

DESIGN AND ACCESS STATEMENT

Higher Lickhurst Farmhouse, Leagram, Chipping
July 2013 (rev. d)

Alterations and Repairs to the Grade II Listed Farmhouse



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SITE ANALYSIS

Higher Lickhurst Farmhouse is a Grade II Listed dwelling situated in the Forest of Bowland Area of Outstanding Natural Beauty (AONB), between Chipping and Whitewell.

Access to the site is from a lane to the East.

The site is elevated above the bottom of a valley containing a tributary of the River Hodder, which flows to the East. Land in the vicinity is predominantly of agricultural use and interspersed with woodland.

To the South of the site is Lower Lickhurst Farm, which has a right of access through the existing farmyard to Higher Lickhurst Farm. The site boundary, and therefore the proposal, of this application does not affect this right of access.

The site at Higher Lickhurst Farm is occupied by a number of different buildings. As well as the farmhouse, there are three traditional barns and other small ancillary buildings.

The listing description of the farmhouse is described as follows:

House, late C.18th. Squared watershot sandstone with slate roof. Double - pile plan with central entry end stacks. 2 storeys, 2 bays. Windows of 3 lights with square mullions. Door surround has Tuscan pilasters, a narrow pulvinated frieze, and a moulded pediment. The right-hand (East) chimney now has a brick cap, and the left-hand gable is slate hung. At the rear is a stair window with plain stone surround and segmental head.

Current access to the farmhouse is via a porch on the North elevation of the building, although historically the South elevation would have been the frontage to the house.

There is a single storey stone building attached to the East side of the building. Historically it is not clear what this was used for, but it is believed that it had some form of domestic purpose as part of the farmhouse.



PLANNING STATEMENT

PROCESS

Due regard has been made to previous refused planning applications -

Ref: 3/2009/1037 & 1038

Ref: 3/2011/0677 & 0679

Ref: 3/2012/1094

Reference to the Delegated Item File Reports for all schemes, as well as the Refusal Notices and written pre-application advice (pre-application to both the previously refused planning application and the current application), have all been made, and used to inform the latest design of the proposals. In addition a room by room walk through the property was part of the pre-application site meeting with Mark Baldry (RVBC) on 15th May '13.

POLICIES

We have consulted the relevant planning policies believed to be of specific significance to this scheme. These have been used to inform design decisions and changes to this latest scheme. We have also made reference to specific aspects of these policies in the later text in this report:

Planning (Listed Buildings and Conservation Areas) Act 1990

National Planning Policy Framework

Ribble Valley Districtwide Local Plan (including but not limited to):

Policy ENV1 - Area of outstanding Natural Beauty (AONB)

Policy ENV3 - Development in open countryside

Policy ENV19 - Listed buildings

Policy ENV20 - Proposals Involving Partial Demolition/Alteration of Listed Buildings

Policy G1 - Development Control

PREVIOUS APPLICATION REASONS FOR REFUSAL

- The proposal has an unduly harmful impact upon the character (including setting) and significance of the listed building because of the disruption to planform (double-pile) through room subdivision and the impact on the historic front elevation from conspicuous, incongruous and visually intrusive roof lights. This would be contrary to Policies ENV20 and ENV19 of the Ribble Valley Districtwide Local Plan.

- Insufficient information has been submitted to understand the impact on the special architectural and historic interest of the listed building from the introduction of new services and conversion of the attic to modern standards. This is contrary to Policy

ENV20 of the Ribble Valley Districtwide Local Plan.

- Harmful impact upon the character (including setting) and significance of the listed building - - attic floor historic fabric, first floor room plan form and incongruous, conspicuous and visually intrusive roof lights and French-doors. Planning (Listed Buildings and Conservation Areas) Act 1990.

We believe the previous concerns have been fully addressed by the current proposals.

HERITAGE STATEMENT

INTRODUCTION

Paragraph 129 of the NPPF states:

“Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this assessment into account when considering the impact of a proposal on a heritage asset, to avoid or minimise conflict between the heritage asset’s conservation and any aspect of the proposal.”

A heritage statement has been prepared by a Buildings Archaeologist - Stephen Haigh and accompanies this application. The following text should be read in conjunction with this statement:

STATEMENT OF SIGNIFICANCE SUMMARY

Stephen Haigh summarises the significance of the farmhouse as follows -

“...As a grade II listed building since 1983, Higher Lickhurst Farmhouse is nationally important and is a well preserved example of a small, late 18th century farmhouse whose elevations and plan form survive very little altered, together with a number of original external and internal features, including stone masonry (such as the surrounds to the front doorway and stairs window) and joinery (such as internal doors – the window frames all appear to have been replaced).”

He gives the following summary description for the two elements of the dwelling which are the focus of this application as follows -

The House

“...The house has a direct entry into the living room or housebody, with a heated parlour in the west side, and a central rear dog-leg staircase between scullery and pantry at the rear. The first floor has four bedrooms, the front two heated, and the stairs continue to an attic floor, not underdrawn, but with a fully boarded floor and clearly originally intended for regular use, although the staircase is now sealed off on the first floor, with only a small access hatch for occasional use.”

The Addition

“...The interior forms a single space open to the roof (borne on softwood purlins) and has no features of interest. It seems to have been intended as a domestic rather than agricultural outbuilding although its original function is not known.”

He summarises his opinions of the effects of the proposals on the significance of the heritage asset as follows -

“The repointing and re-slating of the farmhouse, replacing cement ribbon pointing and using the existing coverings (blue slate to the front pitch, local grey slate to the rear), would have a positive impact on the building.

The creation of a WC on the ground floor within the present pantry would not lead to the loss of any historic fixtures or fittings, and would be essentially reversible.

The conversion of the addition at the east gable to form part of the domestic accommodation would have a minor impact on what is a relatively late and architecturally undistinguished part of the building,The creation of a new doorway in the south wall....and of a new doorway from the existing kitchen, do not affect areas of particular interest, or historic fixtures.”



SIGNIFICANCE IN THE CONTEXT OF PLANNING POLICY

A significant aspect of the long term sustainability of this property is the reestablishment of the building as a residential property. NPPF supports this in paragraph 126:

“Local planning authorities should set out in their Local Plan a positive strategy for the conservation and enjoyment of the historic environment,29 including heritage assets most at risk through neglect, decay or other threats. In doing so, they should recognise that heritage assets are an irreplaceable resource and conserve them in a manner appropriate to their significance. In developing this strategy, local planning authorities should take into account:

- *the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation...”*

The proposals are seeking the repair and adaptation of the existing building to be more suitable for the expectations of modern family living and therefore make it a more desirable place to live. It is expected that this will bring a long-term sustainability to the building which otherwise may have been at risk. Historically, this building would have been a focal point for the farm community with a commercial and residential purpose. With the change in farming practices, this building is now surplus to requirements and therefore has to adapt to the expectations of modern residential home owners to benefit its long term sustainability and facilitate the upkeep of this heritage asset.

NPPF paragraph 132 states:

“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be...”

The accompanying Heritage Statement has acknowledged the significance of the building by virtue of its listing status. It has also highlighted certain aspects of its historic design, which contributes to this significance - namely the traditional plan form and the unaltered elevations. The alterations proposed have been carefully considered in this context and involve very limited, reversible, alterations to the historic fabric.

In terms of the NPPF therefore, we would consider this ‘harmful impact’ to be less than substantial harm and would therefore expect the scheme to be assessed under the criteria of paragraph 133:

“Where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- the nature of the heritage asset prevents all reasonable uses of the site; and*
- no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and*
- the harm or loss is outweighed by the benefit of bringing the site back into use.”*

The proposed alterations to the scheme will enhance the current accommodation and bring back into use unused or underused parts of the existing residential property - making this a more sustainable family property overall.

The proposed repairs and alterations to this property respects the qualities identified earlier, and endeavours to maintain and enhance them. In turn, their addition will enhance the use of the property as a family residence as a means of achieving the continuing protection and conservation of the historic fabric, detail and finish of the building overall.



THE PROPOSALS IN THE CONTEXT OF THE NPPF AND THE RIBBLE VALLEY DISTRICTWIDE LOCAL PLAN

The proposals have been developed in the spirit of the relevant policies of both the National Planning Policy Framework (NPPF) and the Ribble Valley Districtwide Local Plan. The following also makes reference to the Historic Environment Planning Practice Guide (HEPPG), which was originally written as a guide to the now defunct PPS5 but is still relevant to the more recent NPPF.

One of the most important is policy ENV19 of the Ribble Valley Districtwide Local Plan, which states:

“Development proposals on sites within the setting of buildings listed as being of special architectural or historic interest which cause visual harm to the setting of the building will be resisted. In assessing the harm caused by any proposal the following factors will be taken into account:

- i) The desirability of preserving the setting of the building*
- ii) The effect of the proposed development on the character of the listed building*
- iii) Any effect on the economic viability of the listed building*
- iv) The contribution which the listed building makes to the townscape or countryside*
- v) The extent to which the proposed works would bring substantial benefits to the community including economic benefits and enhancement of the environment.”*

Repair -

Policy ENV19 addresses the aspect of repair:

“Proposals for the alteration or repair of listed buildings should be sympathetic to their character and appearance. The most important features of any listed building will be preserved.”

The proposals will respond positively to this by using appropriate materials and methods of repair -

- Existing materials will be reused wherever possible.
- If new materials are to be used they will be from reclaimed sources to match.
- Pointing will be to traditional specifications using a lime based mix.
- Where it is not possible to carry out effective repairs (where the materials have come to the end of their effective life) such as downpipes or gutters, then suitable matching materials will be specified to forms and patterns to match the existing.

Addition and Alteration -

Paragraphs 178 - 192 of the HEPPG address the alteration elements of this application. Careful consideration has been given to the proposed changes in the context of the significance set out in accompanying documents and text. Paragraph 180 makes particular reference to the encouragement that any alterations to heritage assets should be reversible -

“...Where possible it is preferable for new work to be reversible, so that changes can be undone without harm to historic fabric.”

The HEPPG goes on to say that reversibility alone is not justification for alteration, but it is felt that on balance, in the context of earlier statements of need, it is our opinion that the proposals will have a negligible impact on the existing historic fabric. The following text breaks the proposals down into their constituent parts in order to assess each aspect of the scheme:

Existing Outbuilding -

We quote the buildings archaeologist on this matter -

“...The conversion of the existing outbuilding will have no effect upon the interior of the structure which the Heritage Assessment describes as - “conversion of the addition at the east gable to form part of the domestic accommodation would have a minor impact on what is a relatively late and architecturally undistinguished part of the building.”

The pre-application response from Ribble Valley Borough Council also indicates that this is an acceptable change. (Email dated 25/6/2013)

Ground Floor -

The introduction of a ground floor WC within the utility space as shown in previous applications has been omitted to appease the concerns raised regarding the subdivision of the ground floor plan form. This has resulted in a sacrifice of the desire for modern standards for disabled access and facilities. However, the double pile plan, as determined by the stair enclosure and the surrounding structural walls, will be maintained unaffected.

First Floor -

The new entirely necessary sanitary facilities at first floor level will be integrated within the shell of the historic plan so that the structural arrangement of the building is maintained. The new partition will be constructed off the existing floors and scribed around any existing historic features such as cornices, skirtings etc in order to maintain

the historic fabric intact. This work will therefore be completely reversible in the spirit of the NPPF. Past applications, as mentioned previously, have been turned down on grounds of harmful impact on the plan form. As a result, the comparative scale of alterations proposed to the house in this application have been reduced to only the most essential work. The applicant also wishes to add his view that the suggestion in the pre-application advice, as offered by Mark Baldry, to use the available space in a single ‘Jack and Jill’ bathroom arrangement is not workable in a 3 bedroom family home.

Second Floor (Attic) -

The existing attic space is completely boarded in its historic state, and it has been confirmed in the Historic Assessment that it was used as habitable accommodation at some point in its history:

“...the stairs continue to an attic floor, not underdrawn, but with a fully boarded floor and clearly originally intended for regular use, although the staircase is now sealed off on the first floor, with only a small access hatch for occasional use.”

The current proposal makes no alteration to either the existing attic space or the existing access difficulties. As a result there are also no plans to introduce rooflights to the building, as proposed in previous applications.

Only like for like essential repair work is proposed in the attic space.

Historic Interior Elements -

Paragraph 180 of the HEPPG makes reference to retention of existing fabric where it is now redundant -

“...Where new work or additions make elements with significance redundant, such as doors or decorative features, there is likely to be less impact on the asset’s aesthetic, historic or evidential value if they are left in place.”

This has particular relevance to some existing historic doors within the structural ‘shell’ of the double pile plan. Where new partitions are to be inserted within the shell it is the intention to retain all the existing doors within the historic structural floor plan.

Historic Plan Form -

Paragraph 182 highlights the importance of the plan form to the significance of the building. It is the double-pile plan which this scheme seeks to retain in its complete form with rooms centered around the main staircase. Where a new partition is

introduced these are all contained within the structural walls of the plan (constructed off the historic floor level). This will not have a detrimental impact upon the significance of the historic plan form as outlined in the listing description and heritage statement.

New Services -

The scheme responds positively to the need for considering the impact of services upon the historic fabric as outlined in paragraph 189 - *"new services, both internal and external can have a considerable, and often cumulative, effect on the appearance of a building and can affect significance.."*.

The approach adopted in the scheme for integrating new water feeds, waste pipes and heating pipes, particularly within new bathroom areas, is to introduce a series of 'false walls' set around 250 - 300mm in front of the historic walls to suit the existing cornices, skirtings etc. This sets up a series of service ducts which will allow all new services to be run within the voids without the need for chasing out plaster, walls etc or having new fixings into the existing structure. Where services are required to run horizontally they will be contained within the existing historic floor or ceiling joists where existing floor boards can be removed and reinstated once work is complete.

THE PROPOSALS IN THE CONTEXT OF APPEAL DECISIONS

In the delegated item report for the refusal of the previous application for the site, reference is made to a number of appeal decisions to support the reasons for refusal. We have assessed the inspectors' reports for each of these examples and would make the following comments:

Appeal for 58 Moor Lane, Clitheroe
(Ref. APP/T2350/E/07/2041941, 12 October 2007)

The appeal decision related to the renovation of an existing listed property to bring it back into use, which included issues of historic plan form, new rooms and service runs. On face value, it would appear that this appeal and the inspector's decision is similar in nature to the application proposal, but on closer inspection this is not the case. In terms of the principle of the development, the inspector was supportive -

"In principle the proposal to bring the property back into use as a dwelling is to be welcomed and would be entirely appropriate. The government's Planning Policy Guidance: Planning and the Historic Environment (PPG15) stresses the importance of safeguarding our historic buildings through good stewardship and emphasises the need for owners and local planning authorities to cooperate to secure a viable economic use for them."

The basis of this submitted application is very much the same - the desire to carefully update an existing dwelling to make it more suitable, and therefore sustainable, for a modern family use.

The other main thrust of the inspector's report, and ultimately the basis for his decision to dismiss the appeal was based upon the appellant's limited drawn information and therefore lack of clarity regarding the scheme and its implementation -

"...However, it also clarifies that developers should provide sufficient written information or drawings to fully describe the proposed works and that repairs, other than on a like for like basis must be justified; building owners are encouraged to seek expert professional advice on the best way to carry out any works to their property. The drawings submitted are schematic with little detail and few notes. On the basis of these and from what I have seen on site I am not convinced that the detailed implementation of the proposals would preserve the historic fabric of the building in accordance with the principles set out in PPG15." (paragraph 6)

also,

"...Internally, the proposed provision of an en-suite bathroom within the front first floor

bedroom would be uncomfortably close to the existing fireplace and would distort the original shape of the room. Insufficient measured detail has been submitted to reassure me that this could be satisfactorily achieved without a physical conflict with this attractive original fitting. The provision of drainage for the proposed first floor WCs between the floor joists is indicated, but no installation details have been provided to demonstrate that this is feasible, with sufficient falls, within the existing depth of joists. Furthermore, no reference has been made to the provision of a heating system, which would be necessary for modern living but the installation of which should be carefully planned.” (paragraph 9)

The current application for Higher Lickhurst Farm provides detailed information regarding location of new works, areas of removal or adaptation and specific references to proposed services. We are therefore confident that a full assessment has been made of the existing heritage asset and how a sensitive scheme can be integrated within the existing fabric - limiting the irreversible impact of any proposals.

The concluding remarks by the inspector very much summarises that his primary reason for dismissing the appeal are based upon a lack of information and not the actual proposals themselves necessarily -

“I conclude that the works already undertaken have harmed the listed building and insufficient information has been submitted to demonstrate that those proposed would preserve its special architectural and historic interest.” (paragraph 12)

Appeal for 35 King Street, Whalley
Ref. APP/T2350/E/10/2135049, 16 December 2010)

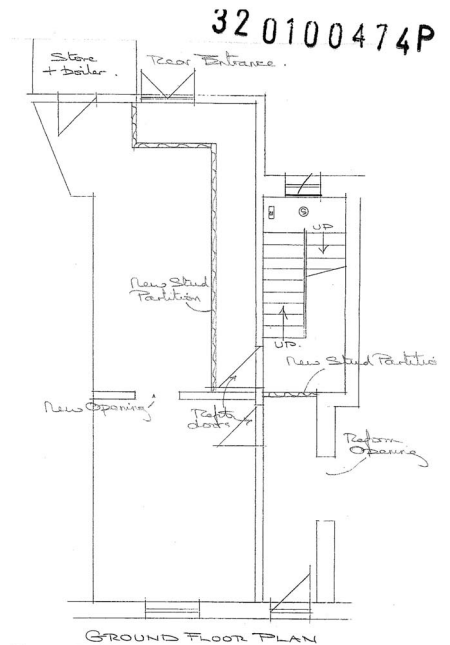
This appeal was based around the application for subdivision of an existing commercial premises. The proposals made alterations to key elements of the building including the entrance hall and stairway through introducing new partitions. Reference is made to a new partition which completely subdivides a rear room to create two separate rooms. The inspector’s comments included the following paragraph -

“...The proposed works would be seriously harmful to the character of the building. The subdivision of the entrance hallway would result in the loss of the original plan form of the building and the visual connection between the entrance doorway and the staircase. The new stud partition in the rear ground floor room would be especially harmful because it would subdivide an original room, would create an incongruous long dog-leg corridor, and would result in the creation of a narrow room without natural lighting. The new opening between the front and rear rooms would further undermine the original plan form of the building. In addition, access to the residential part of the

building through the original front door off King Street would be replaced by a rear entrance into the narrow dog-leg corridor. Such a contrived arrangement, resulting from the expansion of the hairdresser’s shop, is unacceptable, as would be the installation of a modern false ceiling.” (paragraph 5)

It is clear from the inspector’s comments that the decision to dismiss the appeal was based upon a series of proposals which cumulatively would be harmful to the significance of the heritage asset and particularly the plan form - as the drawing opposite illustrates.

By contrast, the Higher Lickhurst Farm application under consideration retains in its entirety the structural form of the double-pile plan as orientated from the existing staircase. The singular minor insertion into the bathroom still allows reference to the original room proportions and can be completely reversed should alternative arrangements be required by future occupiers or users.



Appeal for Rodhill Lodge, Bolton by Bowland
(Ref. APP/T2350/E/08/2072213, 8 August 2008)

This appeal makes reference to a new conservatory structure to one side of the property and its effect upon the appearance of the listed property despite its situation with limited views from the public highway. The inspector’s summary is as follows -

“In my opinion the conservatory now proposed has less of an impact upon the listed building than previous schemes (see letter to agent 26 June 2007). It is also proposed to the rear elevation – land levels rise here so that the proposal would be screened from most public views outside of the site. However, the extension and patio would be seen from the entrance gate to Rodhill Lodge within the context of previous alterations to the listed building.”

In the context of the current, and revised, Higher Lickhurst Farm application, these comments have been noted, and the proposed rooflights have been removed. It

should be noted however that on a previous application the property had been granted consent for three rooflights - to provide lighting and ventilation to its existing converted attic. It should also be noted that the current proposals are for an historic attic space which was historically intended for habitable use. -

*“In 2001 the Borough Council granted listed building consent and planning permission for the insertion of three roof lights into the south east elevation.”
(3/2001/0505 - studio room in existing roof space).”*

THE PROPOSALS IN THE CONTEXT OF ALLOWED DECISIONS

Two recent planning applications granted consent for schemes which we feel support the enhancement of the existing dwelling accommodation through reordering.

Both schemes were for Grade II Listed buildings where the attic space had been historic habitable space prior to falling into disuse. One scheme introduced new partitions and, in particular, both schemes new rooflights to front or rear elevations - including reinstatement of existing gable windows. These schemes were

29 Church Street, Ribchester (Ref. 3/2010/0091 & 0090)

Rooflights to rear and principle elevations approved 22 July 2010 - existing accommodation in roof space upgraded.

Eaves House Farmhouse, West Bradford (Ref 3/2010/0476)

Rooflights to rear elevations and reinstatement of gable windows - granted on appeal 3 September 2010.

The inspector's comments in his report for this appeal application were particularly supportive of this general approach to careful conversion or adaptation of a listed structure -

“...if there could be said to be any harm at all to the historic fabric, it would be infinitesimal.”

and

“...there is nothing in relation to the Local Plan Policy ENV 20 that could warrant dismissal of any appeal. Nor do I find conflict with Planning Policy Statement 5: Planning for the Historic Environment (PPS5) or the accompanying Practice Guide (and the thrust of PPS5 is maintained in the recently published Draft National Policy Framework).”

SUMMARY

A number of alterations have now been introduced in the current proposals for the application for Higher Lickhurst Farm. These are summarised in the following pages. In the context of both planning policy and planning precedence set by application and appeal decisions, the approach adopted in the proposals is very much within the guidelines and spirit of NPPF and its accompanying HEPPG as well as Local Planning Policy.

THE PROPOSALS IN THE CONTEXT OF RECEIVED PRE-APPLICATION ADVICE

Received Pre-Application Advice (Mark Baldry - Ribbles Valley Borough Council - 25/06/2013):

"Dear Mr Wilson

Enquiry Ref: RV/2013/ENQ/00059

Address: Higher Lickhurst Farmhouse, Leagram, Chipping.

Proposal: Internal and external alterations and repairs.

I am emailing in response to your request for pre-application advice in respect of the above property; My apologies for the delay in responding to you. Further to our meeting of the 15th May; I have had an opportunity to consider the proposals and I would offer the following comments.

The scheme originally submitted with your pre-application submission details a differing scheme from that which is now proposed following our meeting. For clarity I will offer comments on the scheme and works detailed in the plans given to me during our site meeting and those detailed within the meeting notes you provided to me via email on the 3rd June.

Extension at ground floor into existing attached outbuilding to form kitchen:

The principle of extending the property into the existing outbuilding is acceptable. With regard to the proposed internal works, the forming of an entrance way from the existing dwelling from the area that would become the hallway is again acceptable. Care should however be taken to ensure that the formation of the internal link through from the existing kitchen does not compromise other features such as the chimney breast further along the elevation.

The proposed alterations to the existing opening on the East gable of the outbuilding are again in principle acceptable. The opening appears to be double width given the existing timber lintel; so the fixing of the timber door as a shutter would aid to maintain such appearance. The existing opening itself given its location could be utilised as a good source of natural light to the kitchen.

With regard to the proposals to form an additional opening in the rear (south) elevation of the existing dwelling. The preference would be for this to be a single leaf door or alternatively a design which replicated the arrangement on the North elevation may also be workable; a simple timber board door with an accompanying window of a form in keeping with those already used in the dwelling. The design and general form should take cues from the arrangement on the north elevation.

Dining Room Fireplace:

It was clear during my site visit that the fireplace in the existing dining room is of no particular historic merit or significance. As such its removal would not present any particular objections.

Removing the fireplace may uncover opportunities for other historic features which could be reintroduced into the house. I would therefore advise that any such works should proceed with a degree of caution to ensure that the removal does not then jeopardise structures such as the chimney breast and gable wall. Any subsequent replacement should be sympathetic to historic significance of the building.

Living room front door to rear garden:

The existing door, again as was clear during my site visit, is a modern addition which is of no particular historic significance or merit. As such its replacement would be supported subject to a suitable design and form being proposed. The preference would be a timber door rather than a UPVC or composite type door.

Cold Slabs in utility room:

A significant historic feature of the utility room. Their retention is welcomed.

Window Repairs:

Repairs to the existing windows would be supported; subject to the finer details being appropriate.

En Suite & Bathroom at first floor level:

Of the raft of works proposed this is perhaps going to be the most contentious aspect and significant. To locate the bathroom and en suite next to each other is logical as it would allow for services such as water and drainage to be shared rather than requiring the duplication of drainage pipes elsewhere in the dwelling if they were separated, which would be of benefit to safeguarding the fabric of the building.

As you are aware the existing dwelling has a distinctive double pile plan form; which is detailed within the English Heritage List description. The division of the room to accommodate the bathroom and en suite will alter this. The determination that will have to be made is whether this of such significance to warrant the refusal of any consents. The scheme as proposed now on the face of it would be far less disruptive to the plan form of the dwelling when compared to previous proposals. I acknowledge your comments with regard to the room being within the structural cell of the existing building rather than requiring extensive internal remodelling. Therefore on balance the principle of forming an en-suite in the manner indicated on the plans provided to me during our meeting would be acceptable. This will be subject to the precise details of the works being considered appropriate.

Any submission proposing this would have to provide appropriate justification and demonstrate that the works would not harm the significance of the building; such as how it will be incorporated into the existing fabric of the building. I note the references you cite within your submission, such examples may prove useful in demonstrating and justifying the works.

As an alternative you may wish to explore the idea of a 'jack and jill' bathroom which would provide dual entrances from the rear bedroom and the landing giving access to bathroom facilities negating the need for the subdivision of the plan form.

Changes to modern doors:

This is a potential area of concern particularly if it would result in the loss of fabric and significant features. Repair may be a more appropriate route, whilst any replacement should reflect the character of the property.

Matching boarded door to kitchen to kitchen:

As per the comments above, the preference would be to repair if possible. However any replacement should be reflective of the character of the dwelling.

Upgrade of Living room door:

The existing door appeared to be of some merit; as such repairs which would safeguard its continued use would be supported.

Oil Boiler and New Central Heating:

The principle of such works would be supported. The placement and routing of the associated pipes and plumbing should be given due consideration as not to significantly disrupt the fabric of the building. Whilst not shown on your plans; I assume provision for an Oil storage tank would be required. If so the same consideration should be given to determining its location around the site.

Repairs to Bulging Gables:

Clearly such repairs will be vital in ensuring that the building is of a safe condition and also aide too ensure its longevity. However such works could equally have the potential to cause serious harm to the building if undertaken poorly, significantly altering the character of the building. It may be of benefit therefore to undertake structural surveys of the building to fully determine the precise nature and extent of the works that are required. This may aide to inform the areas of work that are essential and those which are perhaps not of such great importance.

Slated gable facing farm buildings:

I note that this may be subject to a separate LB consent. Repairs are likely to be supported; the use of the slates in this way may have been for sound reasoning and perhaps they may therefore be of greater significance than initially appear; reference is made to the them within the list description. Therefore the preference may be to repair and re-slate.

Therefore to conclude the proposed works would generally be supported in principle; subject to the precise design detail being considered appropriate. In making any future submission you are in essence seeking to address the previous reasons for refusal. So any proposals would have to be suitably and appropriately justified; of which the onus to do so lies with the applicant. Equally in the event of such works being granted consent the devil will be in the standard to which the works are carried out.

Again, please accept my apologies for the delay in responding. I trust these comments are useful to yourself and your client in formulating any future proposals; please note however this is an Officer opinion only and whilst my comments are made for your information and guidance

only, they are without prejudice to any recommendation the Council may make on any subsequent application or the ultimate determination thereof.

Yours sincerely

Mark Baldry | Assistant Planning Officer"

RESPONSE TO PRE-APPLICATION COMMENTS

We have discussed with the applicant all the valued comments made above and have integrated them into the design inclusive of any revisions made subsequent to receiving the advice. The proposal endeavours to meet the guidelines set out above and aims to do this in every aspect of the proposal submitted.

One of the most important aspects of the submitted plans is the division of one of the first floor rooms into bathroom space, as mentioned, is considered an essential part of the scheme by the applicant. In response to this, the most recent revision aims to simplify this division to create an obvious and reversible contrast between new and existing, supported by the comment; *"on balance the principle of forming an en-suite in the manner indicated on the plans provided to me during our meeting would be acceptable. This will be subject to the precise details of the works being considered appropriate."*

Should the council need more information on the exact detailing of this or any aspect of the proposal, we are willing accept any conditional items imposed upon the scheme.

USE

Higher Lickhurst Farmhouse is a residential dwelling which has reached a stage in the life of the building where significant repair and modernisation work is required, to ensure the farmhouse continues to function as a habitable building for the foreseeable future.

The building owner would like to take the opportunity offered during the repairs to convert the attached ancillary building currently used for storage, and upgrade/replace the existing sanitary facilities within the house. The provision of a kitchen in the lean to enables the existing kitchen space to become an entrance hall from the existing porch.

The proposals have been designed to ensure there is minimal affect on the existing building fabric, and that any interventions are reversible, should a return to the original designed form of the farmhouse be required in future.

AMOUNT

There will be no increase in the current floor space or volume of the existing building and ancillary accommodation.

The conversion of the existing single storey attached ancillary structure will enable this part of the building to be put to a more useful and sustainable use. By enabling its conversion to an integral part of the dwelling, it will not only provide a spacious kitchen

area, but is likely to ensure future maintenance of this section of the building is kept up.

Alterations elsewhere within the property involves inserting a new ensuite within the existing historic plan form of the building, with minimum loss to the historic fabric.

LAYOUT

The proposed scheme has been designed to ensure that the double-pile plan referred to within the listing description is maintained, together with the existing historic staircase from first to second floors.

New internal wall forms rooms within the existing historic plan of the building. This stud wall will allow their linings to be scribed around existing elements such as covings and skirtings, and the nature of the construction will enable reversibility back to the existing layout in future if required.

New services will be contained within 'voids' created from independant walls or within the historic floor voids

The existing staircase from first to second floors has very limited headroom. However, the historic nature of this stair is recognised, hence it's retention.

SCALE

The external scale of the building will remain unaltered through these proposals. An upgrading of the existing attic space for thermal insulation will be carried out within the existing structure so no increase in ridge or eaves height is proposed.

LANDSCAPING

Any landscaping works in conjunction with the proposed extension will be minimal. Where required, disturbed areas will be reinstated to match existing and adjacent materials.

APPEARANCE

It is proposed that all repairs or replacement will be on a 'like for like' basis.

Alterations elsewhere to the external fabric of the farmhouse are minimal.

No new openings through external walls are proposed with the exception of the doorway from the kitchen to the extension.

ACCESS

Access into the farmhouse will be improved by providing a new doorway access into the converted kitchen from the North and South elevations.

Vehicular access to the site for both the building owners and their neighbours in Lower Lickhurst Farm is unaffected by the proposals.

APPENDICES

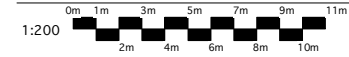
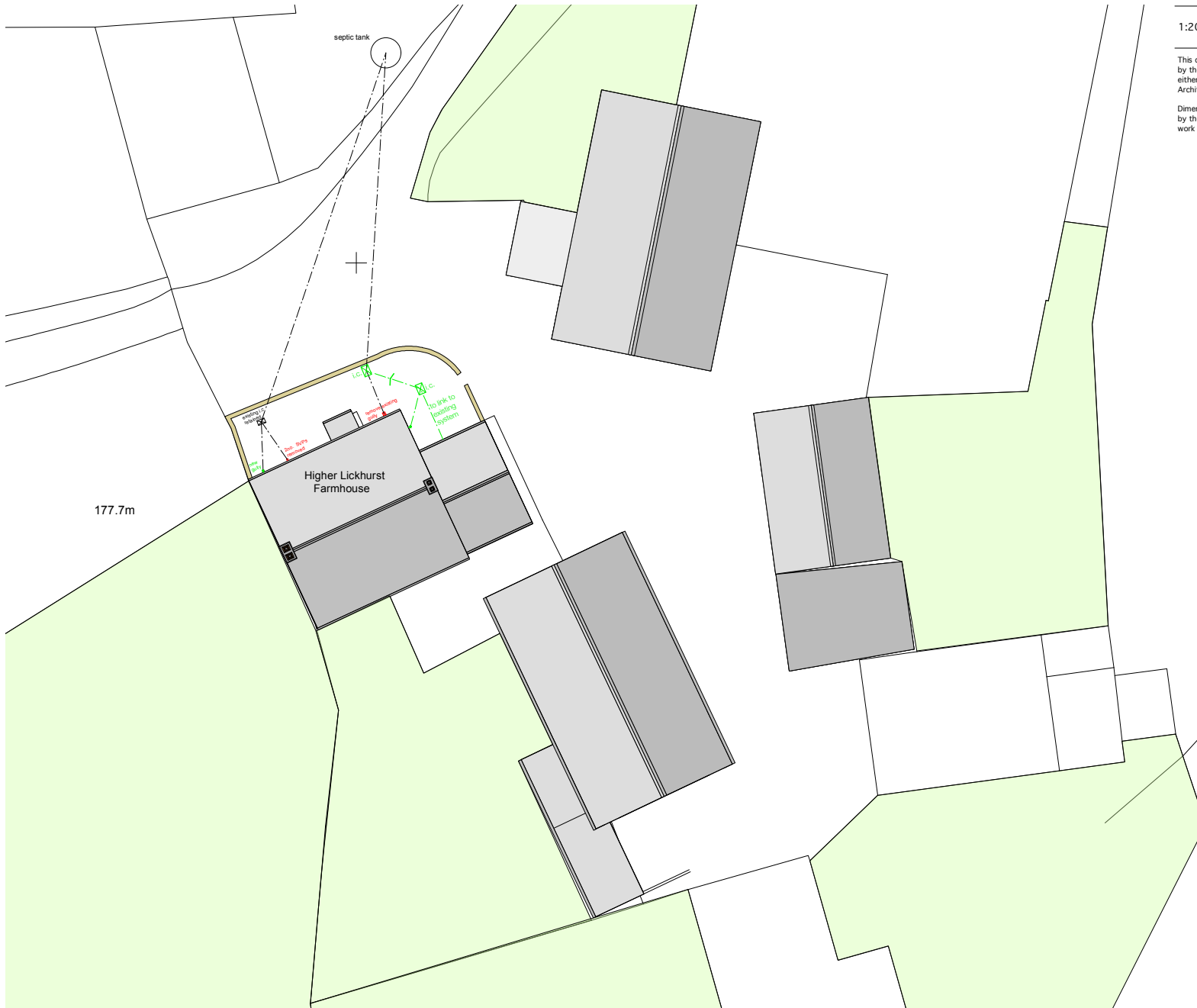
Higher Lickhurst Farmhouse, Leagram, Chipping
July 2013 (rev. d)

Alterations and Repairs to the Grade II Listed Farmhouse

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Rev	Date	Description
B	18/07/2013	Drainage routes reconfigured; rooflights omitted (for July 2013 Planning Application)
A	01/2012	Drainage routes added; rooflight numbers amended; odour control gate valve works amended

Higher Lickhurst Farmhouse
Chipping

Proposed Site Plan

Drwg. No.: 1735.P.01	Rev.: B
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Date: 07/2013	Scale: 1:200 @ A3
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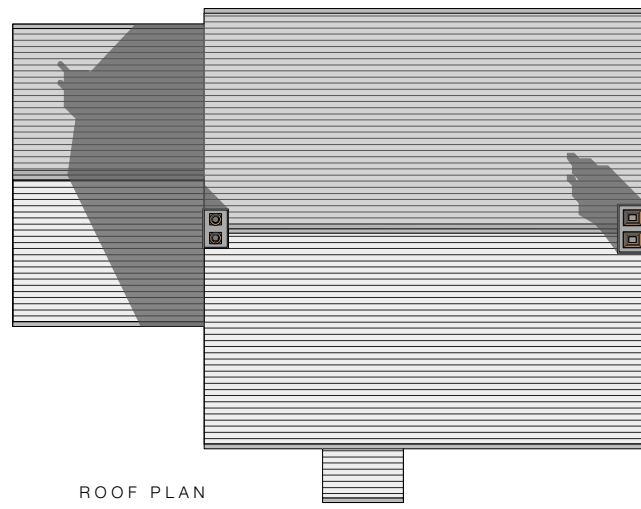
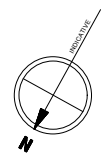
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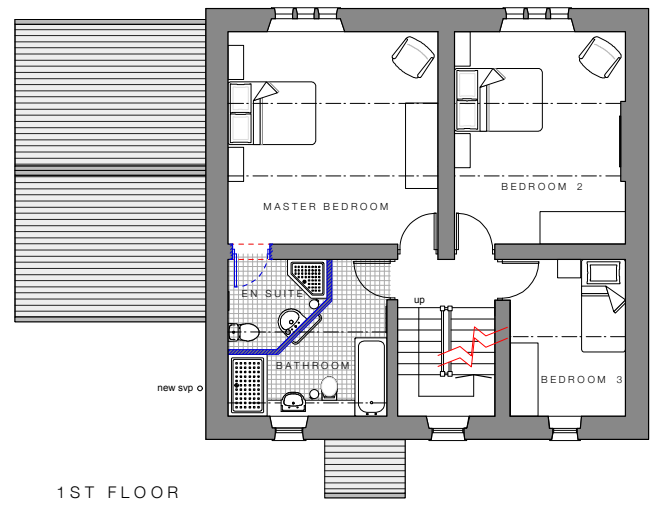


ROOF PLAN

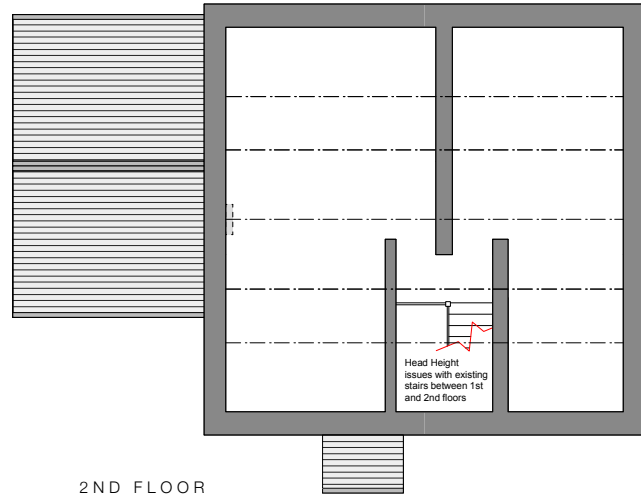
Roof plan unchanged.
Form a new opening from bedroom 1 into newly built en-suite space.
Space divided into two bathrooms to be used as an en-suite for bedroom 1 plus a large main bathroom utilising the existing opening from the landing. Partition wall and bathroom fittings to be superficial to the fabric of the historic house.

Repairs needed to windows, details to be subject to approval. Modern internal doors to be repaired rather than replaced where possible.
Replace non-historically significant dining room fireplace. Replacement to be sympathetic to historic significance of building. Details subject to approval.
Modern replacement south facing entrance door to be removed and replaced with timber alternative with an approved 'suitable design and form'.

Form new openings in south facing wall. Large 'simple' single leaf timber door with window in position and style to replicate north elevation and reinstate historical building layout. Incorporate existing built-in timber lintel into the door head.
Some external landscaping required to reduce levels below the internal finished floor level.



1ST FLOOR



2ND FLOOR

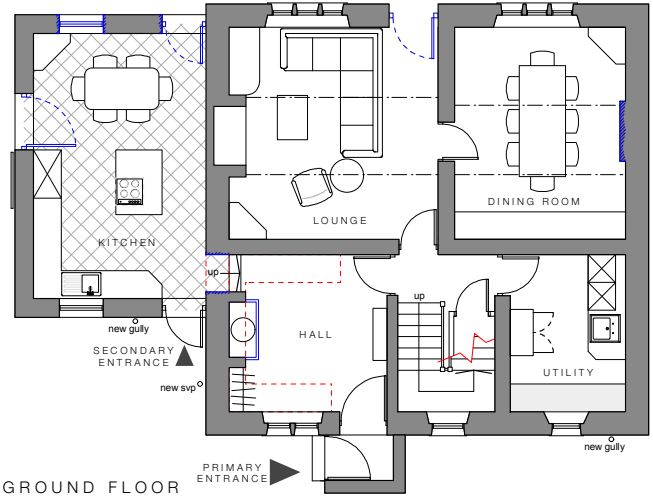
Alter existing east facing opening. Install new suitable timber framed split 'stable' door with glazed upper leaf, and fix existing timber door as a 'shutter' to maintain the appearance of the historic double width opening.

New kitchen space including countertops, sink, oven, etc. and small dining/breakfast table to be incorporated within space.

Convert existing eastern gable 'lean-to' into ground floor extension, by way of creating a new opening from existing house as shown. Opening to not compromise existing chimney breast in hallway.
2 steps required within walkway to accommodate finished floor levels difference between existing house and proposed extension.

Maintain existing timber doorway lintel positions/heights.

Existing 'Cold-Slabs' in the utility room to be retained. Second floor and associated stairway with access difficulties to remain unchanged.



GROUND FLOOR

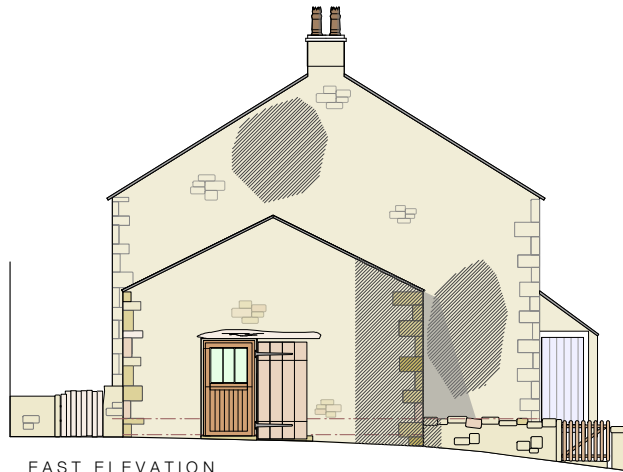
Rev	Date	Description
C	18/07/2013	Plans and notes amended for July 2013 planning application.
B	29/11/2012	Ground Floor - WC and Utility layout amended. First Floor - Bedroom 2 En-Suite omitted and new staircase amended. Second Floor - New staircase amended and notes added. Re: original historic staircase. Drainage notes added; rooflight numbers amended; extension omitted; gable walls works amended
A	01/2013	

Higher Lickhurst Farm Chipping

Proposed Floor Plans

Dwg. No.: 1735.P.02	Rev.: C
Date: 07/2013	Scale: 1:100 @ A3

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EAST ELEVATION

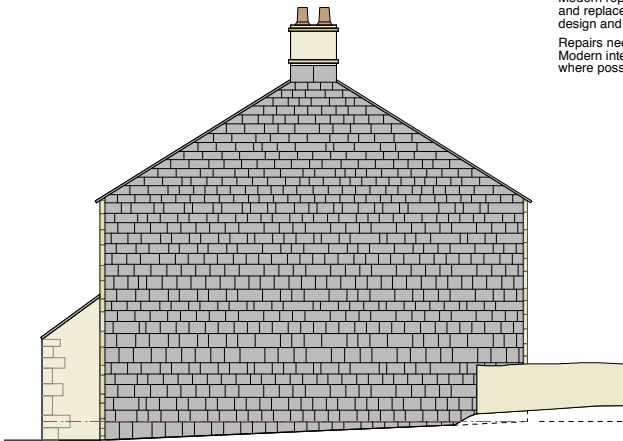
Repointing work to farm house:
Generally, cement pointing and any defective pointing to be carefully raked out and repointed in lime mortar.

Re-roofing work to farm house:
Natural 'blue/grey' and stone slate roofs to be stripped and relaid using original materials on to new slating battens. Any damaged and unusable slates to be replaced with new to match existing. All lead flashings to be replaced to match existing. Rainwater gutters and downpipes to be repaired / replaced to match existing where required.

Localised repairs to outer face of stone wall due to bulging. Take down corner of wall and rebuild to match existing, to repair movement damage.
Existing east gable door to be repaired and re-fitted as shutter.
Fit new cast iron gutter on new wall brackets
Repair existing slate hung gable, remove existing slates and allow for stone repairs and repointing with lime mortar where required. Slates to be refitted as before and supplemented with matching where required.

Modern replacement south facing entrance door to be removed and replaced with timber alternative with an approved 'suitable design and form'.

Repairs needed to windows, details to be subject to approval.
Modern internal doors to be repaired rather than replaced where possible.



WEST ELEVATION



SOUTH ELEVATION

Localised relandscaping, reducing external levels inline with proposed extension internal levels.
New timber framed opening window to match existing design.
New timber boarded door and frame with stain finish.
Remove 2no. existing svp's from north elevation. Replace with single ground floor level cast iron gully for the utility room. Make good external stonework.
Rebuild lower section of wall - square off door opening at low level and install new natural stone sill to match elsewhere.



NORTH ELEVATION



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Rev	Date	Description
C	18/07/2013	Plans and notes amended for July 2013 planning application.
B	29/11/2012	Notes added and detailing of reinstated slate hung gable to West Elevation added.
A	01/2013	Drainage routes added; rooflight numbers amended; extension omitted; gable walls works amended

Higher Lickhurst Farm
Chipping

Proposed Elevations

Drwg. No.: 1735.P.03	Rev.: C
Date: 07/2013	Scale: 1:100 @ A3

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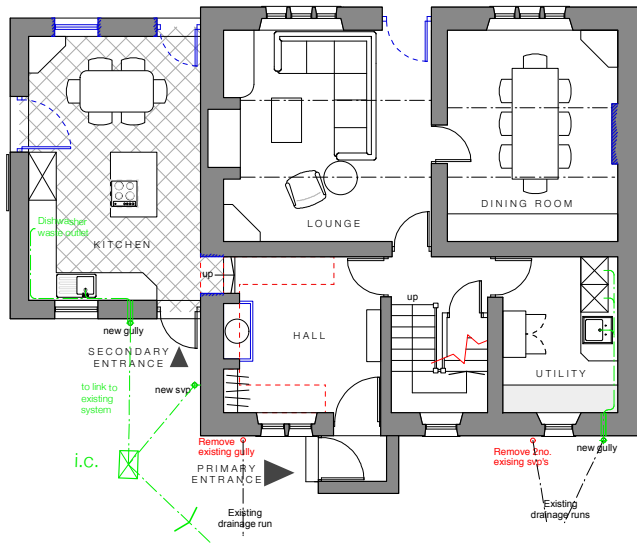
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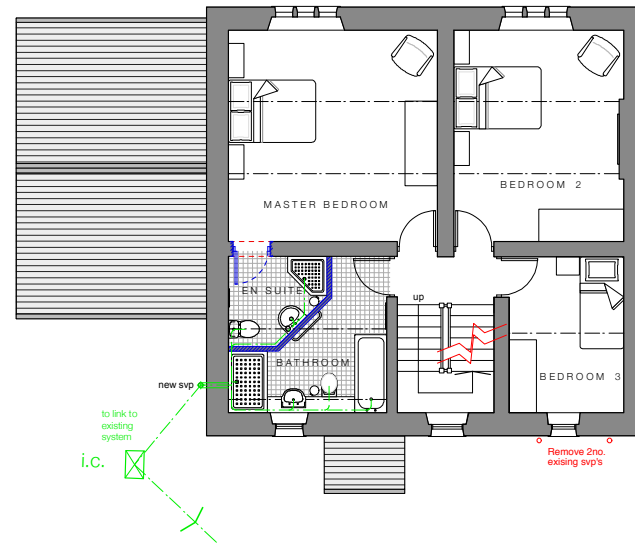


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GROUND FLOOR



1ST FLOOR

GENERAL NOTES:

1. No new water, heating and electric services are to be run within existing historic walls to avoid unnecessary chasing out or damage to plasterwork etc.
2. All new svp's to be set away from the existing historic walls to avoid damage to existing plaster, coving, skirtings etc. and are to be contained within a new 'false wall' stud partition to allow flexibility of setting out to suit particular site conditions/constraints.
3. New services to be run within existing floor voids or ceiling voids where horizontal runs are required; or above floor level where contained within 'false wall'.
4. Service penetrations through existing masonry walls to utilise existing openings where practical and new openings to be kept to a minimum.

Rev	Date	Description
B	18/07/2013	Plans and notes amended for July 2013 planning application.
A	29/11/2012	Ground Floor - WC and Utility layout amended. First Floor - Bedroom 2 En-suite omitted and new staircase amended. Second Floor - New staircase amended and notes added. Rev. original historic staircases.

**Higher Lickhurst Farm
Chipping**

Proposed Services Layout

Drwg. No.: 1735.P.04	Rev.: B
Date: 07/2013	Scale: 1:100 @ A3

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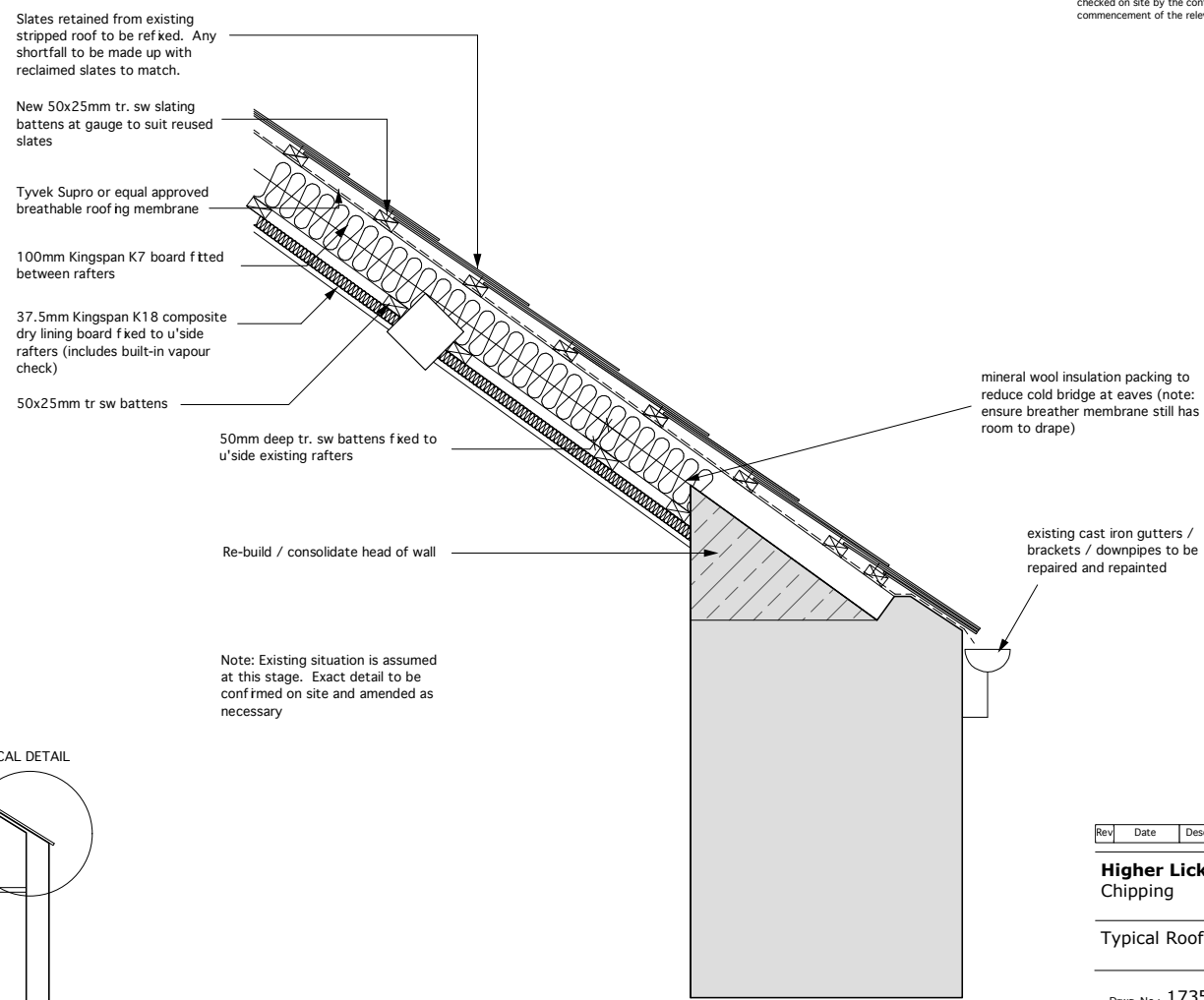
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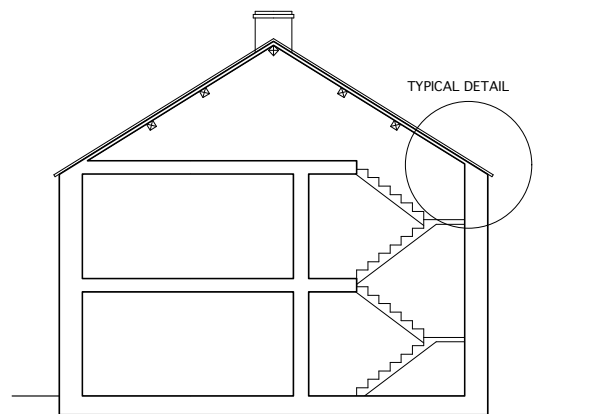


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Note: Existing situation is assumed at this stage. Exact detail to be confirmed on site and amended as necessary



TYPICAL SECTION THROUGH FARMHOUSE (Scale 1:100)

Rev	Date	Description
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Higher Lickhurst Farm
Chipping

Typical Roof Detail

Drwg. No.: 1735.P.05	Rev.: -
Date: 07/2013	Scale: 1:10 @ A3

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