



RIBBLE VALLEY
BOROUGH COUNCIL

25 OCT 2012

ON OF

For office use only

Application No

320120972 P

Date received

Fee paid £

Receipt No:

Council Offices, Church Walk, Clitheroe, Lancashire, BB7 2RA Tel: 01200 425111 www.ribblevalley.gov.uk

Application for Planning Permission.
Town and Country Planning Act 1990

Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website.
If you require any further clarification, please contact the Authority's planning department.

1. Applicant Name, Address and Contact Details

Title:	Mr	First name:	Robert	Surname:	Hall	
Company name:						
Street address:	Shays Farm,		Telephone number:	Country Code	National Number	Extension Number
	Tosside		Mobile number:			
Town/City:	Skipton		Fax number:			
County:	North Yorkshire		Email address:			
Country:						
Postcode:	BD23 4SY					
Are you an agent acting on behalf of the applicant? <input checked="" type="radio"/> Yes <input type="radio"/> No						

2. Agent Name, Address and Contact Details

Title:	Mrs	First Name:	Judith	Surname:	Douglas	
Company name:	Janet Dixon Town Planners Ltd					
Street address:	10A Whalley Road		Telephone number:	Country Code	National Number	Extension Number
					01200 425051	
			Mobile number:			
Town/City:	Clitheroe		Fax number:			
County:	Lancs		Email address:			
Country:						
Postcode:	BB7 1AW			judith@jdixontownplanners.co.uk		

3. Description of the Proposal

Please describe the proposed development including any change of use:

Replacemnet of agricultural building with 4 holiday cottages and new package treatment plant.

Has the building, work or change of use already started?

☐ Yes ☒ No

4. Site Address Details

Full postal address of the site (including full postcode where available)

House:	<input type="text"/>	Suffix:	<input type="text"/>
House name:	Shays Farm		
Street address:	<input type="text"/>		
	Tosside		
Town/City:	Skipton		
County:	<input type="text"/>		
Postcode:	BD23 4SY		

Description of location or a grid reference
(must be completed if postcode is not known):

Easting:	375358
Northing:	453859

Description:

Site of agricultural building

5. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

6. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

☐ Yes ☒ No

7. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

☒ Yes ☐ No

If Yes, please provide details:

There is adequate space for the storage of waste

Have arrangements been made for the separate storage and collection of recyclable waste?

☒ Yes ☐ No

If Yes, please provide details:

There is adequate space for the storage of recyclable waste

8. Authority Employee/Member

With respect to the Authority I am:

- (a) a member of staff
- (b) an elected member
- (c) related to a member of staff
- (d) related to an elected member

Do any of these statements apply to you?

☐ Yes ☒ No

9. Materials

Please state what materials (including type, colour and name) are to be used externally (if applicable):

Walls - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

All elevations random coursed stone except south east side rendered with natural stone quoins

Roof - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

Grey/blue natural slate

(Materials continued)

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Windows - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

Timber cased windows with stone surrounds

Doors - description:

Description of *existing* materials and finishes:

Description of *proposed* materials and finishes:

Stained timber

Vehicle access and hard standing - description:

Description of *existing* materials and finishes:

Existing tarmac drive and gravel track.

Description of *proposed* materials and finishes:

no change: existing tarmac drive, gravel track and gravel hardstanding

Are you supplying additional information on submitted plan(s)/drawing(s)/design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plan(s)/drawing(s)/design and access statement:

1214 P1B Ground Floor plan as proposed
1214 P2A First Floor plan as proposed
1214 P3A NW and NE Elevations as proposed
1214 P4 SE and SW Elevations as proposed
1214 P5 Site plan as proposed
1214 E1A Site Plan as existing
1214 E2 Existing ground floor plan and SE elevation
1214 E3 Existing NW NE and SW elevations
Location Plan 1 1250
Bat Report
Design and Access Statement

10. Vehicle Parking

Please provide information on the existing and proposed number of on-site parking spaces:

Type of vehicle	Existing number of spaces	Total proposed (including spaces retained)	Difference in spaces
Cars	0	10	10
Light goods vehicles/public carrier vehicles	0	0	0
Motorcycles	0	0	0
Disability spaces	0	0	0
Cycle spaces	0	8	8
Other (e.g. Bus)	0	0	0
Short description of Other			

11. Foul Sewage

Please state how foul sewage is to be disposed of:

Mains sewer ☐ Package treatment plant ☒ Unknown ☐
Septic tank ☐ Cess pit ☐
Other

Are you proposing to connect to the existing drainage system?

☐ Yes ☒ No ☐ Unknown

12. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☐ Yes ☒ No

If Yes, you will need to submit an appropriate flood risk assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☐ Yes ☒ No

Will the proposal increase the flood risk elsewhere?

☐ Yes ☒ No

How will surface water be disposed of?

☐ Sustainable drainage system ☐ Main sewer ☐ Pond/lake
☒ Soakaway ☐ Existing watercourse

13. Biodiversity and Geological Conservation

To assist in answering the following questions refer to the guidance notes for further information on when there is a reasonable likelihood that any important biodiversity or geological conservation features may be present or nearby and whether they are likely to be affected by your proposals.

Having referred to the guidance notes, is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, OR on land adjacent to or near the application site:

a) Protected and priority species

☐ Yes, on the development site ☐ Yes, on land adjacent to or near the proposed development ☒ No

b) Designated sites, important habitats or other biodiversity features

☐ Yes, on the development site ☐ Yes, on land adjacent to or near the proposed development ☒ No

c) Features of geological conservation importance

☐ Yes, on the development site ☐ Yes, on land adjacent to or near the proposed development ☒ No

14. Existing Use

Please describe the current use of the site:

Agriculture

Is the site currently vacant? ☐ Yes ☒ No

Does the proposal involve any of the following?

If yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated? ☐ Yes ☒ No

Land where contamination is suspected for all or part of the site? ☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination? ☐ Yes ☒ No

15. Trees and Hedges

Are there trees or hedges on the proposed development site? ☐ Yes ☒ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character? ☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full Tree Survey, at the discretion of your local planning authority. If a Tree Survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to construction - Recommendations'.

16. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or waste? ☐ Yes ☒ No

17. Residential Units

Does your proposal include the gain or loss of residential units? ☐ Yes ☒ No

18. All Types of Development: Non-residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace? ☒ Yes ☐ No

Use class/type of use		Existing gross internal floorspace (square metres)	Gross internal floorspace to be lost by change of use or demolition (square metres)	Total gross new internal floorspace proposed (including changes of use) (square metres)	Net additional gross internal floorspace following development (square metres)
A1	Shops Net Tradable Area	0.0	0.0	0.0	0.0
A2	Financial and professional services	0.0	0.0	0.0	0.0
A3	Restaurants and cafes	0.0	0.0	0.0	0.0
A4	Drinking establishments	0.0	0.0	0.0	0.0
A5	Hot food takeaways	0.0	0.0	0.0	0.0
B1 (a)	Office (other than A2)	0.0	0.0	0.0	0.0
B1 (b)	Research and development	0.0	0.0	0.0	0.0
B1 (c)	Light industrial	0.0	0.0	0.0	0.0
B2	General industrial	0.0	0.0	0.0	0.0
B8	Storage or distribution	0.0	0.0	0.0	0.0

3. All Types of Development: Non-residential Floorspace (continued)

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C1	Hotels and halls of residence	0.0	0.0	0.0	0.0
C2	Residential institutions	0.0	0.0	0.0	0.0
D1	Non-residential institutions	0.0	0.0	0.0	0.0
D2	Assembly and leisure	0.0	0.0	0.0	0.0
Other	Please Specify	420.0	420.0	603.0	183.0
	Total	420.0	420.0	603.0	183.0

For hotels, residential institutions and hostels, please additionally indicate the loss or gain of rooms:

Use Class	Types of use	Existing rooms to be lost by change of use or demolition	Total rooms proposed (including changes of use)	Net additional rooms
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19. Employment

If known, please complete the following information regarding employees:

	Full-time	Part-time	Equivalent number of full-time
Existing employees	0	1	0
Proposed employees	0	2	1

20. Hours of Opening

If known, please state the hours of opening for each non-residential use proposed:

Use	Monday to Friday		Saturday		Sunday and Bank Holidays		Not Known
	Start Time	End Time	Start Time	End Time	Start Time	End Time	
Other							<input checked="" type="checkbox"/>

21. Site Area

What is the site area? sq metres

22. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant ventilation or air conditioning Please include the type of machinery which may be installed on site:

N/A

Is the proposal for a waste management development? ☐ Yes ☒ No

23. Hazardous Substances

Is any hazardous waste involved in the proposal? ☐ Yes ☒ No

24. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land? ☐ Yes ☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact? (Please select only one)

☒ The agent ☐ The applicant ☐ Other person

25. Certificates (Certificate A)

Certificate of Ownership - Certificate A

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/ the applicant was the owner (owner is a person with a freehold interest or leasehold interest with at least 7 years left to run) of any part of the land or building to which the application relates.

Title: First name: Surname:

Person role: Declaration date: ☒ Declaration made

25. Certificates (Agricultural Land Declaration)

Agricultural Land Declaration

Town and Country Planning (Development Management Procedure) (England) Order 2010 Certificate under Article 12

Agricultural Land Declaration - You Must Complete Either A or B

(A) None of the land to which the application relates is, or is part of an agricultural holding

(B) I have/The applicant has given the requisite notice to every person other than myself/the applicant who, on the day 21 days before the date of this application, was a tenant of an agricultural holding on all or part of the land to which this application relates, as listed below:

If any part of the land is an agricultural holding, of which the applicant is the sole tenant, the applicant should complete part (B) of the form by writing 'sole tenant - not applicable' in the first column of the table below

Notice recipient		Date notice served				
Name:	Not applicable-sole tenant	<div></div>				
Number:	<div></div> Suffix: <div></div>					
Street:	<div></div>					
Locality:	<div></div>					
Town:	<div></div>					
Postcode:	<div></div>					
Title:	Mrs	First Name:	Judith	Surname:	Douglas	
Person role:	Agent	Declaration date:	25/10/2012	<input checked="" type="checkbox"/> Declaration Made		

26. Declaration

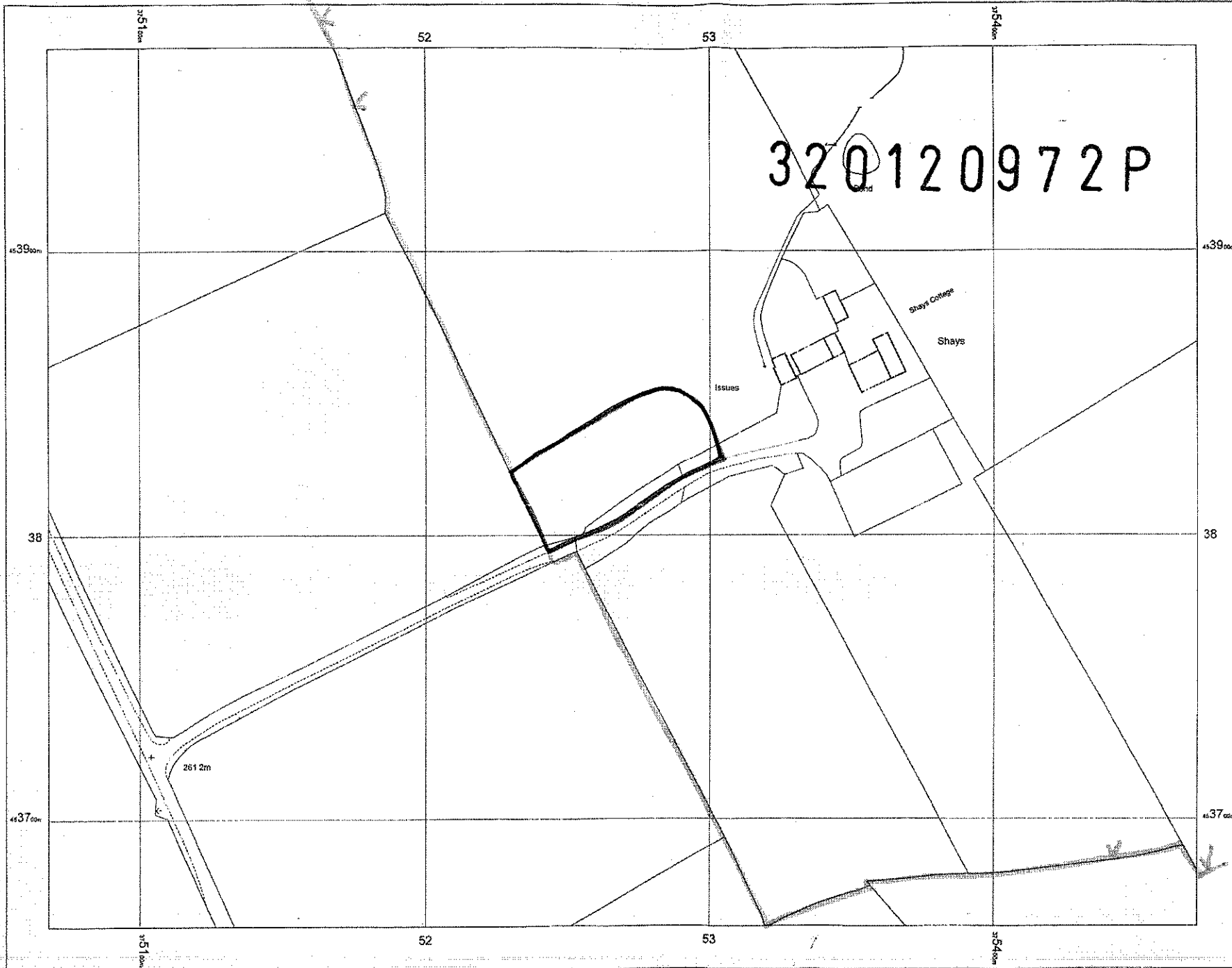
I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them.



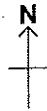
Date

25/10/2012

Location Plan



Shays Farm
Tosside
Skipton
North Yorkshire
BD23 4SY



OS Mastermap
24 September 2012, 10:
CM-00178264
www.centremapslive.co.uk
1:1250 scale print of A3, Centre:
375270 E 453817 N

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DESIGN AND ACCESS STATEMENT

SITE: SHAYS FARM, TOSSIDE, SKIPTON BD23 4SY

PROPOSAL: REPLACEMENT OF AGRICULTURAL BUILDING WITH FOUR HOLIDAY COTTAGES.

1 ASSESSMENT

- 1.1 Shays Farm is to the south west of Tosside. The track which leads to Shays Farm from Holden Lane is 570m south of Four Lane Ends at Stephen Moor. The track itself runs east of the lane for 250m and is also a bridle path BW 16. The application site comprises the track and the agricultural building and land close to the building. The development does not affect the route of the bridle way. The agricultural building forms a group with the residential properties at Shays Farm to the east. These are Shays Farmhouse and Shays Cottage. Planning permission has also recently been granted to convert a stone barn adjacent to Shays Cottage into two dwellings.
- 1.2 Land in the vicinity is rolling upland, predominantly in agricultural use as grazing land. The application site is situated within the Forest of Bowland Area of Outstanding Natural Beauty (AONB).
- 1.3 The recent planning history of the site may be summarised as follows:
 - 3/2012/0070-Convert barn to two dwellings and the creation of garden and parking area. Approved with conditions 05/04/2012.
 - 3/2011/0275-Shays Cottage. Proposed single storey extension and rebuilding of domestic outbuilding to incorporate into dwelling. Approved with conditions 10/06/2011
 - 3/2011/0276-Shays Farm-Proposed two-storey side extension and single storey utility, wood store, water filtration system and double garage approved with conditions 10/06/2011.
 - 3/2010/0569 - Proposed conversion of a barn to one residential dwelling. Approved with conditions 23/08/2010
 - 3/2008/0760 – Agricultural building. Approved with conditions 27/10/2008
- 1.4 The policies of the development plan are informed by central government advice set out in the National Planning Policy Framework. The NPPF encourages support for economic growth in rural area in order to create new jobs and prosperity. Its states planning policies should support the sustainable growth and expansion of all types of business and enterprise in the rural areas both through the conversion of existing buildings and well designed new buildings; promote the development and diversification of agriculture and support sustainable rural tourism and leisure development that benefit businesses in rural area, communities and visitors, and which respect the character of the countryside.
- 1.5 The development plan includes those policies that have been saved from the Ribble Valley Districtwide Local Plan adopted in June 1998.
Saved policies of relevance are the following:

- G1 which details a number of development control criteria;
- G5 development outside settlement boundaries;
- ENV1 which protects the character of the AONB; and
- RT1 General recreation and tourism.

EVALUATION

- 3.1 The site is outside a defined settlement. Policy G5 of the aRVDWLP allows for small scale tourism and recreational development appropriate to rural areas subject to Policy RT1. Policy RT1 allows small scale tourism development which is physically well related to an existing group of buildings, does not undermine the character, quality or visual amenities of the plan area by virtue of its scale, siting, material or design, it has to be well related to the existing highway network and be large enough to accommodate car parking and servicing areas. In addition in the AONB the proposal has to be of a high standard of design and not introduce built development into an area largely devoid of structures.
- 3.2 The proposed holiday lets will form a group with the existing houses and buildings at Shays Farm so it is physically well related to an existing group of buildings. The proposed holiday cottages have been designed as traditional stone cottages and will be similar in scale to the existing dwellings at Shays Farm. The design of the cottages is more fully discussed later in this statement.
- 3.3 Shays Farm is served by its own track from the main highway. The track and the local highway network are capable of carrying the slight increase in traffic that will occur as a result of this proposal. The holiday cottages are situated to the west of the dwellings at Shays Farm so that traffic associated with the holiday cottages will not pass the existing dwellings. Car parking for 10 vehicles is provided as well as cycle storage.
- 3.4 The proposal does not introduce built development into an area largely devoid of structures since it replaces an existing larger structure.
- 3.5 The use as holiday cottages will help to support the rural economy by providing employment for the applicant and by attracting visitors to the area. The proposal is in accordance with policies RT1 and G5 of the Local Plan and the provisions of the NPPF.
- 3.6 The applicant until recently farmed the land at Shays Farm. However permanent health problems have unfortunately resulted in him having to cease farming. His land is now rented out to a neighbouring farmer who has his own farm buildings. The agricultural building at Shays is not needed by this tenant. The applicant sees the proposal as a method of diversifying his business to provide an income for the long term. He can run the holiday cottage business because it will be less demanding physically than running his farm. The holiday cottage business will provide employment for the applicant and his partner.

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4 DESIGN

- 4.1 The holiday cottages are to be constructed in random coursed stone and render with natural stone detailing to the surrounds of the doors and windows. The roof is to be covered in natural slate and the roof pitch is 30 degrees. The doors and window are proposed in timber. The cottages are similar in style, design materials and proportion to other traditional cottages in the area. The design preserves the character of the AONB.
- 4.2 The cottages have been designed to appeal to the largest customer base. Two of the cottages have two bedrooms which would appeal to couples or a small family. The cottages at either end of the group have 3 and 4 bedrooms on the first floor and a bedroom suitable people with mobility impairment on the ground floor. This would appeal to larger families or groups of people wishing to holiday together with the option of a ground floor bedroom. The ability to be able to offer four holiday cottages together at one site also meets the market for people wishing to rent more than one property.

5 ACCESS

- 5.1 The development raises no issues in terms of site accessibility. Level access can be provided into the building. Vehicle access is from the existing track to Shays Farm and no work to the access is proposed.

6 OTHER MATTERS

- 6.1 A bat survey was carried out by Bowland Ecology on the 26th October 2012. The site is considered to offer a very low bat risk due to the lack of suitable roost sites. See Appendix 1 Bat Survey
- 6.2 Details of the projected income levels from the proposed holiday cottages is included at Appendix 2. This indicated that the likely income levels from the proposed development will provide sufficient return on investment to make the proposal viable. The projected time to recoup the construction costs will be 5 years.

Appendices

Appendix 1 Bat Report

Appendix 2 Projected Income and costing

Janet Dixon Town Planners Ltd.

10A Whalley Road,

Clitheroe,

Lancashire BB7 1AW

01200 - 425051

October 2012

BOW0017/430 Shays Farm, Tosside**Advice Note – Bat Survey**

Bowland Ecology Ltd was commissioned by Mr. Robert Hall to carry out a bat survey at Shays Farm, Tosside, Skipton, where a barn is planned to be demolished, (NGR; SD 752 538). This advice note provides information highlighting any potential ecological constraints and legal obligations in relation to the proposed works.

The bat survey was undertaken on the 16th October 2012 by Jack Kellett BSc (Hons). The timing of the survey was within the optimum period for completing such a survey. The site was inspected for any features that provide suitable roost potential for bats and any evidence that bats are using or do use the structure as a roost site.

Site Description

The survey building is a relatively recently built steel framed barn comprising of a breeze block base with timber cladding sides extending to the roof. Dimensions are roughly 30mx10m and being about 8m high at the gable apex. A thick polythene cover overhangs the wooden cladding around the whole of the structure. Access to the interior of the building is provided by two large steel roller doors at each end. There is a small work shelter built onto the North-eastern corner of the building made up of a corrugated iron roof and timber cladding sides.

Survey Results

The structure was found to have lots of small gaps between the timber cladding and the overhanging polythene (See appendix 1, Photo1); however these are very shallow and are quite exposed. Some areas of the cladding have split apart (See appendix 1, Photo 2) and have created gaps which would allow any bats access to the inside of the structure. A large hole was found at the South-west corner of the roof (See appendix 1, Photo 3) which would allow further access into the building. Whilst there are potential access points for bats into the building there is limited roosting opportunity. Internal roosting is limited by the steel frame and relatively recent construction of the building.

Conclusions and Recommendations

The site is considered to offer very low bat risk due to the lack of suitable roost sites. Even though there is potential for bats to enter the structure due to the features previously mentioned, with a steel frame and lack of small spaces within the building it is unlikely that the building will be used as a permanent roost site.

Bats are a highly mobile species therefore; this survey is valid for a year, after which time it would be recommended that an update survey should be completed. In the unlikely event that a bat is found during works, all construction activity should stop and advice should be sought from a suitably qualified ecologist before works proceed. If the appropriate working practices are implemented, it is considered that the proposals are highly unlikely to impact bats.

Prepared by:

Jack Kellett, BSc (Hons) *Field Ecologist*

16/10/2012

Appendix 1: Bat Survey Photos

Photo 1

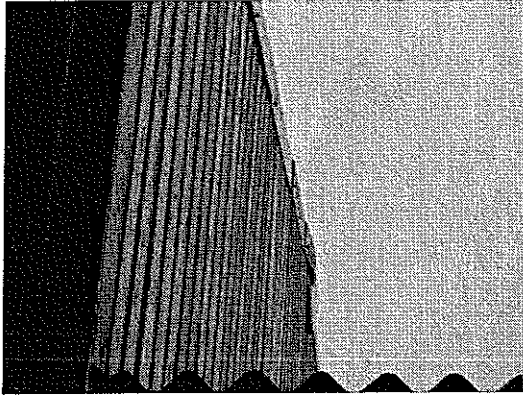


Photo 2

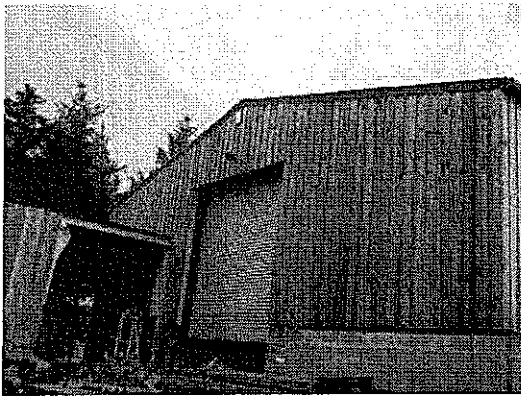
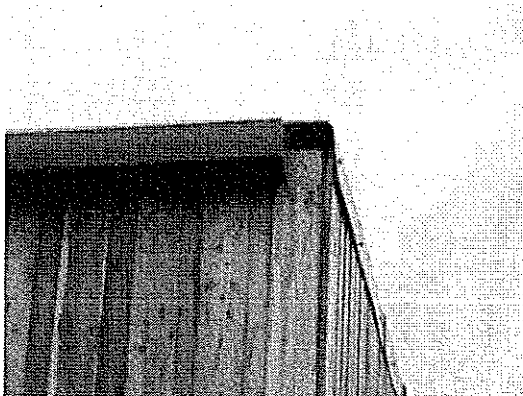


Photo 3



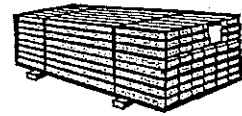
J & R HALL JOINERY LTD

Shays Farm, Tosside, Skipton, North Yorkshire, BD234SY.

Tel: 01706 810300

Fax: 01706 810400

Email: info@jrhall.co.uk



320120972P

Monday, 15 October 2012

Ref: Proposed Holiday Cottages @ Shays Farm, Tosside..

Estimated construction cost for the above reference and in accordance with the attached drawings.

Based on current quantity surveyors construction guidelines relating to cost per M2 to complete the above project would be estimated @ a cost of £600,000.

These works being undertaken by J&R Hall Joinery Ltd would however cost 60% of the Quantity surveyors guideline estimates.

Total estimated cost would be £360,000.

Based on income from the four holiday cottages (see attached sheet) this proposal would take approximately 5 years to return its establishment cost.

Robert Hall.

J & R HALL JOINERY LTD

Shays Farm, Tosside, Skipton, North Yorkshire, BD234SY.

Tel: 01706 810300

Fax: 01706 810400

Email: info@jrhall.co.uk



Monday, 15 October 2012

Ref: Income from proposed Holiday Cottages @ Shays Farm, Tosside.

Based on research of other establishments in the area and tourist board holiday let guidelines.

Conservative estimates of income for the 4 holiday cottages are as follows: -

Low season	10 weeks @ £1200=	£12,000
Mid season	10 weeks @ £1700=	£17,000
Mid/ high season	10 weeks @ £3000=	£30,000
High season	8 weeks @ £3600=	£28,800

Estimated annual income £87,800

The modern agricultural building would have a re sale value of about £20,000 to contribute to the construction costs.

Annual overheads for the cottages would be approximately £17,000

Robert Hall

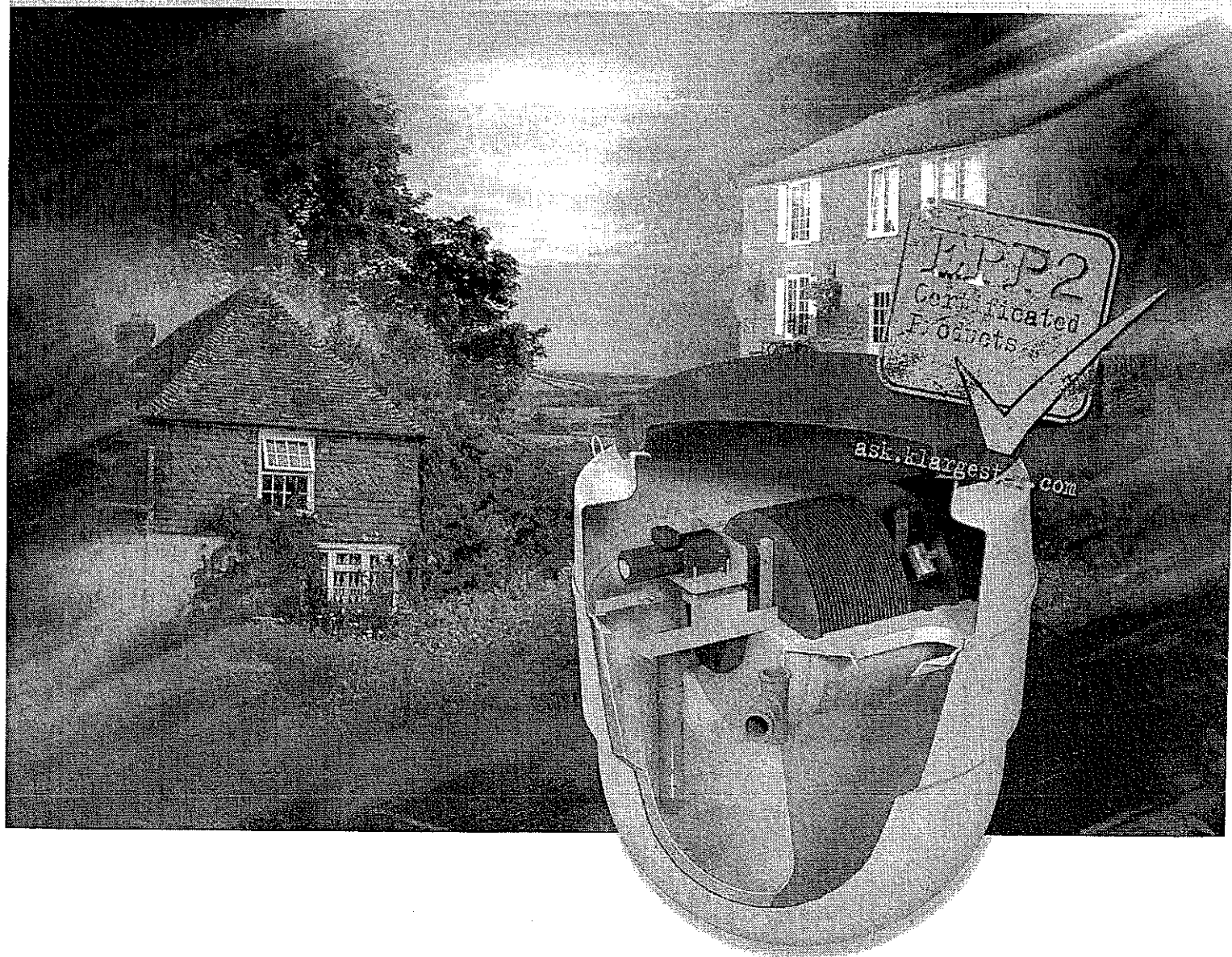
Directors: Robert Hall and Jane Tugwell

Environmental

Certified up to 95%
efficient to European
Performance Standards

320120972P **Klargester BioDisc® BA-BD**

High Performance Package Sewage Treatment Plants
for Residential Applications



Sustainable, Reliable, Affordable


Kingspan®

Klargester BioDisc® BA-BD

For domestic dwellings without access to mains drainage, the Klargester BioDisc® provides a reliable, efficient and environmentally safe solution to your sewage disposal needs.

It is ideal for locations where discharge is to sub-surface irrigation, or to a suitable watercourse where approved by the Regulator, and where a septic tank will not meet the required standards.

Certificated to European Standard EN-12566

In 2005, the Klargester BioDisc® underwent 40 weeks of stringent testing to assess its treatment efficiency to comply with the European Standard for small treatment plants.

After delivering exceptionally high levels of pollution removal (95%) under varying loads and conditions, the Klargester BioDisc® was awarded its Performance Certificate

Only products that hold an EN-12566 certificate are approved for an exemption from a permit to discharge under the new EPP2 environmental legislation

The test report also highlighted:

- Klargester BioDisc® operates without noise or odour
- Maintenance requirements are low with good access
- No technical or mechanical faults
- Low power consumption at 1.3kw/d - approx 10-14 pence per day*
- Low sludge build up and large storage capacity

Designed for Quality, Reliability and Peace of Mind

Klargester has pioneered the development of packaged treatment plant with many thousands of successful installations worldwide. The Klargester BioDisc® is robustly constructed from corrosion free materials, manufactured and performance tested in accordance with BS EN-12566 and has been awarded Irish Board of Agreement Certification (for BA, BA-X and BB sizes only). Klargester is an accredited company under ISO 9001:2000 quality management systems. Klargester offer a range of alarm systems to alert the end user to mechanical failure. The installation of such, will be required under BS EN-12566.



Unique Design

The Klargester BioDisc® is the only packaged sewage treatment plant utilising Rotating Biological Contactor technology for small domestic applications.

This process offers inherent cost and performance benefits with a low carbon footprint.

Assured Performance

Klargester BioDisc® is a high performance package treatment plant which, in normal domestic situations, will produce effluent qualities of better than 15mg/l BOD, 25mg/l SS and 15mg/l ammonia.



Low Running Costs

Klargester BioDisc® has the lowest running and maintenance costs of any packaged treatment plant in its class.

The single home unit requires an annual de-sludge only, the motor rating is 50 watts and routine mechanical maintenance is minimal.

Low Lifetime Costs

Lowest running costs combined with the quality and durability of the equipment - particularly the drive motor which has a considerably longer service life than the pumps and blowers fitted to competitive units - all add up to a significantly lower lifetime cost for the Klargester BioDisc®.



Process Stability

The Klargester BioDisc® is recognised for its process performance. This is further enhanced by its unique Managed Flow System, which ensures optimum

performance by smoothing peak flows and buffering biological loads over the whole working day.

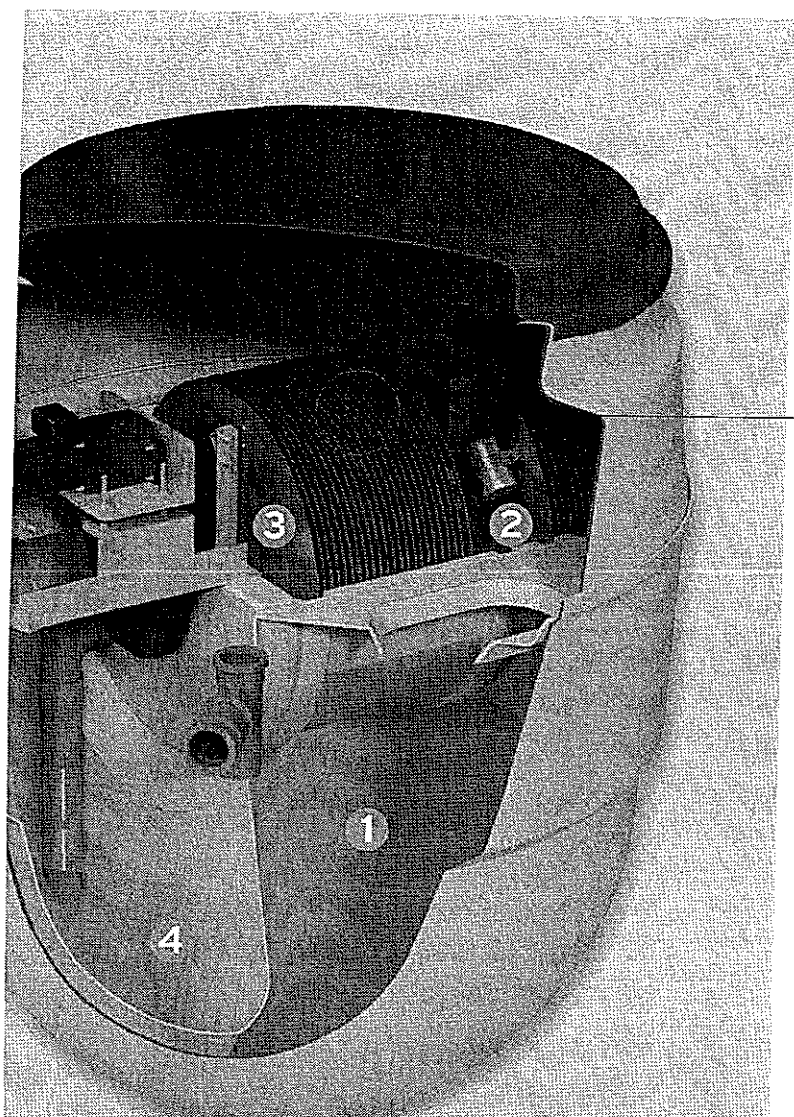


Low Profile Covers

Access for service and maintenance is provided via a durable, unobtrusive cover at ground level.

* BA model BioDisc® - prices subject to local supplier.

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Dispersal

Subject to relevant authorities consent and site conditions, the plant discharge can be a watercourse or to a drainage field.

Standard Invert Options

Three standard drain invert-level options are available from stock to match the site topography and where applicable, minimise the excavation depth. The Klargester BA, BA-X and BB BioDisc® are available with an integral pump to move effluent from point of treatment if site level demands.

Nationwide Availability

Klargester products can be sourced from your local builders merchant or through local pollution control specialists.

How the Klargester BioDisc® Works

Central to the operation of each Klargester BioDisc® is the Rotating Biological Contactor (RBC), which supports a biologically active film or biomass on to which aerobic micro-organisms, naturally found in sewage, become established. Natural breakdown of sewage can then occur as described below.

The Breakdown Process

Wastewater and sewage flows into the primary settlement zone ① where solids are settled out and retained. This accumulated sludge should be drawn out periodically.

Partially clarified liquor containing fine suspended solids flows upwards into the first stage Biozone ② for breaking down by micro-organisms on the RBC. Suspended solids return to the primary settlement zone and the liquor is transferred to the second stage Biozone ③ for further treatment.

Any solids remaining are settled out in the final settlement tank ④. The very high effluent quality is discharged to a watercourse.

Rotating Biological Contactor (RBC)

The RBC comprises banks of vacuum formed polypropylene media supported by a steel shaft. This is slowly rotated by a low energy consumption electric motor and drive assembly.

***Note:** The Klargester BioDisc® is designed to deal with normal domestic sewage. If the sewage is likely to contain unusual substances, please consult Klargester.*

Klargester BioDisc® BA-BD

Specification

Unit Size	Single House		Multiple Houses		
	BA	BA-X	BB	BC	BD
Population Equivalent	1 house up to 4 bedrooms	1 house up to 7 bedrooms	2 houses up to 8 bedrooms	3 houses up to 12 bedrooms	4-5 houses 15-16 bedrooms
Overall Diameter / Width (A) mm	1995	1995	1995	2450	2450
Overall Length (B) mm	-	-	-	-	3540
Standard Drain Invert Inlet (C) mm	750*	750*	750*	600†	600†
Standard Outlet (D) mm	835	835	835	685	685
Depth from Invert to Base (E) mm	1400	1400	1400	1820	1820
Pipework Diameter (mm)	110	110	110	110	110
Sludge Storage Period (approx)	12 months	9 months	6 months	7 months	6 months
Standard Power Supply	Single phase	Single phase	Single phase	Single phase	Single phase
Motor Rating	50W	50W	50W	75W	75W
Weight (tonnes) standard units	0.388	0.418	0.418	0.650	1.100

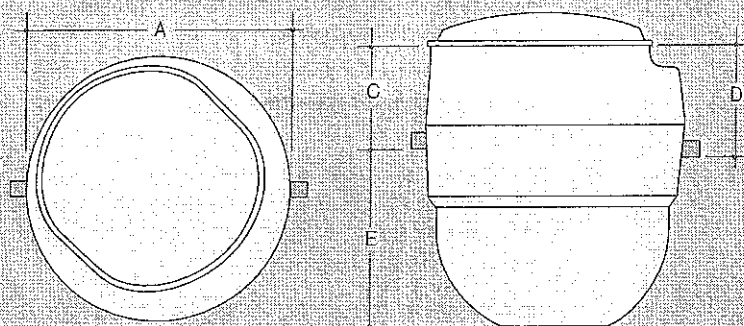
Applications which include waste disposal units will require special sizing. Please consult Klargester.

* Optional invert depths of 450mm and 1250mm are available.

† Optional invert depth of 1100mm is available.

** Optional integral pump available in BA, BA-X and BB models.

BioDisc® BA, BA-X, BB and BC

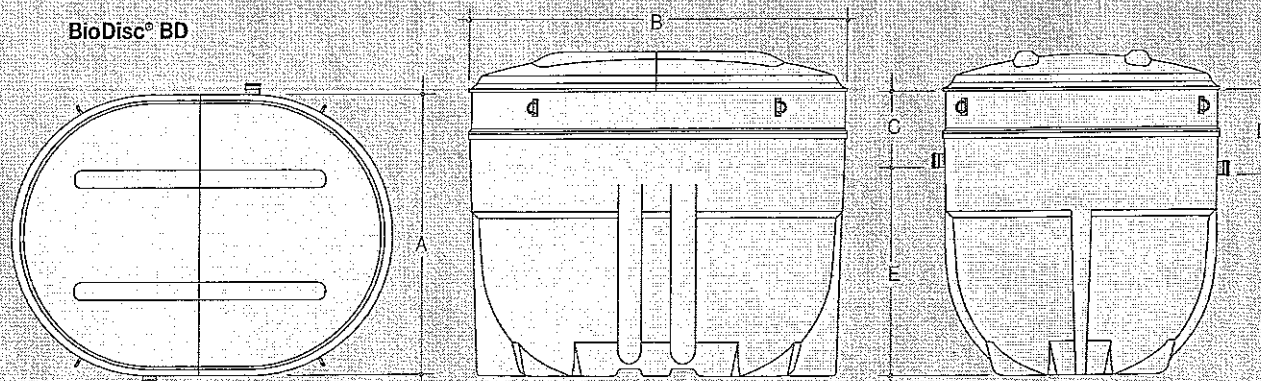


Sizing Your Treatment Plant

The above table is a general guide to selecting the correct Klargester BioDisc® for your property but, with many variables to consider, it is essential to obtain an accurate assessment.

We are pleased to offer professional advice by adhering to British Water's sizing criteria published in their guidance booklet 'Flows and Loads'. By following this best-practice, Klargester will ensure you are installing the most suitable BioDisc® model to serve your needs.

BioDisc® BD



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Quick and Easy to Install

Supplied as a complete palletised unit with lifting and lowering fixings, the Klargester BioDisc® is ready for installation on a suitably prepared site. The unit should be stabilised in concrete and the back fill completed with concrete.

We can provide an installation service through our network of Accredited Installers and full details are provided in our comprehensive installation instructions covering all site conditions. Additional technical information sheets are available on the Klargester BioDisc® process, siting, installation, effluent disposal and other specific topics. Please contact Klargester for further information.

Hiab Off-loading

Klargester can provide on-site mechanical off-loading if required (subject to location); please enquire.

Complete Monitoring and Control

Klargester's high-tech control panel features an alarm and digital read-out display, providing the homeowner with an immediate alert should any problem occur.

The control panel ① is able to communicate the nature of any fault, including loss of disc rotation*, pump failure*, or power failure.

The display will inform the householder, or maintenance representative on site via a digital display and fault code.

The system also features a highly visible external beacon ② (optional) as a primary warning.

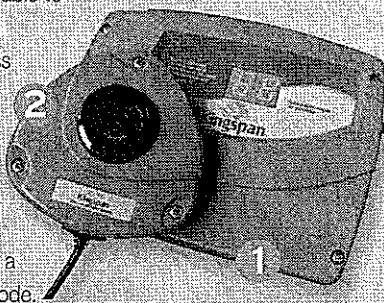
The control panel has a facility for telemetry to be fitted (supplied by others) to enable remote fault diagnosis by service engineer.

Alarms are now required for sewage treatment plants in the event of a power failure.

EN 12566-3 Section 6.0 para 6.1.1 states:

"Plants shall be provided with an alarm to indicate operational failure (for example electrical, mechanical or hydraulic failure). The manufacturer shall indicate which kind of failure is detected with the alarm."

* Optional sensor fittings.



The new control and alarm panels offer a range of features and benefits including:

- Digital display with fault code to speed up fault diagnosis
- Rapid wiring installation
- Facility for optional telemetry to be fitted
- Flasher beacon available if required (optional).

Sample Chambers

When a treatment plant discharges into a watercourse, it is a regulatory requirement to have a sampling point so that the effluent quality can be periodically checked by regulatory bodies.

Available to suit all outlet depths of our standard ranges, a Kingspan Environmental sample chamber provides the solution, enabling both quick installation and easy access for accurate and convenient effluent testing



Solutions for All Your Off-mains Needs

Klargester has a sewage treatment solution to meet a wide range of requirements, from single house treatment plants to larger industrial/commercial and community developments:

- Individual houses (of all sizes)
- Off-mains developments of various sizes (housing, commercial, industrial)
- Offices and commercial properties
- Upgrading existing septic tank systems

If you already have a septic tank and would like to upgrade to a sewage treatment plant, we can meet your requests.

The company has the expertise and experience in upgrading to biological treatment plants and has a network of Certified Installers that can carry out the work effectively and efficiently.

If you must pump sewage to the mains, we can supply you with a pump station to meet your requirements. Please contact Klargester for further details.

Klargester Reed Beds

What is a Reed Bed?

A reed bed is a filtration process used in conjunction with a Klargester BioDisc® treatment plant to further enhance the quality of the effluent migrating into a drainage field or surrounding watercourse.

Benefits

- Tertiary treatment for new applications with tight discharge consents
- Satisfies new building regulations
- Improved effluent quality for existing works
- Very low maintenance
- Aesthetically pleasing and environmentally friendly
- Easy to install and maintain
- Significantly improves discharge after a treatment plant

Design

- Advanced Patented design delivers superior performance
- Pre-fabricated to ensure correct sizing
- Modules designed with a hydraulic gradient across the length of the units
- Performance tested in Germany to EN12566-3 in combination with a Part 3 plant
- Adjustable outlet weir allows water level control
- Modular system comprising of:
 - 2 individual reed beds = Single house application**
 - 4 individual reed beds = Two house application**
- One-piece GRP moulding installed flush to the ground
- Reeds and GRP beds supplied. Washed pea gravel, 'growing' media by others (not included)
- Effluent discharge is typically improved by at least 50%, providing reduced BOD and suspended solids
- Provides rooting zone depth of 600mm (required by Phragmites Australis)

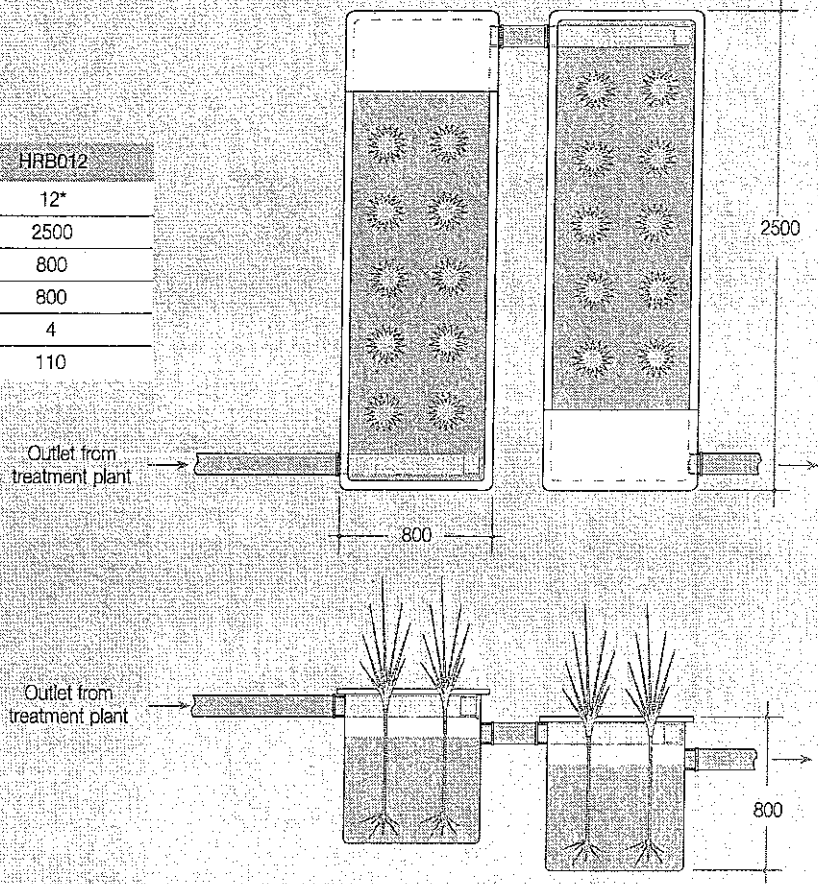


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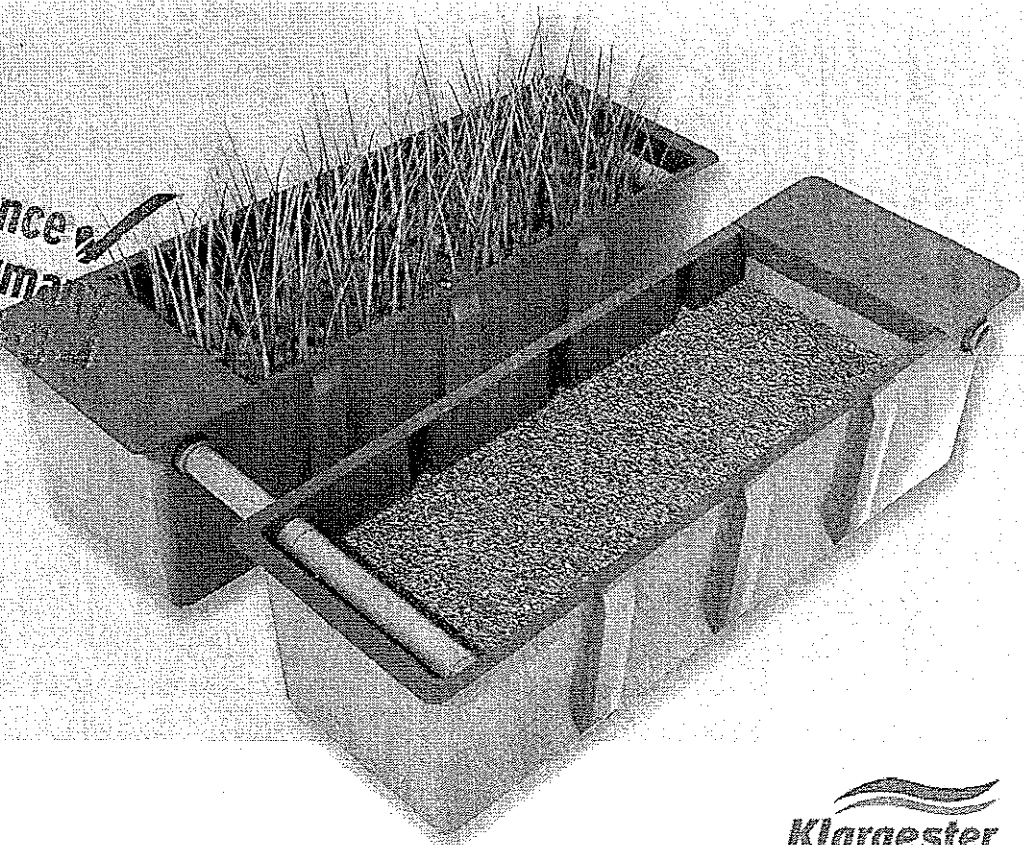
Specification

Reed Bed	HRB006	HRB012
Population Equivalent	6	12*
Length (mm)	2500	2500
Width (mm)	800	800
Depth (mm)	800	800
No. Required	2	4
Outlet Size (mm)	110	110

*12 population equivalent maximum



Performance
Tested in Germany
to EN12566



The Market Leading Range of Klargester Sewage Treatment, Pumping and Drainage Solutions from Kingspan Environmental



Commercial Sewage Treatment Plants



Large Capacity Pumping Stations



Stormwater Attenuation Systems



Domestic Sewage Treatment Plants



Packaged Pump Systems



Reed Beds



Oil/Water Separators



Septic Tanks



Below Ground Storage Tanks

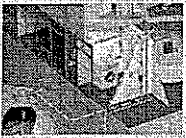


Grease & Silt Traps



Packaged Drainage Systems

KingspanWater Rainwater Harvesting Solutions



Residential & Commercial Rainwater Harvesting



Domestic Rainwater Harvesting



Garden Watering Systems

Kingspan Environmental Accredited Installers

Strategically located throughout the UK and Ireland Kingspan Environmental Accredited Installers are appointed following a selection process which assesses their installation expertise reputation and financial status

These performance criteria together with their design skills and knowledge of Kingspan Environmental products are also reviewed to ensure that the highest levels of professionalism are maintained



Larger Applications

Klargester also manufactures BioDisc® plant to cater for larger applications such as residential developments, caravan sites and hotels

As specialists in wastewater treatment we are able to provide solutions for many different applications. Please contact us for further information

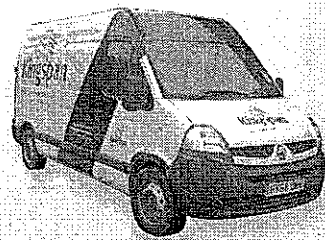
Kingspan Environmental Service

Who better to look after your treatment plant than the people who designed and built it?

Kingspan Environmental have a dedicated service division providing maintenance for wastewater treatment products

Factory trained engineers are available for site visits as part of a planned maintenance contract or on a one-off call out basis

To find out more about protecting your investment and ensuring peace of mind, contact us on 0845 355 0555 or visit us online at www.kingspanenvservice.com



Accredited to
BS EN ISO 9001: 2008
BS OHSAS 18001: 2007

iab
Bord Aitheantas na hÉireann
Irish Agreement Board
IAB No 01/0094



BRITISH WATER

UK GREEN BUILDING COUNCIL
Partnership for a Greener Future

Issue No 16: August 2010



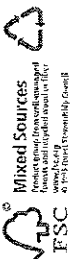
Klargester

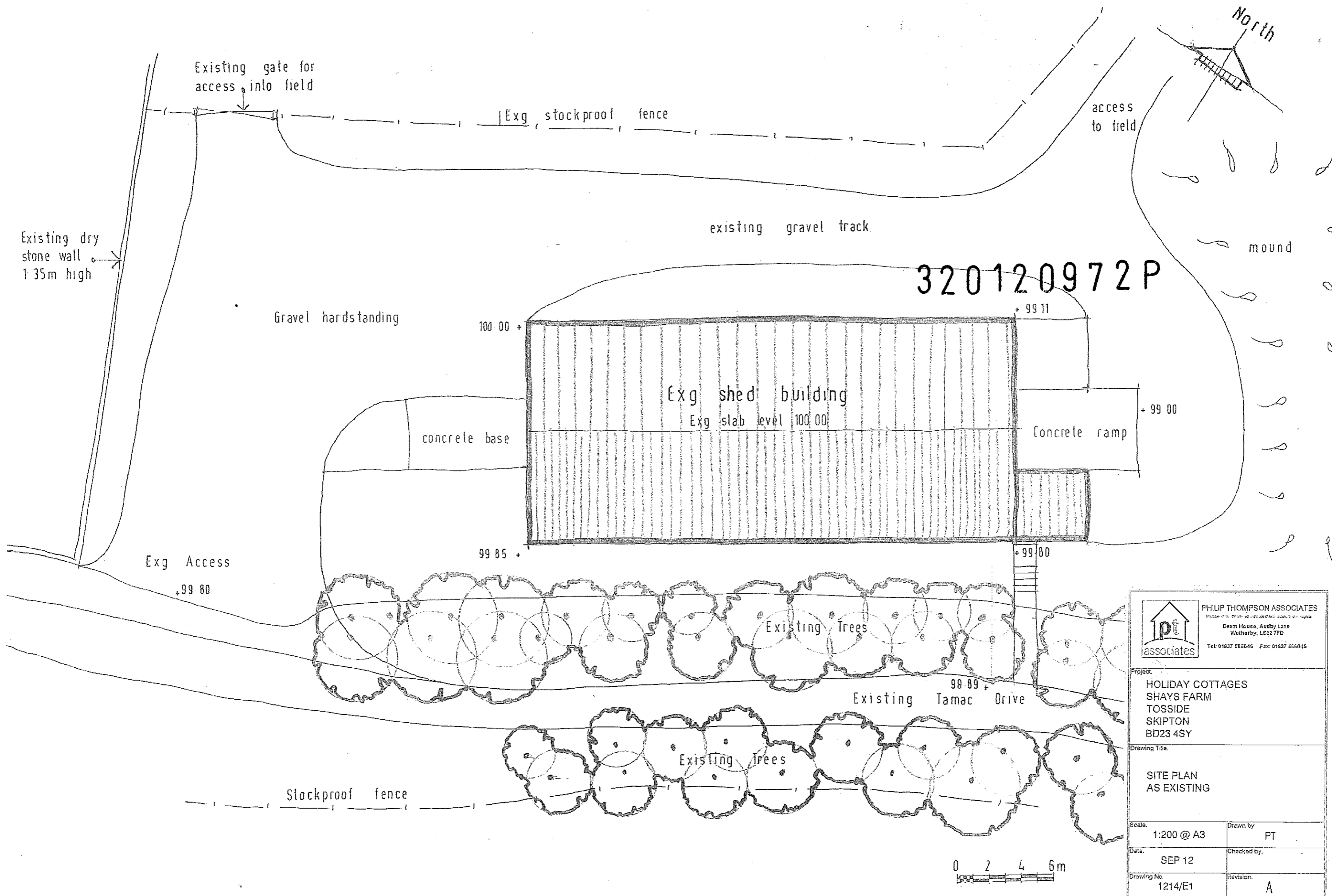
UK: College Road North, Aston Clinton, Aylesbury, Buckinghamshire HP22 5EW
Tel: +44 (0) 1296 633000 Fax: +44 (0) 1296 633001
Scottish Office: Tel: +44 (0) 1355 248484
email: info@klargester.com


Ireland: Unit 1a, Derryboy Road, Carnbane Business Park, Newry, Co. Down BT35 6QH
NI Tel: +44 (0) 28 302 66799 Fax: +44 (0) 28 302 60046 ROI Tel: 048 302 66799 Fax: 048 302 60046
email: info@klargester.ie

Visit our website www.klargester.com, or our company website www.kingspanenv.com

In keeping with Company policy of continuing research and development and in order to offer our clients the most advanced products, Kingspan Environmental reserves the right to alter specifications and drawings without prior notice.







pt
associates

PHILIP THOMPSON ASSOCIATES
Member of the Chartered Institute of Architectural Technicians
 Deem House, Audby Lane
 Wetherby, LS22 7FD
 Tel: 01937 585645 Fax: 01937 556845

Project:
 HOLIDAY COTTAGES
 SHAYS FARM
 TOSSIDE
 SKIPTON
 BD23 4SY

Drawing Title:
 SITE PLAN
 AS EXISTING

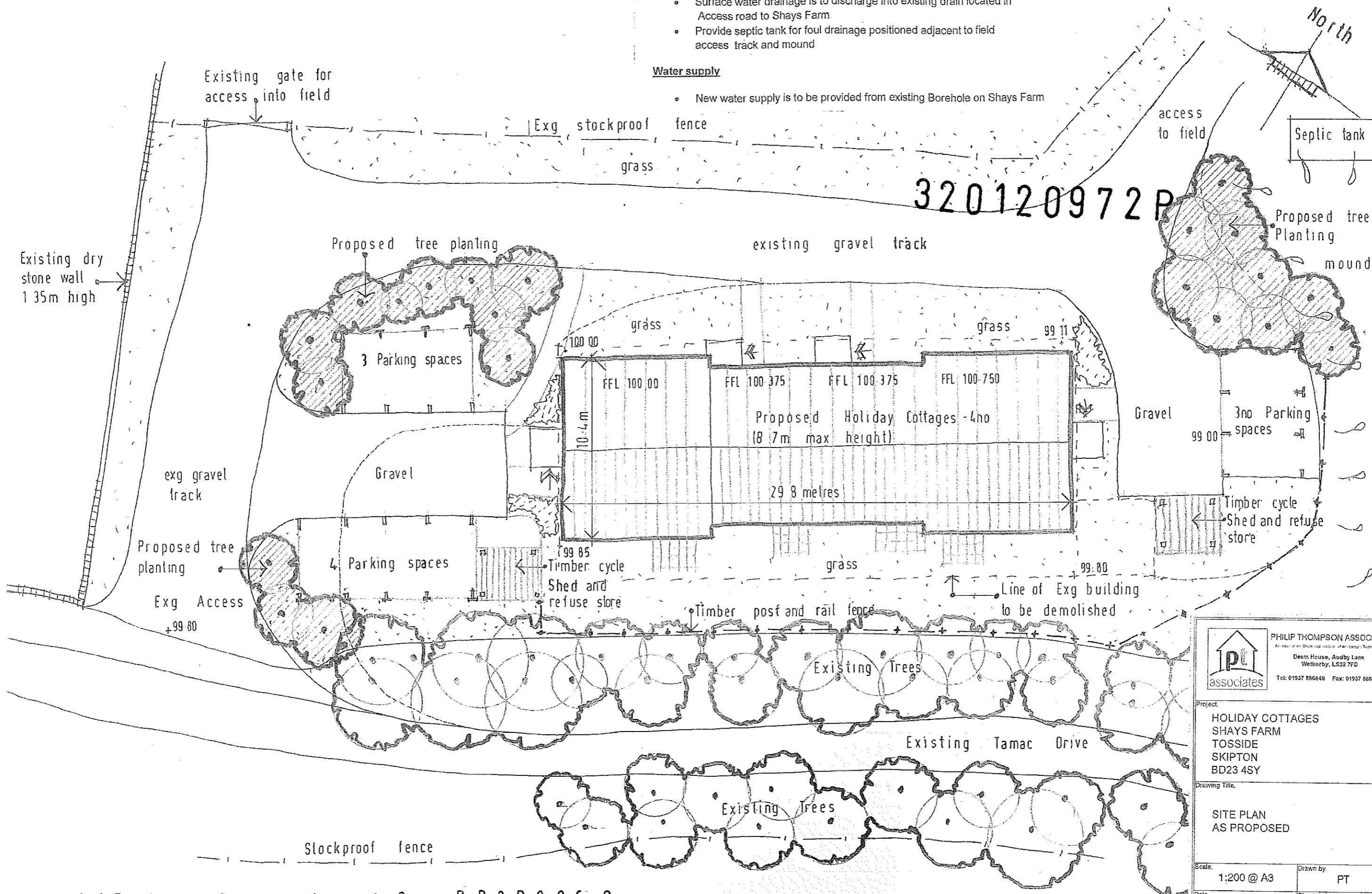
Scale: 1:200 @ A3	Drawn by: PT
Date: SEP 12	Checked by:
Drawing No. 1214/E1	Revision: A

Drainage

- Surface water drainage is to discharge into existing drain located in Access road to Shays Farm
- Provide septic tank for foul drainage positioned adjacent to field access track and mound


Water supply

- New water supply is to be provided from existing Borehole on Shays Farm



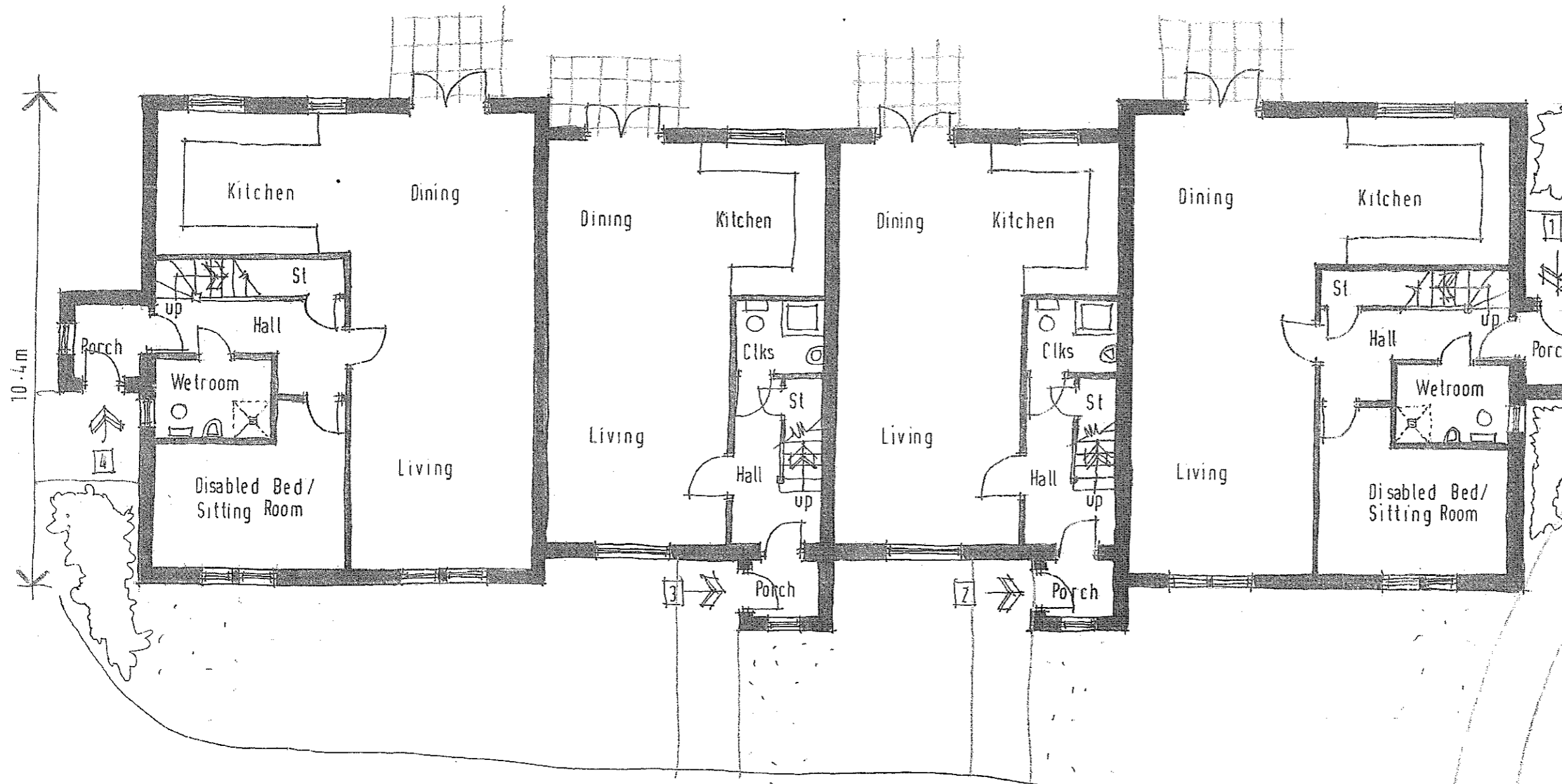
S I T E P L A N A S P R O P O S E D



 PHILIP THOMPSON ASSOCIATES <small>Member of an Approved System of Architects Technology</small> Deem House, Audby Lane, Wetherby, LS22 7FD Tel: 01937 586848 Fax: 01937 586846	
Project: HOLIDAY COTTAGES SHAYS FARM TOSSIDE SKIPTON BD23 4SY	
Drawing Title: SITE PLAN AS PROPOSED	
Scale: 1:200 @ A3	Drawn by: PT
Date: SEP 12	Checked by:
Drawing No. 1214/P5	Revision: A

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29.8 metres

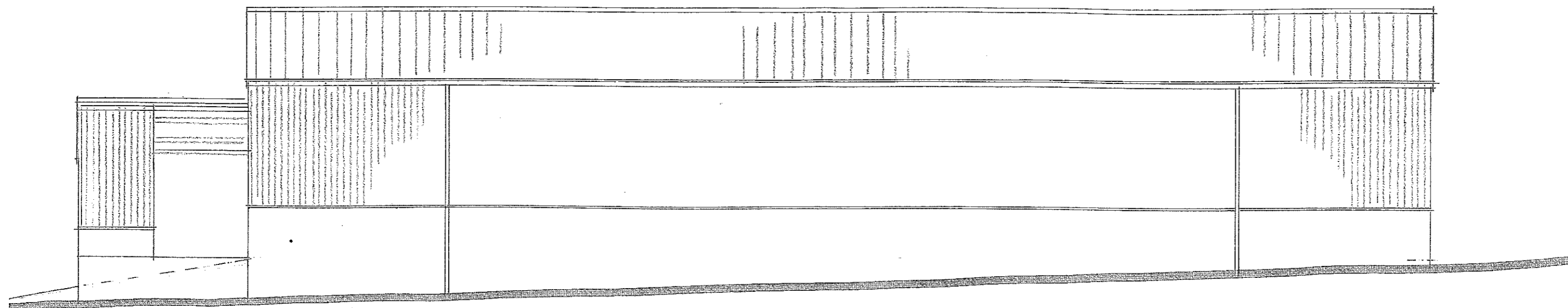


Rev B:- Disabled Bed added to Units 1 & 4

G R O U N D F L O O R P L A N .

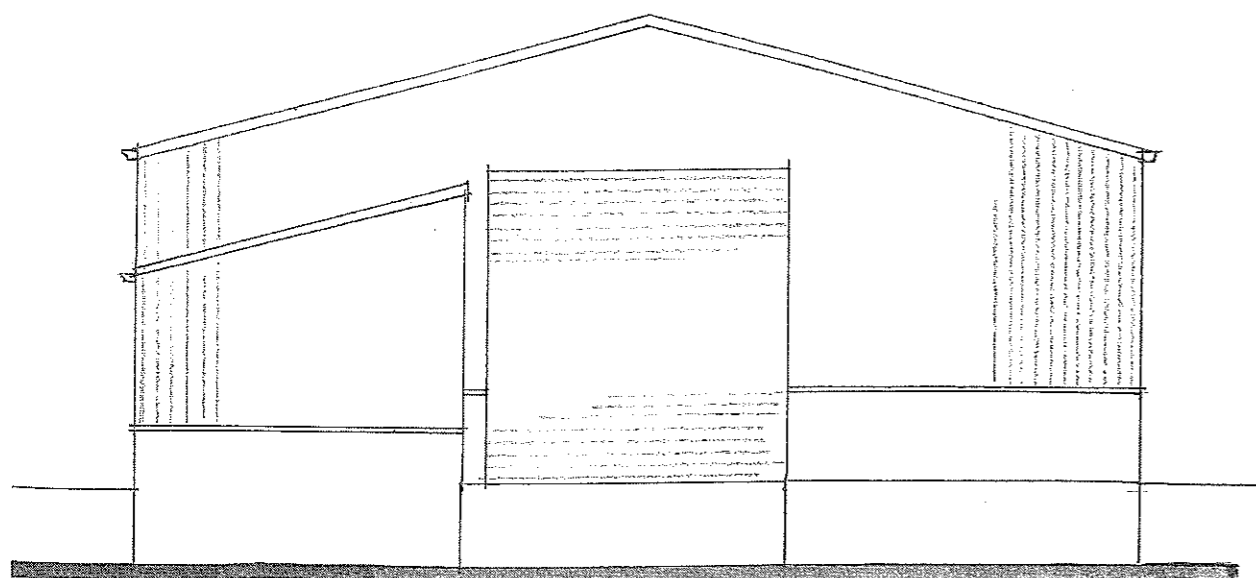


 PHILIP THOMPSON ASSOCIATES <small>Members of the Institution of Professional Technicians</small> Decm House, Audby Lane, Wetherby, LS22 7FD Tel: 01937 559846 Fax: 01937 606945	
Project: HOLIDAY COTTAGES SHAYS FARM TOSSIDE SKIPTON BD23 4SY	
Drawing Title: GROUND FLOOR PLANS AS PROPOSED	
Scale: 1:100 @ A3	Drawn by: PT
Date: SEP 12	Checked by:
Drawing No. 1214/P1	Revision: B

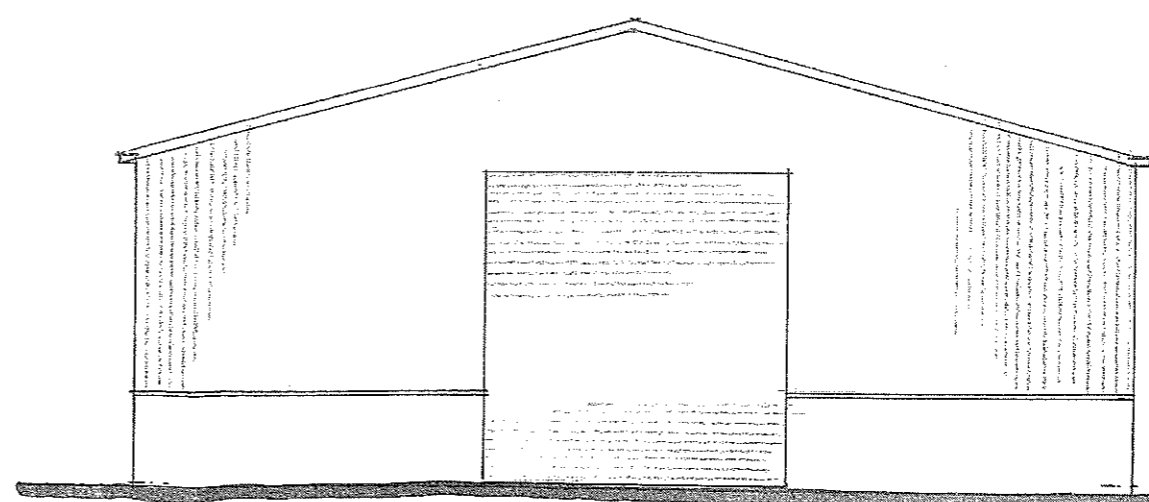


NORTH WEST ELEVATION


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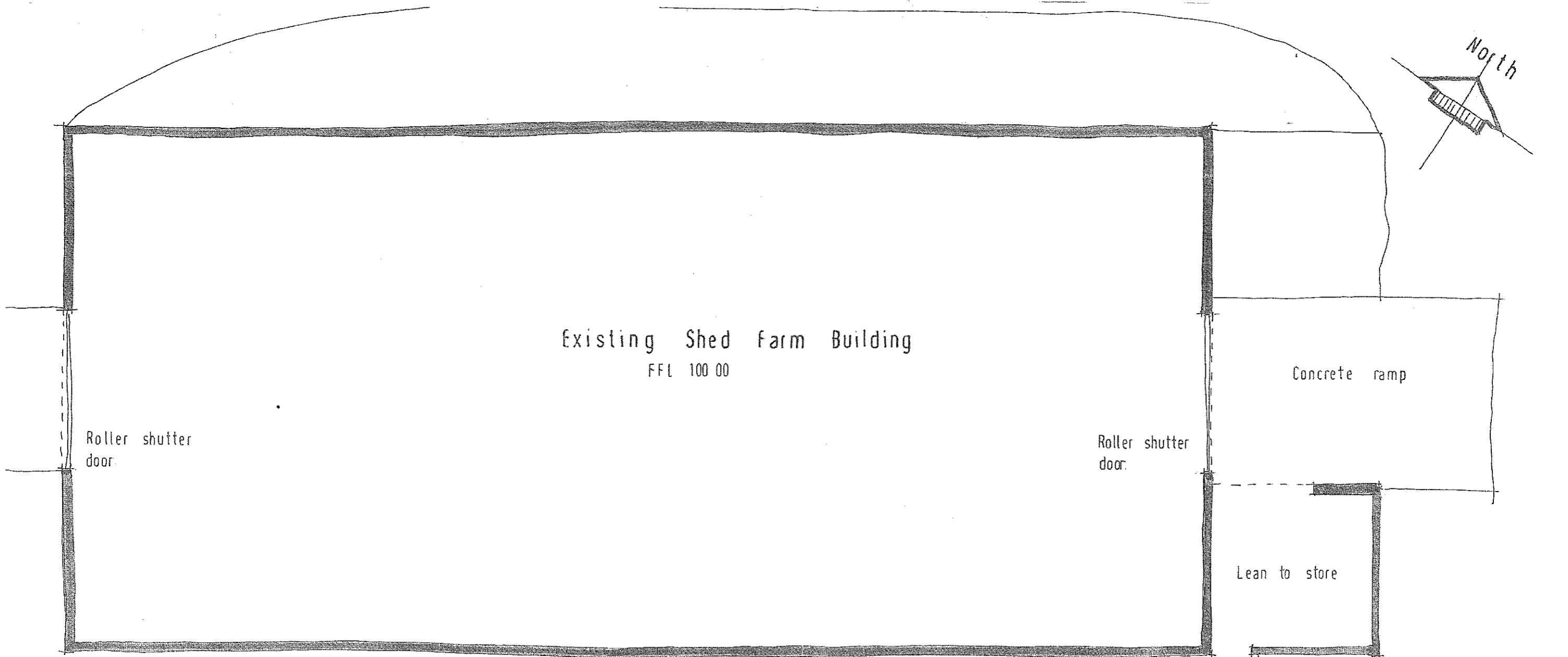
NORTH EAST ELEVATION



SOUTH WEST ELEVATION

 PHILIP THOMPSON ASSOCIATES <small>Members of the Chartered Institution of Architectural Technicians</small> Deern House, Audby Lane Wetherby, LS22 7FD Tel: 01937 556515 Fax: 01937 556515	
Project: HOLIDAY COTTAGES SHAYS FARM TOSSIDE SKIPTON BD23 4SY	
Drawing Title: EXISTING FARM SHED NORTH WEST, NORTH EAST AND SOUTH WEST ELEVATIONS AS EXISTING	
Scale: 1:100 @ A3	Drawn by: PT
Date: SEP 12	Checked by:
Drawing No. 1214/E3	Revision:





Existing Shed farm Building
FFL 100 00

Roller shutter
door

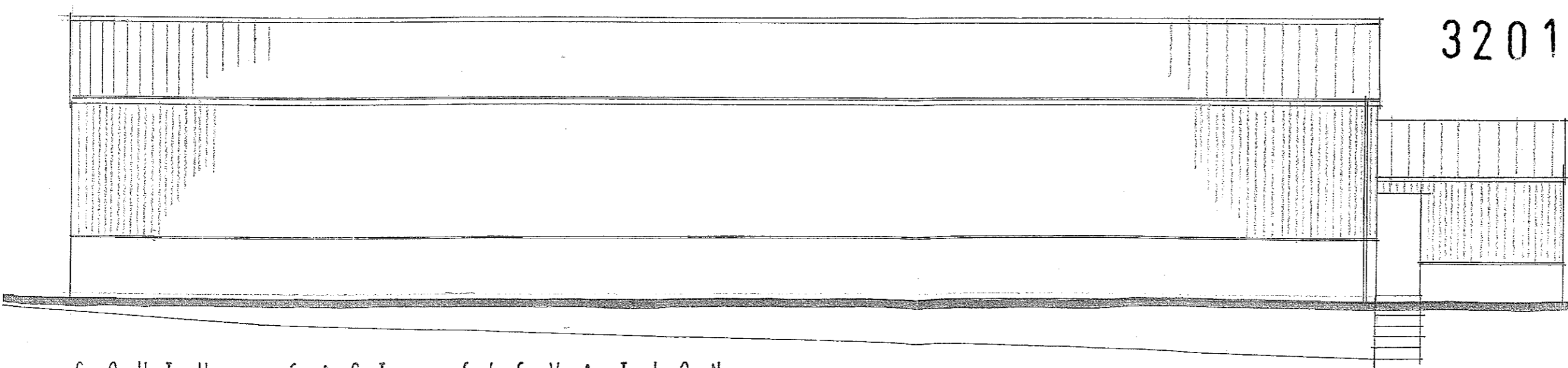
Roller shutter
door

Concrete ramp

Lean to store


G R O U N D F L O O R P L A N

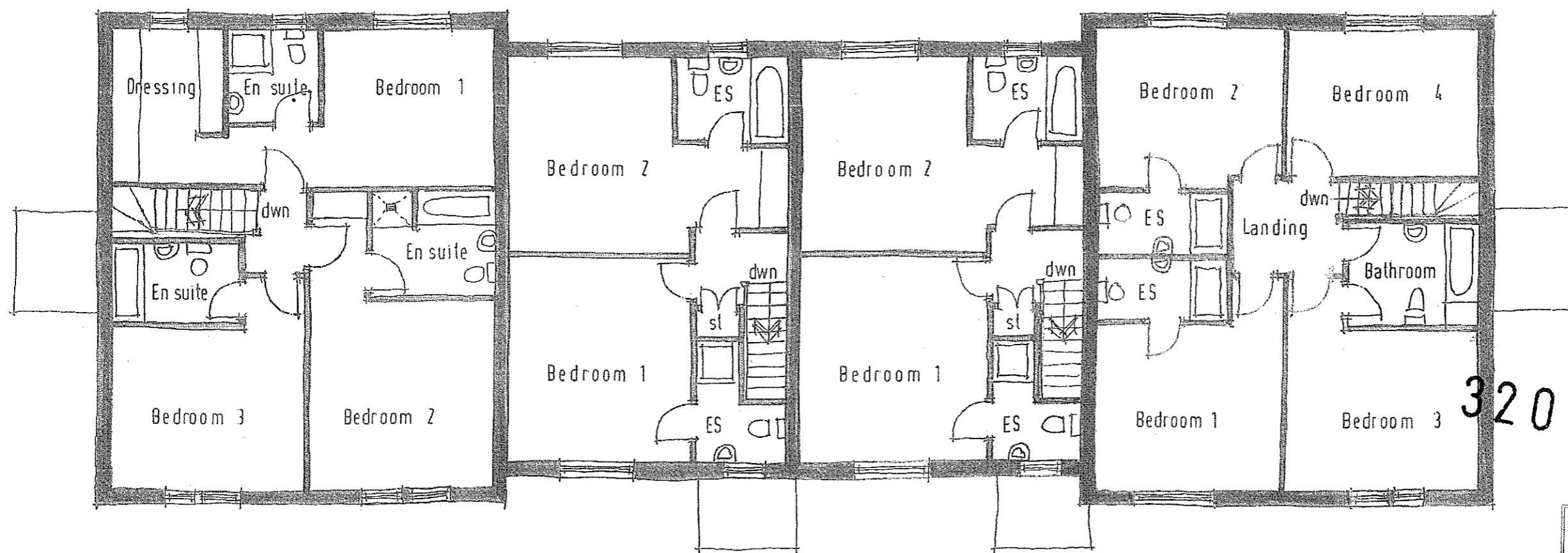
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S O U T H E A S T E L E V A T I O N




 PHILIP THOMPSON ASSOCIATES <small>Architects, Surveyors, Planning Consultants</small> 100, High Street, Wetherby, LS22 7FD Tel: 01937 546546 Fax: 01937 546545	
Project: HOLIDAY COTTAGES SHAYS FARM TOSSIDE SKIPTON BD23 4SY	
Drawing title: EXISTING FARM SHED GROUND FLOOR PLAN AND SOUTH EAST ELEVATIONS AS EXISTING	
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Drawing No: 1214/E2	Revision: [blank]



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F I R S T F L O O R P L A N

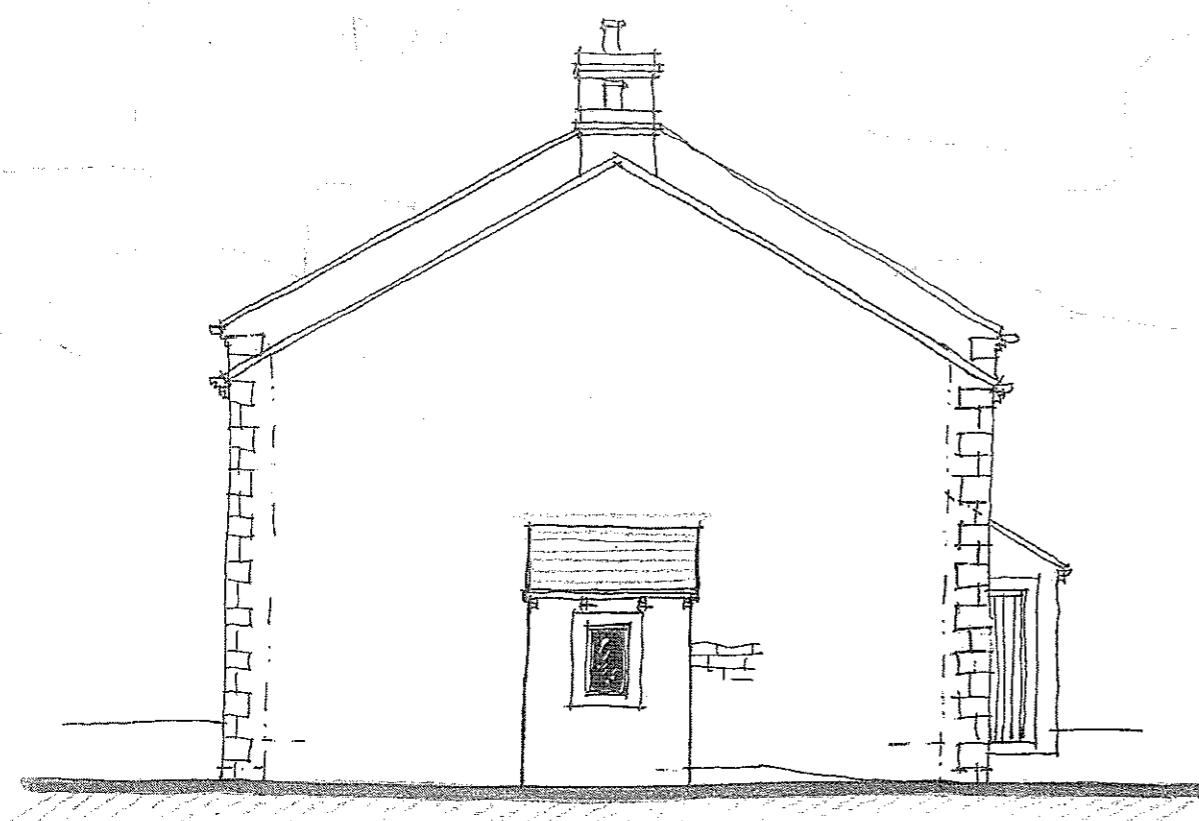


 PHILIP THOMPSON ASSOCIATES <small>Member of the Chartered Institute of Architectural Technicians</small> Deem House, Audeby Lane Wetherby, LS22 7FD Tel: 01937 588646 Fax: 01937 588616	
Project: HOLIDAY COTTAGES SHAYS FARM TOSSIDE SKIPTON BD23 4SY	
Drawing Title: FIRST FLOOR PLANS AS PROPOSED	
Scale: 1:100 @ A3	Drawn by: PT
Date: SEP 12	Checked by:
Drawing No. 1214/P2	Revision: A



NORTH WEST ELEVATION

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NORTH EAST ELEVATION.

Schedule of Materials

Roof

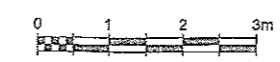
- Grey/Blue Natural slates
- Black ogee uPVC gutters and circular rainwater pipes
- Roof pitch 30 degrees


Walls

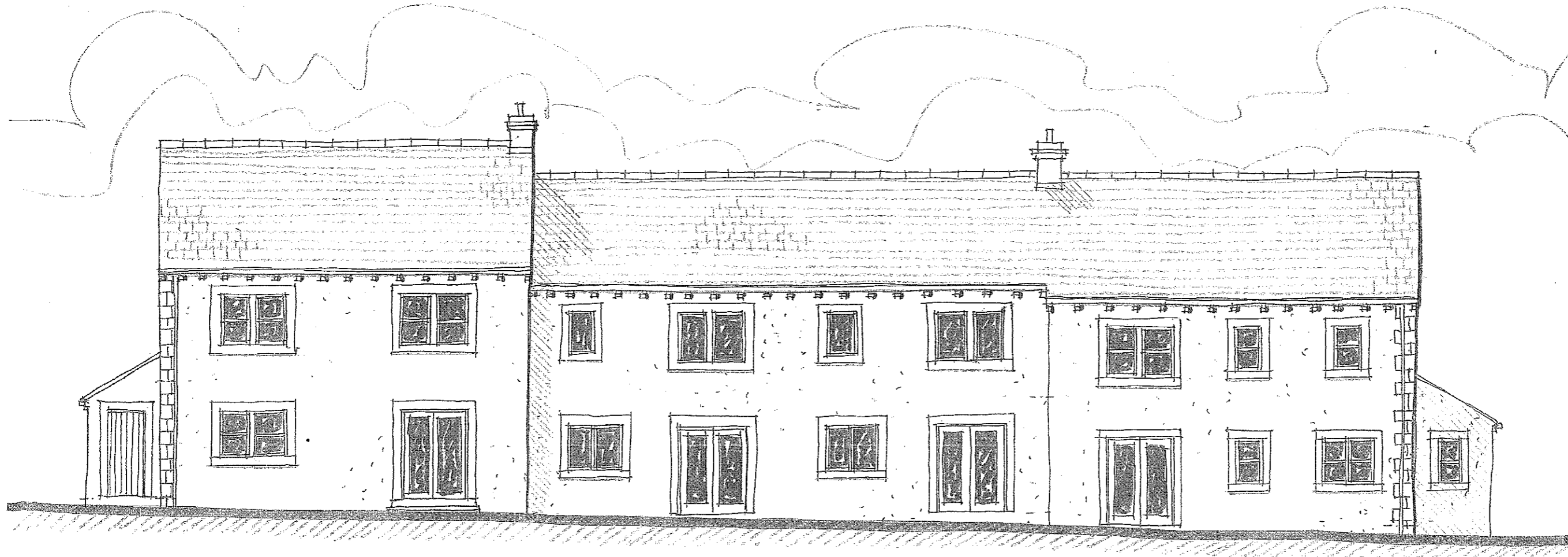
- Random coursed stone to all elevations except South East side
- Render to South East Elevation with natural stone quoins
- Natural Stone heads, cills, mullions and linings
- Stone corbels to eaves

Windows & Doors

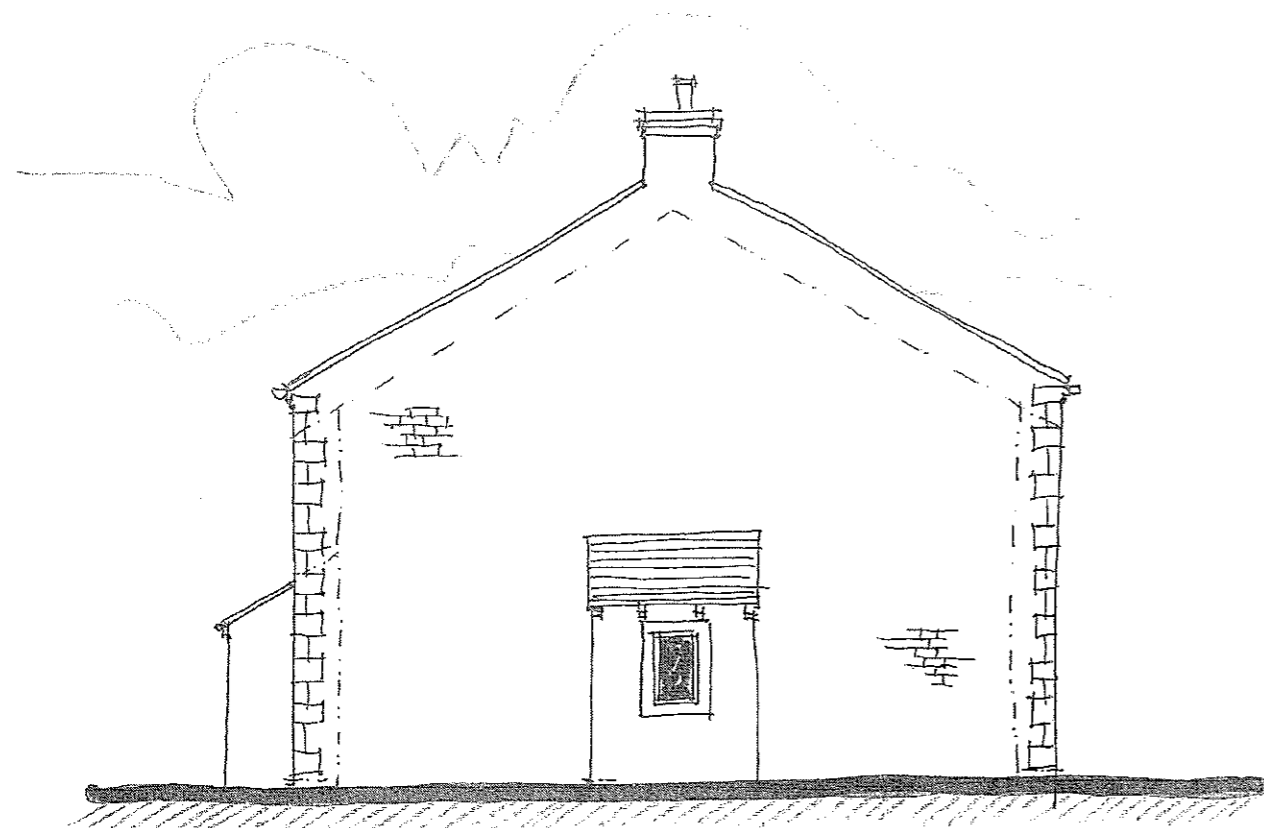
- Timber casement windows with minimum of 100mm reveals located within stone surrounds
- Stained timber doors



 PHILIP THOMPSON ASSOCIATES <small>Practice: 10th Greenway East, Wetherby, LS22 7PD</small> Deem House, Audby Lane, Wetherby, LS22 7PD Tel: 01937 586845 Fax: 01937 586846	
Project: HOLIDAY COTTAGES SHAYS FARM TOSSIDE SKIPTON BD23 4SY	
Drawing Title: NORTH WEST AND NORTH EAST ELEVATIONS AS PROPOSED	
Scale: 1:100 @ A3	Drawn by: PT
Date: SEP 12	Checked by:
Drawing No. 1214/P3	Revision: A



SOUTH EAST ELEVATION



SOUTH WEST ELEVATION

Schedule of Materials

Roof

- Grey/Blue Natural slates
- Black ogee uPVC gutters and circular rainwater pipes
- Roof pitch 30 degrees

Walls

- Random coursed stone to all elevations except South East side
- Render to South East Elevation with natural stone quoins
- Natural Stone heads, cills, mullions and linings
- Stone corbels to eaves

Windows & Doors

- Timber casement windows with minimum of 100mm reveals located within stone surrounds
- Stained timber doors

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Project

HOLIDAY COTTAGES
 SHAYS FARM
 TOSSIDE
 SKIPTON
 BD23 4SY

Drawing Title

SOUTH EAST AND SOUTH WEST
 ELEVATIONS AS PROPOSED

Scale

1:100 @ A3

Drawn by

PT

Date

SEP 12

Checked by

Drawing No.

1214/P4

Revision

