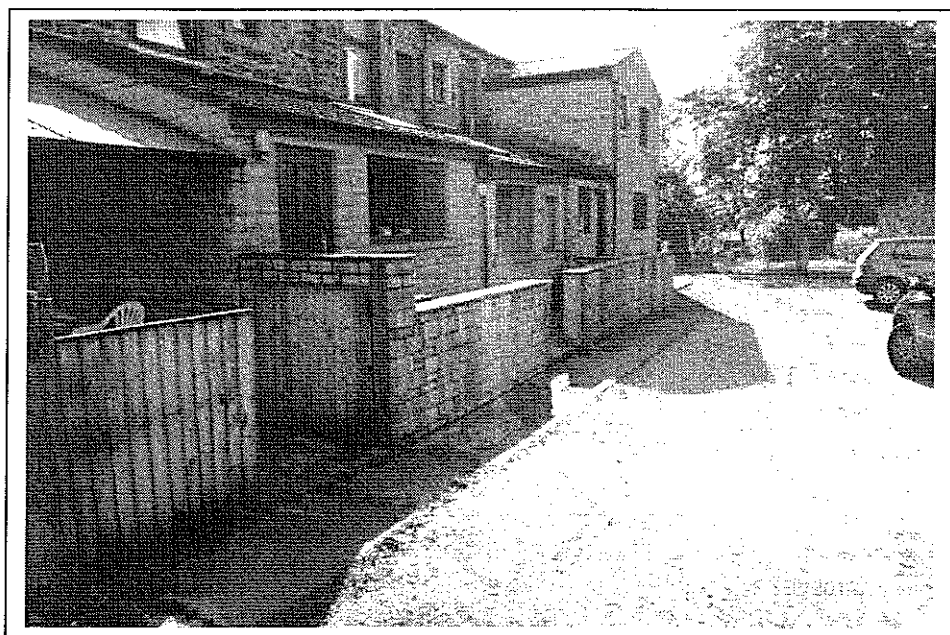
An unsurfaced access road runs at the rear of the property between the dwelling and the former Mill wall the mill is now under demolition to make way for a new housing development

The existing arrangements are too small for modern family use and the neighbouring properties have had a single story rear extension whilst No 31 has had the benefit of a 2 story extension

1.1 Materials

The original terrace is of random rubble stone whilst the extensions are generally of Bradstone walling

The original terrace Roof covering is predominately Blue-grey slate whilst the extensions of adjacent properties are roofed in brown concrete tiles



Existing Elevations to Rear of Pendle St. west

2. Proposals

The proposals aims to provide better facilities in the existing building in order to be more suitable for family use whilst maintaining the character of the area, which is a conservation Area in a A.O.N.B.

The proposal is to provide better Kitchen facilities by extending the ground floor over the rear yard area, replicating the provisions at N21 & 27 etc.

Forming a first floor over the ground floor extension to create additional & bathroom facilities without creating an overbearing presence and loss of light. The 45 deg rule from adjacent windows has determined the size of the extension.

3. Choice of Materials

3.1 WALLS

The Materials specified are a consideration of the materials used in similar situations in the immediate locality and the desire to have minimum maintenance for the occupier. The predominant materials being Bradstone this is the proposed building material in consideration of similar adjacent structures.

This will minimise any maintenance requirements for the exterior of the building.

3.2 WINDOWS, DOORS & TRIM

Weather boarding, Fascia, windows & other joinery trim will be from brown PVC to give a maintenance free material that blends with other similar features on nearby buildings. Rainwater goods will be from Black PVC.

3.3 ROOFING

The Materials specified are concrete tiles in consideration of the prominent materials used on the adjacent properties and to blend with the existing roofing materials in both size & colour.

4. Size, Scale & Massing

The Size, Scale & Massing of the proposed development have been influenced by the extensions on the adjacent properties and other similar extension to the rear of this part of Pendle St West and the desire to upgrade the property for modern family living.

The proposal leaves adequate yard space to separate the rear of the building from the access road and the large allotment garden to the south of the front access road is unaffected by the proposal and is to be retained.

5. Access

5.1 FRONT ELEVATION

The existing access to the front elevation will be retained unchanged.

5.2 REAR ACCESS

The proposed rear access will use the existing service road and the proposed doorways will facilitate easy disabled access for wheelchair use.

6. Heritage Statement

320120947P

6.1 INTRODUCTION

The village of Sabden has been built up through the development of a number of mills and their associated mill workers dwellings during the 1850's and has continued to this day. The village being incorporated as a township in 1904. Heritage Statement

6.2 INTRODUCTION

The village of Sabden has been built up through the development of a number of mills and their associated mill workers dwellings during the 1850's and has continued to this day. The village being incorporated as a township in 1904.

6.3 ANALYSIS OF HISTORICAL INFORMATION

The existing property is believed to have been built in the 1890's and is typical of the terraced house designs of the period with dressed stone front and random stone rear elevations, sash windows and Welsh slate roofing

6.4 TOWNSCAPE

In the PPS5 Conservation Appraisal documents, the property was not identified as being of special merit. The main concern being to maintain the view of the townscape, which in this case is on the front.

6.5 APPRAISING THE HERITAGE CONTEXT OF THE PROPOSAL

p. The proposed building extension works are to the rear of the property and will therefore not have any detrimental impact on the street scene. This proposal aims to maintain the original features of the house design whilst complying with current building regulations and modern living expectations.

earthworks environmental design

9 Poorsland Barn, Slaidburn, Clitheroe. Lancashire. BB7 3AE

01200 446859 M: 07709 225783 earthworksuk@yahoo.co.uk

Jill Wright

17 Crow Trees Road
Sabden
Clitheroe
BB7 9HE

11 October 2012

Job ref: B 1220

Dear Jill

Re: Daylight scoping survey (bats): 23 Pendle Street West, Sabden, Lancashire, BB7 9EG.

Introduction

You have requested a protected species survey as a condition of a planning application to Ribble Valley Borough Council (RVBC) for proposed building alterations requiring modifications to roof and roof void at the property shown in figures 1 to 6 of this report.

The Local Planning Authority must take account of the impact of a development on protected species in accordance with PPS9. RVBC requires an appraisal of the likely impact of the proposed development on all bat species that are present or likely to be present at the property, in addition to any mitigation, compensation or enhancement proposals that may be required.

A daylight scoping survey was undertaken on Wednesday 10 October 2012 between 10 00 and 10.30.

The weather at the time of the inspection was cool, dry and bright (max. temperature: 10 4°C; cloud cover: 80%; wind: light easterly; rain: nil).

There is no evidence of bat activity within any part of the property; the building has low roosting potential; it is therefore very unlikely that protected species will be disturbed during the course of the development.

Survey methodology

The survey includes internal and external inspections of the building.

The survey methodology follows the recommended guidelines published by the Bat Conservation Trust - *Bat Surveys: Good Practice Guidelines, 2nd Edition, Hundt, L (2012)*, Natural England (*Survey Objectives, Methods and Standards as outlined in the Bat Mitigation Guidelines, 2004*) and Chapter 3 - Survey and Monitoring Methods, (*Bat Worker's Manual, JNCC, Mitchell-Jones AJ and McLeish, AP, 3rd Edition 2004*).

The aim of the scoping exercise is to consider the potential value of the site for European Protected Species (EPS) and to establish whether bats and other protected species have been active within any part of the property that will be affected by the proposed development.

The daylight scoping survey includes a local record search of publicly available data for protected species, in addition to information on locally significant landscape features and designated conservation sites.

Non-invasive survey methods were used to assess the use of the property by bats.

The search was made using a high-powered lamp (Clu-lite CB2 - 1,000,000 candle power), close-focussing binoculars (Leica Trinovid), a digital camera (Kodak MD41) and 900mm endoscope (ProVision 300) to view all likely areas of the building for the presence of bats, ie. droppings and urine spots, bat corpses, roost staining or evidence of feeding remains such as discarded moth and butterfly wings and other insects fragments typically found in a perching and feeding area.

Personnel

The survey was carried out by David Fisher (EED) - an experienced ecological consultant with more than 25 years experience of bat ecology and field survey work and a Natural England licence holder since 1989

Natural England licence No: 20122876 (August 2012), Conservation, Science and Education.

Constraints

Small crevice-roosting bats such as pipistrelle species, some myotis bats and occasionally brown long-eared bats are able to remain unseen within very confined spaces such as cavity walls, block work walls, beneath roofing materials, wall claddings, lead work flashings, fascia boards and soffits despite careful inspection.

Evidence of bat roosting activity such as bat droppings on external walls and surfaces is frequently removed by the action of wind and rain; lack of such evidence is therefore evaluated with caution.

The survey methodology is designed to determine the likely presence of bats within the building and does not necessarily prove absence

National Biodiversity Network (NBN Gateway) database records, whilst indicative of the bat species that are likely to occur within a 10km square, do not confirm presence or absence of a species or habitat.

Absence of records does not imply that a particular bat species is not present within the recording area.

Evening emergence / dawn re-entry surveys have not been carried out at this property.

Desktop study (10km squares: SD 63 and SD 73)

A local data search was carried to identify any relevant records of bat activity within 1km of the site. The following bat species are known to be present within the wider district:

Myotis

Natterer's bat	(<i>Myotis nattereri</i>)
Whiskered bat / Brandt's bat	(<i>M. mystacinus</i> / <i>M. brandtii</i>)
Whiskered bat	(<i>M. mystacinus</i>)
Daubenton's bat	(<i>M. daubentonii</i>)

Plecotus

Brown long-eared bat	(<i>Plecotus auritus</i>)
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Pipistrellus sp.

Common pipistrelle	(<i>Pipistrellus pipistrellus</i>)
Soprano pipistrelle	(<i>P. pygmaeus</i>)

Nyctalus

Noctule bat	(<i>Nyctalus noctula</i>)
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National Biodiversity Network (NBN) datasets, (terrestrial mammals) shown in blue. Additional EED / ELBG records shown in black

Pre-existing information (site location - NGR: SD 777 373)

No information is available for this property.

Previous protected species surveys are not recorded at this site.

Description of the property

The property is a two storey mid-terrace house with stone and brick wall construction (circa 1900); it is unlikely that a cavity wall is present in a house of this age. The building has a duo-pitched slate-with-batten roof; the slates are back-pointed with mortar and the roof is unlined (figures 4 to 6). The first floor ceilings have been removed and there is currently no enclosed roof void; all roof are clearly visible for inspection.

Externally the building is relatively well-sealed and secure, the front and rear elevations have well-pointed stonework and all roof verges, verge tiles, ridge tiles and lead work flashings are secure (figures 1 to 3).

There is a timber gutter to front and rear. Window units are double-glazed and the frames are well-fitted.

Location of the property (NGR: SD 643 359: elevation: approximately 150 metres).

The property is located on Pendle Street West close to the urbanised western side of Sabden village; the house is a mid-terrace property located within a well-established residential area close to other properties of similar age, design and construction. There are gardens to the front and rear with access to the open countryside to the south and south-west.

There are no areas of open water or river channel adjacent to the property, although there are a number of mill ponds located within 500m of the site; the most significant local water course is the Sabden Brook located about 300m from the property.

There are no extensive areas of woodland or plantation adjacent to the site.

There are no designated nature conservation sites adjacent to the property – ie. Sites of Special Scientific Interest (SSSI), Biological Heritage Sites (BHS), National Nature Reserves (NNR's), Local Nature Reserves (LNR's) or Regionally Important Geological and Geo-morphological Sites (RIGS).

Images: 23 Pendle Street West, Sabden. (10 October 2012)



Figure 1: Front



Figure 2: Rear



Figure 3:

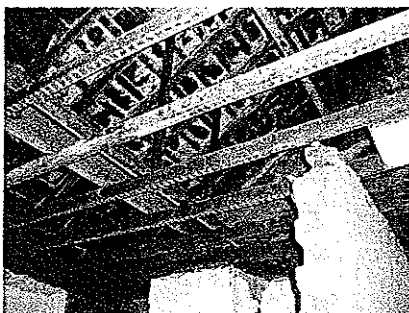


Figure 4:



Figure 5:

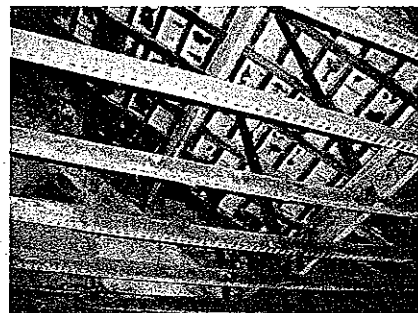


Figure 6:

Survey results

All parts of the property (including the former roof void and first floor areas) were carefully searched for evidence of bat droppings and other indicative signs of roosting by bats; none was found.

The conservation potential of the property is minimal; the site provides sub-optimal feeding, foraging and commuting habitat for bats.

Evaluation of results (interpretation)

There is no evidence of bat activity at the property; the potential for supporting roosting bats is low.

It is very unlikely that breeding or hibernating bats have ever been present within the building.

There is currently a low / minimal risk of disturbing roosting bats during the proposed works.

The scale of impact of the development on local bat populations is likely to be negligible / low¹.

The conservation significance of the property is currently low².

There are no existing records of bat activity at this property or at neighbouring properties within 250m.

Further survey work (emergence and activity surveys) is not recommended.³

¹ The scale of main impacts at site level on bat populations – Table 6.1. p37 - (BMG, 2004)

² Guidelines for proportionate Mitigation, (Bat Mitigation Guidelines, 2004).

³ Flow chart depicting the process for deciding what level of survey is necessary, (BCT, Bat Surveys, 2007, p24)

Recommendations

It is recommended the proposed works proceed with reasonable caution and vigilance for the 'unexpected' presence of solitary roosting bats. (refer to the mitigation – general guidance notes, Appendix A).

Further survey work at the site (ie evening emergence or dawn re-entry and swarming surveys) is not recommended.

An EPS development licence is not required at this property.

Conclusion

The proposed building alterations are **unlikely to cause disturbance to bats** or result in the loss of a bat roost or cause injury or death of a European Protected Species – (Bats) or result in any significant impact on a local bat population.

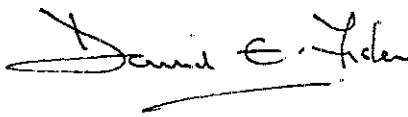
The scale of impact of the development at site level on local bat populations is likely to be negligible or low.

Mitigation guidance notes are included (Appendix A); in the unlikely situation that any bats are disturbed, contact the surveyor (David Fisher - EED) or call the Bat Conservation Trust for emergency advice.

The onus lies with the applicant to satisfy herself / himself that no offence will be committed if the development goes ahead, regardless of whether planning permission has been granted.

Please note: I do not provide a copy of this report to the local planning authority, therefore it is your responsibility to forward the report to Ribble Valley Borough Council with the planning application.

Yours sincerely



David Fisher

APPENDIX A

Mitigation considerations (general guidance)

Mitigation refers to the practices adopted to reduce or remove the risk of disturbance, injury or death of a protected species or damage to a roost. The Bat Mitigation Guidelines (Natural England, 2004) define mitigation as "*...measures to protect the bat population from damaging activities and reduce or remove the impact of development*".

ACTION	METHOD / NOTES
1. Further survey effort	No required
2. Timing constraints	Not required
3. EPS Licence requirement	Not required
4. Method statement	Not required
5. Removal of roofing materials	Although it is very unlikely that roosting bats will be exposed during the proposed works, all site contractors and project managers should be aware that solitary roosting bats are occasionally found beneath roof slates, ridge tiles, roofing felts and lead work flashings.
6. Accidental exposure of bats	<p>In the unlikely event of bats being exposed or vulnerable to harm, all work in that area must stop immediately. Cover the exposed bats to reduce further risk of harm and seek further advice by calling the Bat Conservation Trust (BCT) helpline on 0845 1300 228.</p> <p>Stop work immediately if bats are exposed or likely to be disturbed.</p>
7. Legal protection	Site contractors and project managers should be fully aware of the legal protection afforded all species of bat in the UK and procedures should be in place to mitigate for the potential impact on bats - see notes on 'Bats and the Law' in this report.
8. Further advice	<p>If you require further advice on bats during the proposed building operations or if you find an injured or resting bat, call BCT immediately; they will normally contact a qualified bat worker in the local area who will visit the site and provide further advice free of charge.</p> <p>If you are unable to contact BCT; please call David Fisher (EED) on 01200 446859 (office) or 07709 225783 (mobile) for immediate advice.</p>
9. Post-development monitoring	Not required

APPENDIX A

Wildlife legislation – Bats and the law

All bat species in the UK receive full protection under the Wildlife and Countryside Act 1981 (amended by the Environment Protection Act 1990). The Countryside and Rights of Way Act 2000 amends the Wildlife and Countryside Act to also make it an offence to intentionally or recklessly damage, destroy or obstruct a place that bats use for shelter or protection. All species of bats are listed on Schedule 5 of the 1981 Act, which makes it an offence to:

- *intentionally kill, injure or take any wild bat.*
- *intentionally or recklessly damage, destroy or obstruct access to any place that a wild bat uses for shelter or protection. This is taken to mean all bat roosts whether bats are present or not.*
- *intentionally or recklessly disturb any wild bat while it is occupying a structure or place which it uses for shelter or protection*

The protected status afforded to bats means planning authorities may require extra information (in the form of surveys, impact assessments and mitigation proposals) before determining planning applications for sites used by bats. Planning authorities may refuse planning permission solely on grounds of the predicted impact on protected species such as bats. Recent case law has underlined the importance of obtaining survey information prior to the determination of planning consent¹.

*"It is essential that the presence or otherwise of protected species, and the extent that they may be affected by a development proposal, is established before the planning permission is granted, otherwise all relevant material considerations may not have been addressed in making the decision."*²

All British bat species are included in Schedule 2 of the Conservation (Natural Habitats, &c.) (Amendment) Regulations 2007, (also known as Habitats Regulations) which defines 'European Protected Species' (EPS).

¹ Bat Mitigation Guidelines, AJ Mitchell Jones, Joint Nature Conservation Committee, (2004) ISBN 1 86107 558 8

² Planning Policy Statement (PPS9) (2005), Biodiversity and Geological Conservation ODPM

Protected species (Bats) and the planning process¹

For development proposals requiring planning permission, the presence of bats, and therefore the need for a bat survey, is an important 'material planning consideration'. Adequate surveys are therefore required to establish the presence or absence of bats, to enable a prediction of the likely impact of the proposed development on them and their breeding sites or resting places and, if necessary, to design mitigation and compensation. Similarly, adequate survey information must accompany an application for a Habitats Regulations licence (also known as a Mitigation Licence) required to ensure that a proposed development is able to proceed lawfully.

The term 'development' [used in these guidelines] includes all activities requiring consent under relevant planning legislation and / or demolition operations requiring building control approval under the Building Act 1984.

Natural England (Formerly English Nature) states that development in relation to bats "covers a wide range of operations that have the potential to impact negatively on bats and bat populations. Typical examples would be the construction, modification, restoration or conversion of buildings and structures, as well as infrastructure, landfill or mineral extraction projects and demolition operations".*

*(Tony Mitchell-Jones, 2004)

¹ 2.2.3 - Planning for development, p10, Bat Surveys, Good Practice Guidelines, BCT (2007)

Other references:

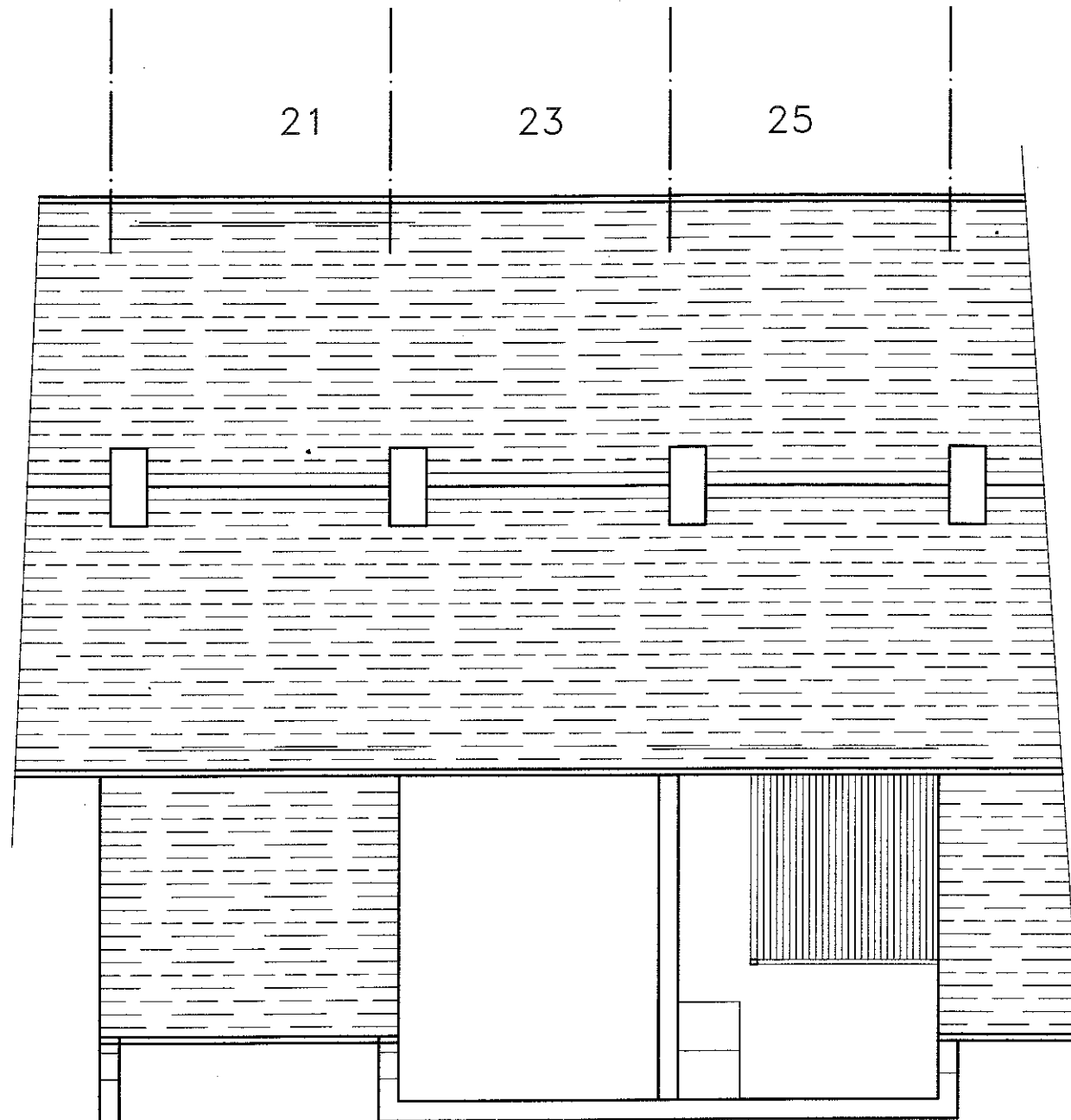
Bats, development and planning in England, (Specialist support series) - Bat Conservation Trust, 5th Floor, Quadrant house, 250 Kennington Lane, London, SE11 5RD, 0845 1300 228

Clarification of the legal duty of Local planning Authorities' to European Protected species: High Court Judgment June 2009: (Wooley v Cheshire east Borough Council) - Bat Conservation Trust

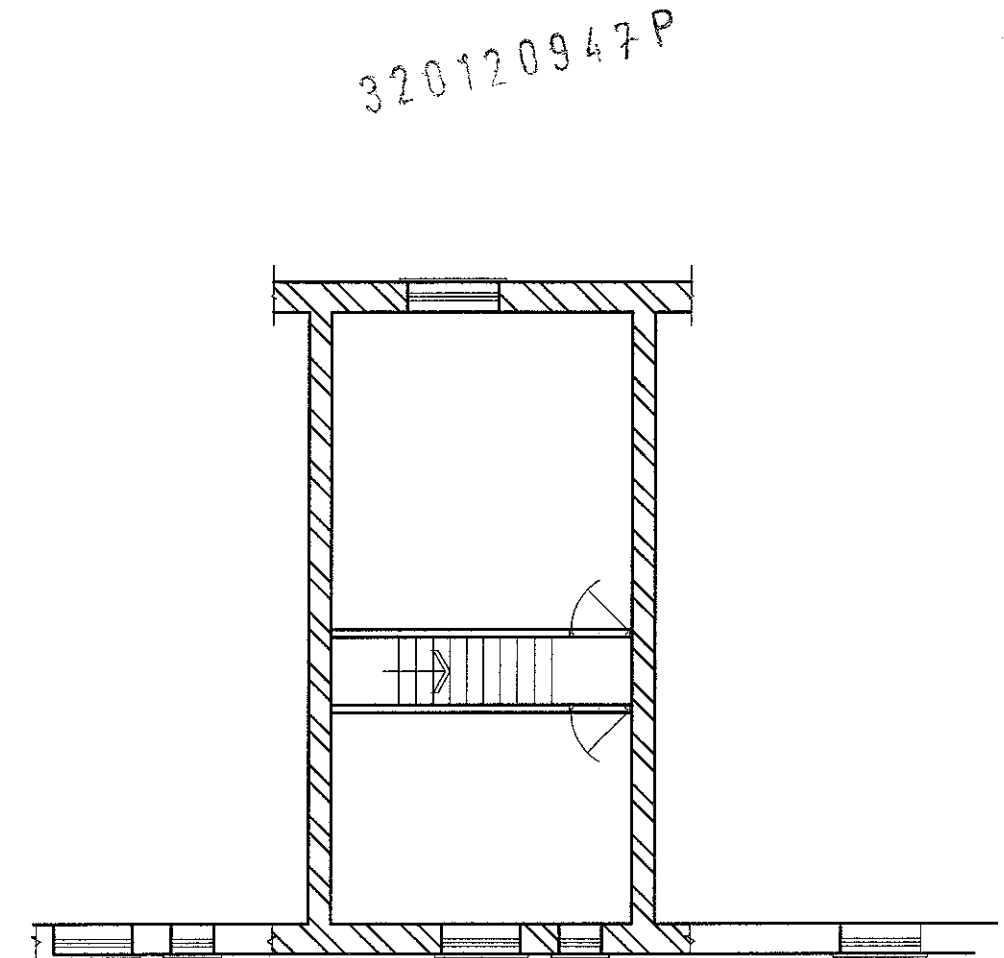
Defra Circular 01/2005 (to accompany PPS 9) - Department for Environment, Food and Rural Affairs www.defra.gov.uk

Natural England, Cheshire to Lancashire Team, Electra Way, Crewe, Cheshire, CW1 6GJ Tel: 01270 754227

All dimensions are nominal to indicate design intent
& should be checked on site before any work commences



Existing Roof Plan



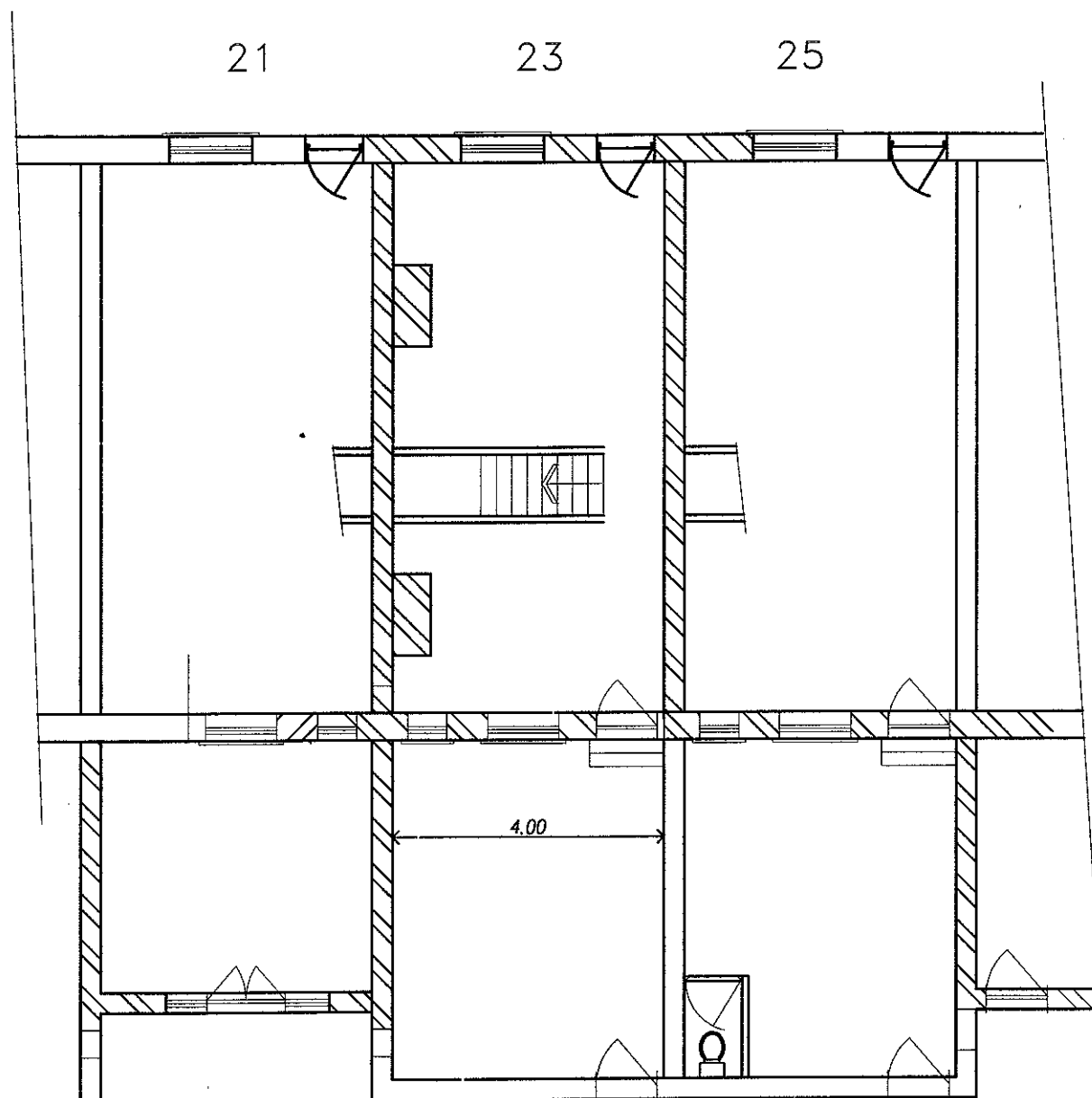
Existing First Floor Plan

0 1 2 3 4
Scale of Metres

Client Jill Wright				
Site 23 Pendle St West Sabden Clitheroe BB79EG				
Project 2 storey extension to Rear				
Calder Design Associates				
2 TOP ROW, SABDEN, CLITHEROE, LANCS. BB79HL				
Tel 01282 771907, E-mail mail@calder-design.com				
Title Existing Roof & First Floor Plan	Drawn	P.Lord	Drawing No 86/1/03	Rev
	Date	14.09.12		
	Scale	1:100@A3		

All dimensions are nominal to indicate design intent
& should be checked on site before any work commences

320120947P



Existing Ground Floor Plan



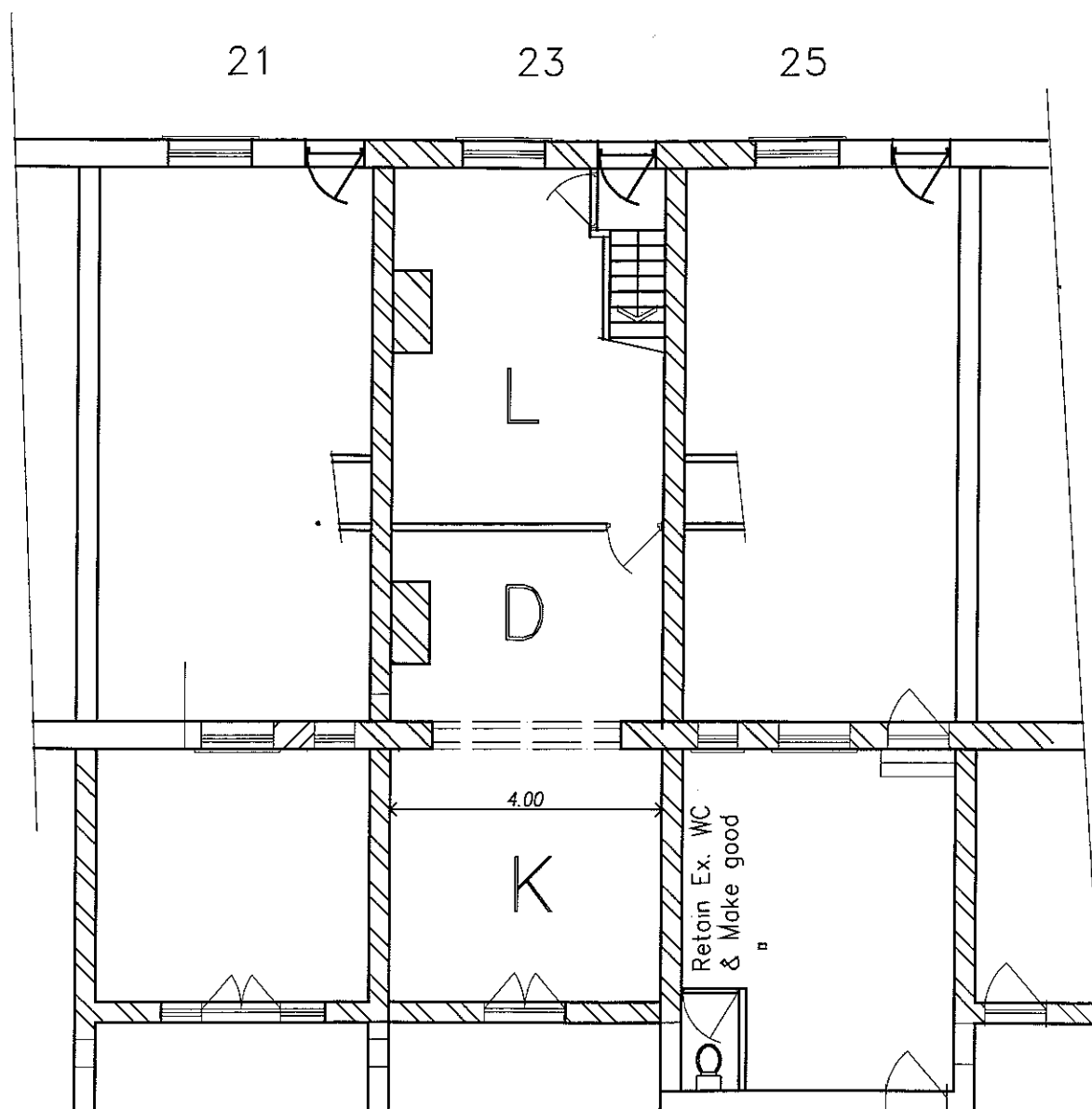
Existing Rear Elevation

0 1 2 3 4
Scale of Metres

Client Jill Wright				
Site 23 Pendle St West Sabden Clitheroe BB79EG				
Project 2 storey extension to Rear				
Calder Design Associates				
2 TOP ROW, SABDEN, CLITHEROE, LANCs. BB79HL				
Tel 01282 771907, E-mail mail@calder-design.com				
Title Existing Rear Elevation & Ground Floor Plan	Drawn	P.Lord	Drawing No	86/1/02
	Date	14.09.12	Rev	
	Scale	1:100 @ A3		

All dimensions are nominal to indicate design intent
& should be checked on site before any work commences

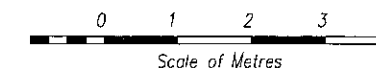
320120947P



Proposed Ground Floor Plan



Proposed Rear Elevation



CONSTRUCTION DETAILS

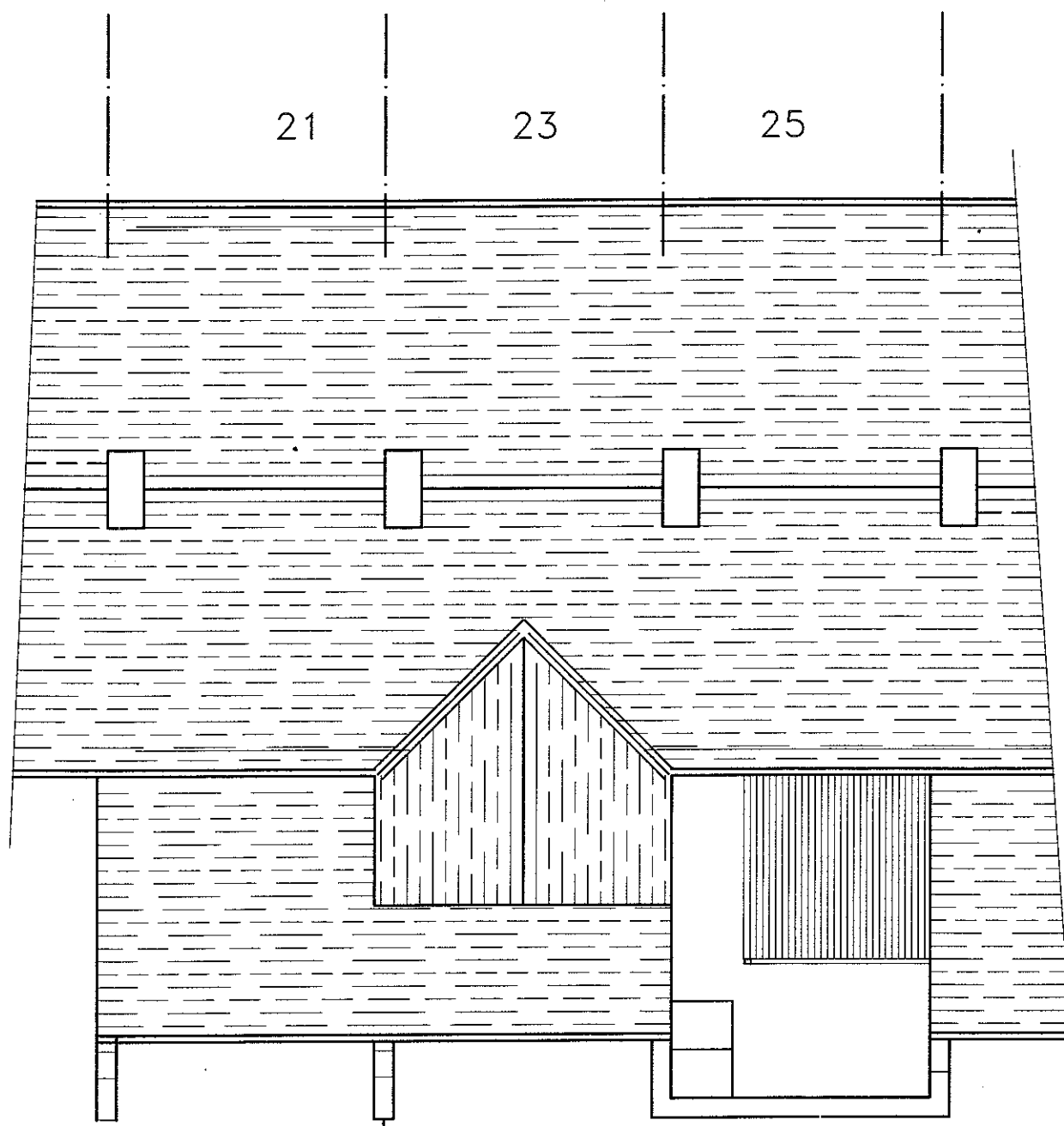
WALLS from Bradstone blocks to match those used on No27

ROOFING from plain concrete tiles to match those used on No 21

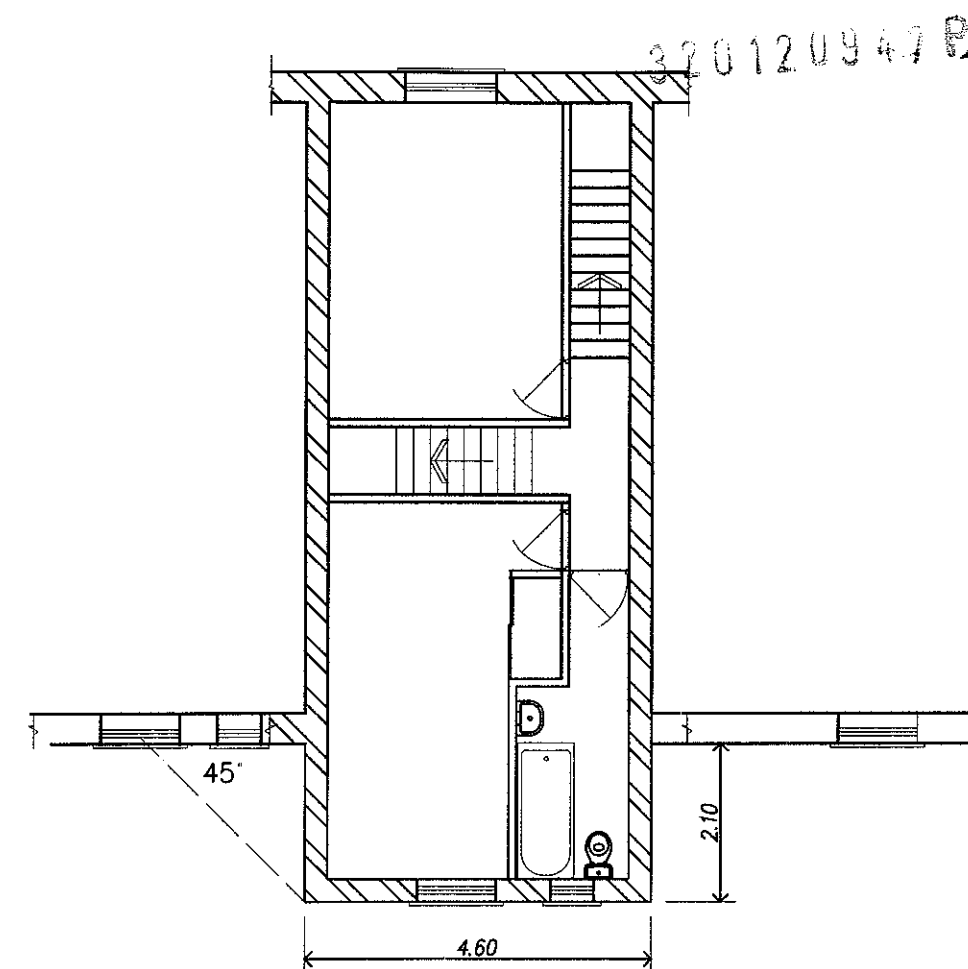
Doors, windows, fascia & rainwater goods from brown Upvc

Client Jill Wright			
Site 23 Pendle St West Sabden Clitheroe BB79EG			
Project 2 storey extension to Rear			
Calder Design Associates			
2 TOP ROW, SABDEN, CLITHEROE, LANCs. BB79HL			
Tel 01282 771907, E-mail mail@calder-design.com			
Title Proposed Rear Elevation & Ground Floor Plan	Drawn	P.Lord	Drawing No 86/1/04
	Date	14.09.12	
	Scale	1:100@A3	
		Rev	

All dimensions are nominal to indicate design intent
& should be checked on site before any work commences



Proposed Roof Plan



Proposed First Floor Plan

0 1 2 3 4
Scale of Metres

Client Jill Wright			
Site 23 Pendle St West Sabden Clitheroe BB79EG			
Project 2 storey extension to Rear			
Calder Design Associates			
2 TOP ROW, SABDEN, CLITHEROE, LANCS. BB79HL			
Tel 01282 771907, E-mail mail@calder-design.com			
Title Proposed Roof & First Floor Plan	Drawn	P.Lord	Drawing No 86/1/05
	Date	16.09.12	
	Scale	1:100 @ A3	
			Rev