

Land Adjacent to Whitecroft, Chatburn.

GAUGHAN

Drawing No 1-001

SCALE 1:100

CIVIL ENGINEERING & CONSTRUCTION

OAKFIELD HOUSE

THE DRIVE

OLD LANGHO

BB6 8BJ

TEL No: 07778 131903

NOTES

1/ Construction notes

All sizes to dimensions to be checked on site prior to work. All workmanship and materials to comply with Building Regulations, British Standards and Code of Practice.
All materials to be fixed, applied in accordance with British Standards, manufacturer's instructions and specifications.
The contractor will take into account anything necessary for the proper execution of works to the satisfaction of the Building Inspector.

2/ Foundations (concrete)

All foundations to comply with AD A1/A2. 200mm min thick concrete strip foundation to project min 150mm timber side of supported wall. Footings to be taken down to min depth of 900mm below ground invert level of any adjacent drainage.
All foundations to site conditions and LA Building inspector recommendations.

3/ External Walls (above DPC)

All ext walls to comply with AD L1B. External walls to have an overall structural thickness of 350mm comprising of 150mm external stone, 100mm cavity partially filled with 60mm Insulation, 100mm 7no/M dense concrete block work. Internal skin Ins plaster bd (DAB) and skim finish (n.value 0.28w/msk)
Stainless steel ties to BS1243 every 750 horiz. and 450 vertically staggered (min 5 ties/msq.)
Additional ties at 300mm e/c vertically adjacent to openings. All cavities to be closed at jambs, cills and eaves incorporating proprietary thermal DPC.

4/ External Walls (below DPC)

350mm thick comprising of 150mm ext.blk.
100mm cavity fill concrete and 100mm int.blk.
Blockwork to be min 7N/??? taken up to 225mm below DPC. All DPC's to be as BS143 to walls min 150mm above ground level.

5/ Drainage

All drainage to comply with H1/H3.
110mm UPVC Polypipe or similar. To be laid to min 1:40 fall, s connected to existing drainage system.
Manholes to be min 600 dia upvc chambers with covers and frames. All drainage to be laid on 100mm limestone or similar bed and surround. Any drain to be run under floor slab to be encased in 150mm concrete.
Final Drainage layout to be established on site and to the inspection and approval of L.A. Building Inspector.
Any drainage passing through walls to be protected with lintels over to prevent any load being transferred onto pipe work.
All gullies to be rod able sealed gullies.

Ground floor wastes (nominal sizes)-(Unless otherwise indicated Minimum sizes shall be) 38 UPVC sink/washing machine/dishwasher To BIG/SVP.32 UPVC lavatory basin to BIG/SVP100 UPVC WC to Manhole/SVP75 deep seal traps

6/ Concrete Floor Slab

Min 150mm float and finish concrete slab on 1000g visqueen dpm on 100mm insulation to give mm-value of 6.75h/msq.
Insulation on sand blended 150mm stone bed edge insulation to be 25m thick. Floor slab to comply to AD L1B. Slab to be reinforced with 1 layer A142 fabric.

7/ Lintols.

Proprietary combined lintols IG or similar with cavity tray over and weepholes.
All external lintols to block work walls to be 100mm/Kg/m concrete.

8/ Materials

Walls S/E & SW elevation. Reclaimed natural punched face coursed stone, heads, cills, jambs and quoins.
Walls N/E & N/W elevation K Render Smooth texture, Ashlar horizontal lines, polar white.. Stone cills.
Roof Natural stone flag.
UPVC Windows and doors. Sealed double glazed units, min 16mm gap. Low E coating to comply with building Regs AD11.
Windows to be C rated (warm edged spacer bar and Argon filled DG unit). Windows to habitable rooms to have slot vent of 8000sqmm vent. All other windows to have 4000sqmm vent. Obscure glass to bathroom. Patio doors to have laminated or toughened glass.
Rainwater gutters to be 100mm square section UPVC and pipes to be 75mm square UPVC or similar approved.

South East Elevation



DATE: DECEMBER 2013

Land Adjacent to Whitecroft, Chatburn.

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Drawing No 1-002

SCALE 1:100

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All foundations to site conditions and LA Building Inspector recommendations.

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350mm thick comprising of 150mm ext.blk. 100mm cavity fill concrete and 100mm int.blk. Blockwork to be min 7N/??? taken up to 225mm below DPC. All DPC's to be as BS143 to walls min 150mm above ground level.

5/ Drainage

All drainage to comply with H1/H3. 110mm UPVC Polypipe or similar. To be laid to min 1:40 fall, s connected to existing drainage system. Manholes to be min 600 dia upvc chambers with covers and frames. All drainage to be laid on 100mm limestone or similar bed and surround. Any drain to be run under floor slab to be encased in 150mm concrete.
Final Drainage layout to be established on site and to the inspection and approval of L.A. Building Inspector.
Any drainage passing through walls to be protected with lintels over to prevent any load being transferred onto pipe work.
All gullies to be rod able sealed gullies.

Ground floor wastes (nominal sizes)-(Unless otherwise indicated Minimum sizes shall be) 38 UPVC sink/washing machine/dishwasher To BIG/SVP.32 UPVC lavatory basin to BIG/SVP100 UPVC WC to Manhole/SVP75 deep seal traps

6/ Concrete Floor Slab.

Min 150mm float and finish concrete slab on 1000g visqueen dpm on 100mm insulation to give mm-value of 6.75h/msq. Insulation on sand blended 150mm stone bed edge insulation to be 25m thick. Floor slab to comply to AD L1B. Slab to be reinforced with 1 layer A142 fabric.

7/ Lintels.

Proprietary combined lintels IG or similar with cavity tray over and weepholes. All external lintels to block work walls to be 100mm/Kg/m concrete.

8/ Materials

Walls S/E & SW elevation. Reclaimed natural punched face coursed stone, heads, cills, jambs and quoins.
Walls N/E & N/W elevation K Render Smooth texture, Ashlar horizontal lines, polar white. Stone cills.

Roof Natural stone flag.

UPVC Windows and doors. Sealed double glazed units, min 16mm gap. Low E coating to comply with building Regs AD11.

Windows to be C rated (warm edged spacer bar and Argon filled DG unit). Windows to habitable rooms to have slot vent of 8000sqmm vent. All other windows to have 4000sqmm vent. Obscure glass to bathroom. Patio doors to have laminated or toughened glass.

Rainwater gutters to be 100mm square section UPVC and pipes to be 75mm square UPVC or similar approved.

3201310522

North West Elevation



DATE: DECEMBER 2013

Land Adjacent to Whitecroft, Chatburn.

Drawing No 1-003

NOTES

Construction notes

Refer to Drawing no: 1-001 or Drawing no: 1-002 for the general construction notes.

Roof

Wall plates fixed to block work with 30x50mm galvanised straps at max 2000mm centres.
Cement board to gable ends with waterproof mortar finish to tile ends.
150mm rockwool insulation laid between trusses with 200mm cross layered over 12.5mm
Gyproc plasterboard with 3mm skim finish to all ceilings, foil backed to bathroom and kitchen.
Balcony Roof finish of Firestone Rubbercover system or similar.

Flashings

Flashings to be in Code 4 Lead and Soakers in Code 3 Lead. All leadwork to comply with B.S.1182:1982
And in accordance with the Lead Development Association guide for good practice- LEAD SHEET IN BUILDING.

Electrical Notes Part P

All electrical works required to meet the requirements of Part 6 (electrical safety). Must be designed installed, inspected and tested by a person competent to do so.
Prior to completion the Council should be satisfied that Part P has been complied with.
This may require an appropriate BS7671 Electrical certificate to be issued for the work by a person competent to do so.

Damp Proof Course

A.D.P.C. to B.S. 74 :1970 or similar to be laid to a minimum of 150mm above external finished ground level and lapped a minimum of 100mm

South West Elevation



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320131052P

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North East Elevation



DATE: DECEMBER 2013

Re: - Land Adjacent to Whitecroft, Chatburn.

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SCALE 1:100

CIVIL ENGINEERING & CONSTRUCTION

Drawing No 1-004

OAKFIELD HOUSE

THE DRIVE

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TEL No: 07778 131903

NOTES

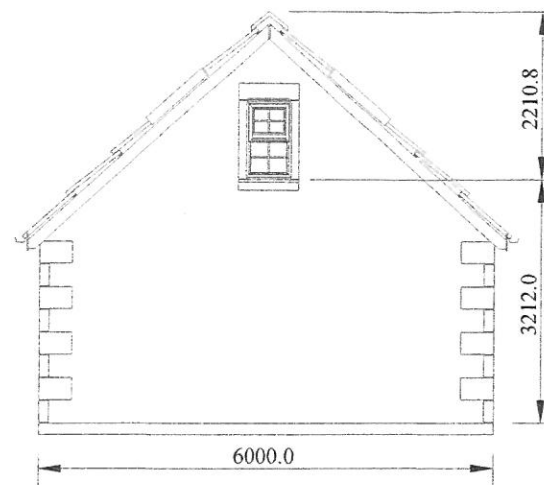
Garage Details

Materials to match those used for the house. Refer to Drawing no: 1-001 or Drawing no: 1-002

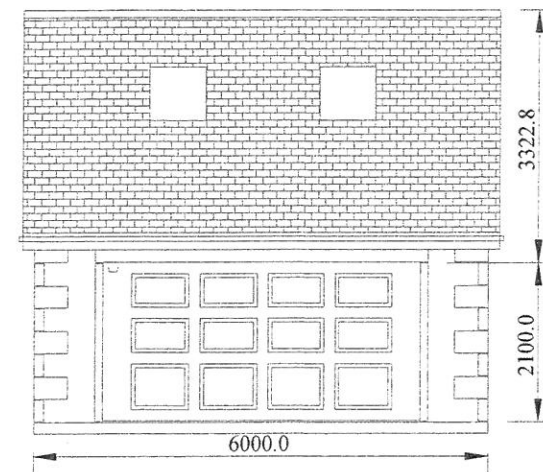
Construction notes

Refer to drawing no: 1-001 or Drawing no: 1-002 for the general construction notes.

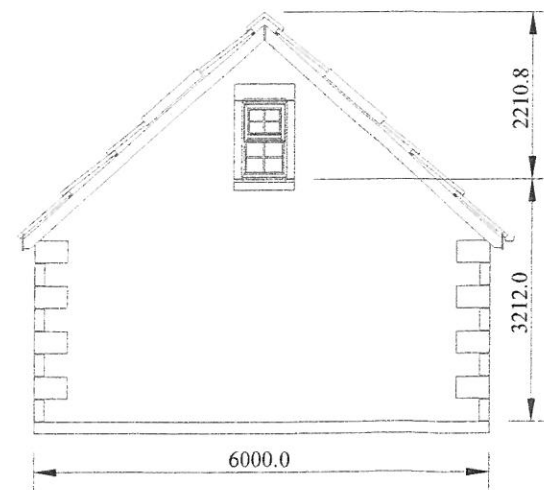
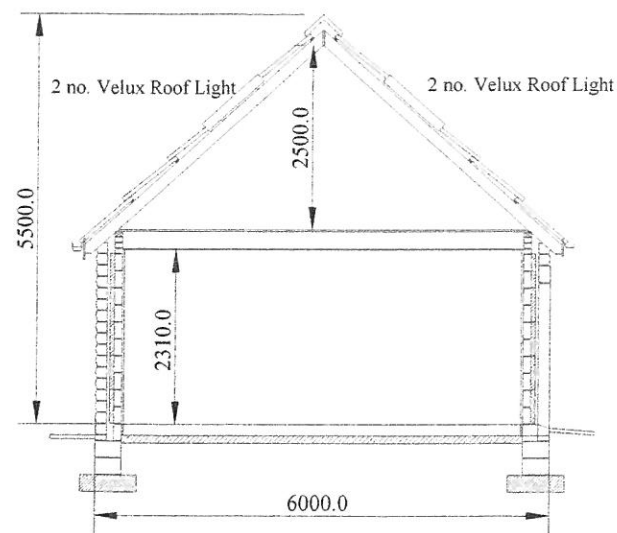
North West Elevation



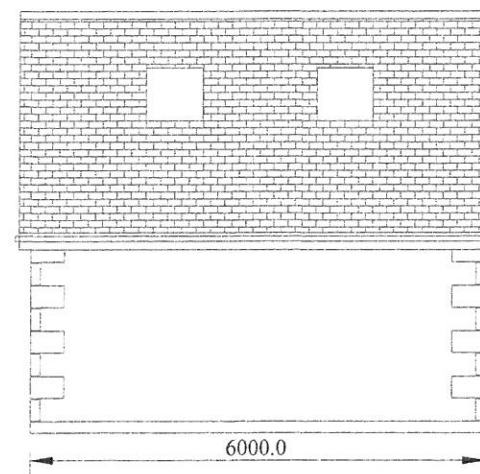
North East Elevation



Section Drawing



South East Elevation



South West Elevation

320131052P

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Land Adjacent to Whitecroft, Chatburn.

Drawing No 1-005

SCALE 1:100

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Construction notes

Refer to drawing no: 1-001 or Drawing no: 1-002 for the general construction notes.

Electrical Notes Part P

All Electrical works required to meet the requirements of Part 6(Electrical Safety) Must be designed, installed, inspected and tested by a person competent to do so. Prior to completion the Council should be satisfied that Part P has been complied with. This may require an appropriate BS7671.Electrical Certificate to be issued for the work by a person competent to do so.

Smoke Detectors

Self contained smoke alarms are to be fitted on each level in the circulation area. They should be permanently wired to a separately fused circuit on the distribution board with a battery backup, all in accordance with B.S.5446: Part 1 and Section 1 of part B of the Building Regulations. Fire Safety. Mains powered self contained smoke alarms must be linked together to operate simultaneously.

Ventilation

Kitchen extract - to be ventilated to the external air by mechanical extractor fan over the cooker. To Extract at a rate of 30 litres per second
Bathroom and W.C. Extracts - All bathroom and en-suites shall be fitted with a mechanical extractor fan to give an extract rate of 15 litres per second. Internal bathroom extract fans to be operated by the light switch with 15 minute overrun. Internal W.C.'s to have a mechanical extractor fan to give 3 air changes per hour, operated by the light switch with a 15 minute overrun.

Plumbing

Mains fed combination boiler. All pipe-work insulated and protected as recommended by B.S.5422 and B.S. 5615. All plumbing work to be carried out to current Building Regulation 'G' sanitation, hot water safety and water efficiency together with 'H' Drainage and waste disposal and 'J' heat producing appliances.

Groundfloor Wastes (Nominal sizes)

Unless otherwise indicated minimum sizes shall be 38 UPVC sink/washing machine/dishwasher to BIG/SVP.32UPVC Lavatory basin to BIG/SVP 100 UPVC. WC to manhole SVP75 deep seal traps.

SVP

100mm diameter to terminate with A.A.V. or to a ridge vent at head of runs, to discharge min 900mm above any open able window.

Joinery

Internal casings 135x32mm, softwood doors 1982x838mm, mdf skirting, /architraves glued and pinned. Internal mdf window board 225x25mm.

Joists

Wall plates 100x75mm sw.

Ext. Wall.

40mm air space
 60mm insulation.
 100mm int. Block.

Ceiling wall plasterboard

12.5mm plasterboard, 1hr fire protection, skim finish. Rock wool finish between joists.

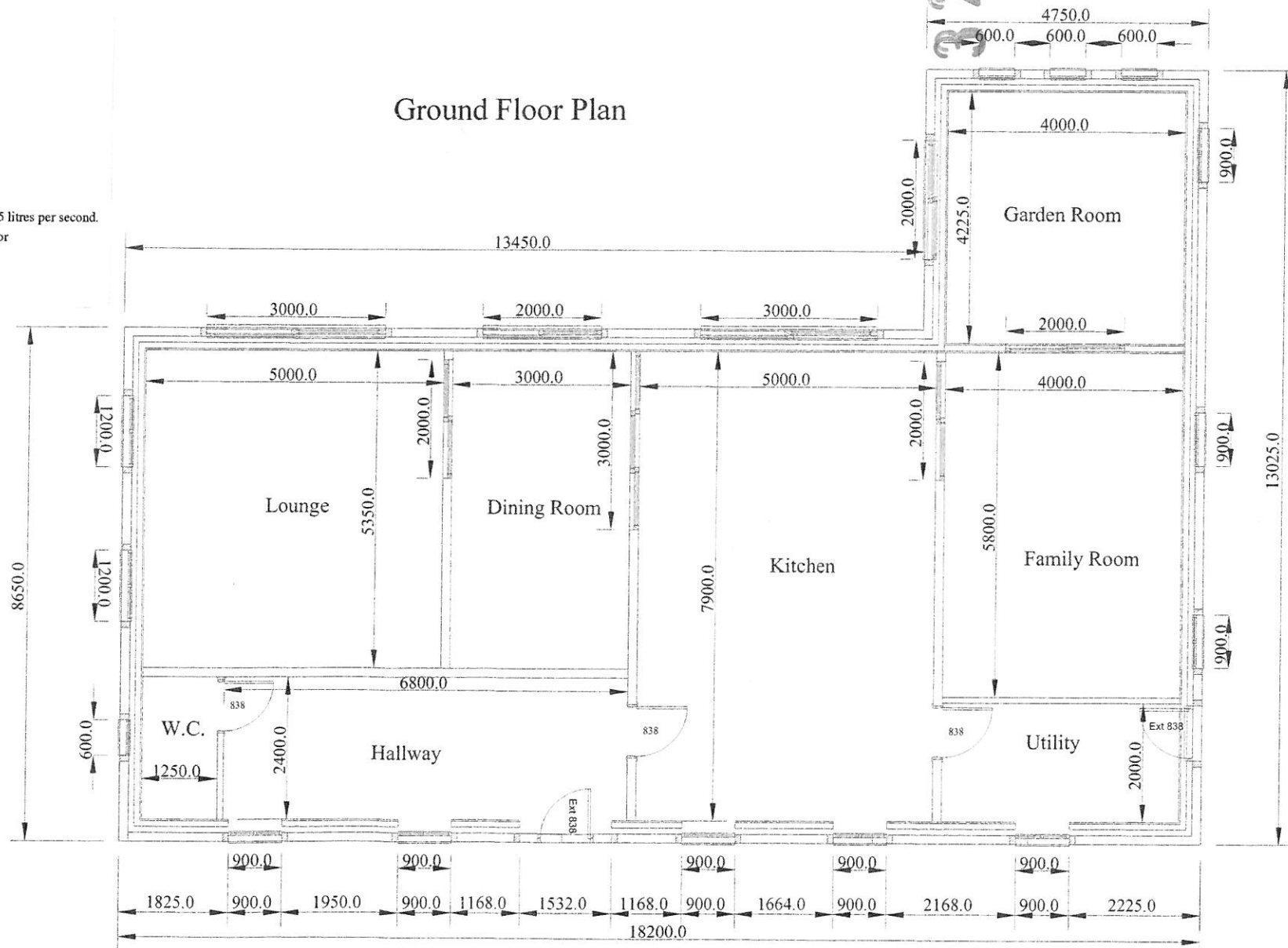
Int. Wall 12.5mm plasterboard, full skim finish D&D.

1st Floor Flooring

18mm T&G construction or similar.

Stair.

Timber staircase min 870mm wide with max rise of 200mm, going 225mm. Max Pitch 42*. Min clear head room 2metres. Handrail at max 900mm height. All parts of stair to comply with AD K.



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Re: - Land Adjacent to Whitcroft, Chatburn.

Drawing No 1-006

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Roof Pitch 28*
Roof:
150x50 mm soft wood rafters 400mm/c
200x150mm steel perkins supporting rafters.
50x35mm treated batons.
Natural stone flag
Roof space 100 mm Kingspan Insulation laid
Between rafters. 50mm air gap

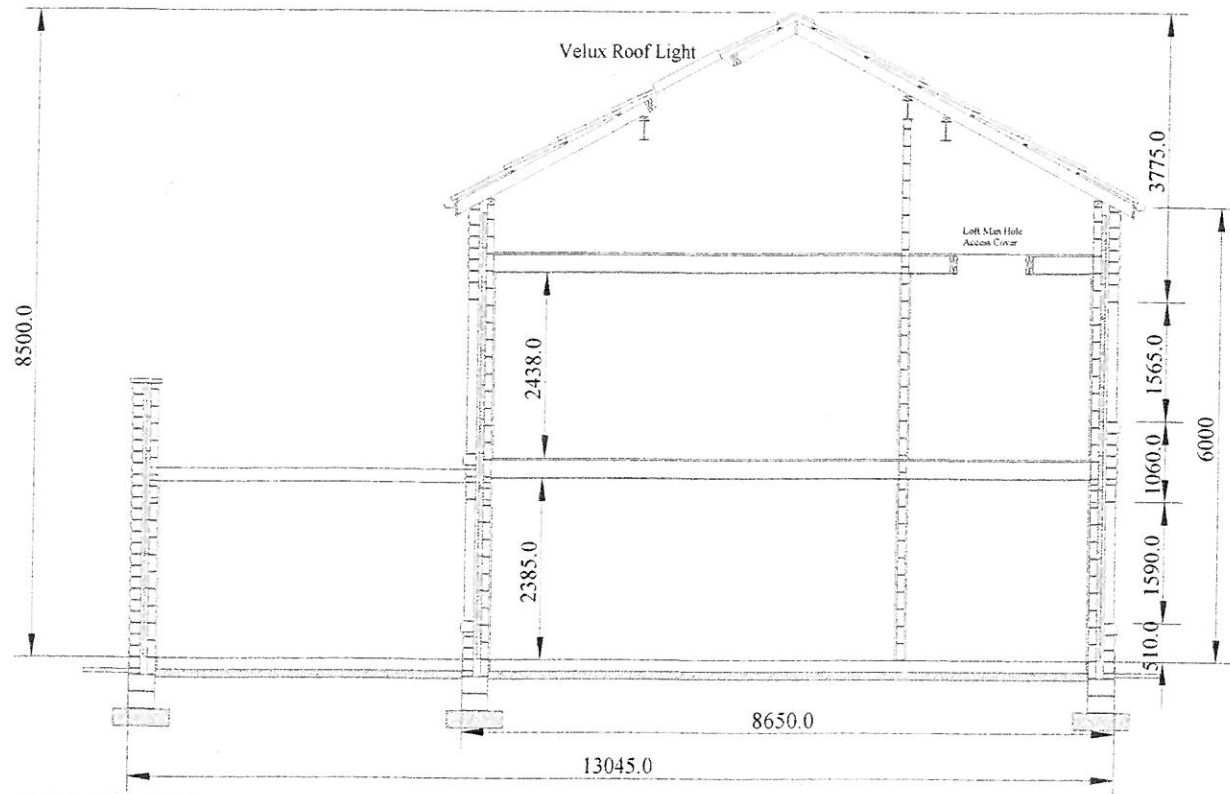
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Wall plates 100x75mm sw.

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Ceiling wall plasterboard
12.5mm plasterboard, 1hr fire protection, skim finish.
Rock wool finish between joists.

Int. Wall 12.5mm plasterboard, full skim finish D&D.

Section Drawing



Construction notes

Refer to drawing no: 1-001 or Drawing no: 1-002 for the general construction notes.

Joinery
Internal casings 135x32mm, softwood doors 1982x838mm, mdf skirtings/architraves
glued and pinned.
Internal mdf window board 225x25mm.

1st Floor Flooring & Roof Storage.
18mm T&G construction or similar.

Stair.
Timber staircase min 870mm wide with max rise of 200mm, going 225mm. Max Pitch 42*.
Min clear head room 2metres. Handrail at max 900mm height. All parts of stair to comply with AD K.

Electrical Notes Part P
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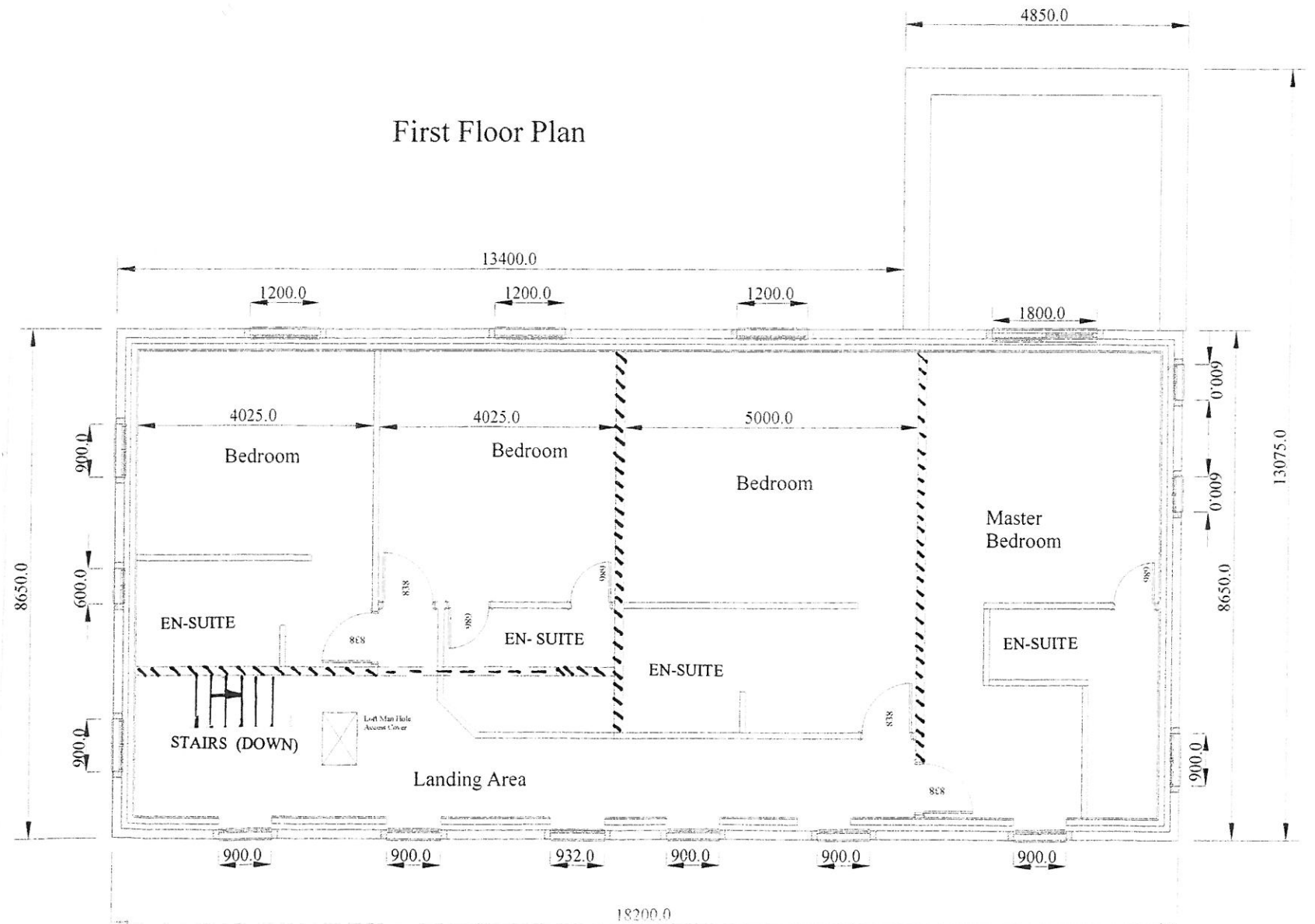
SCALE 1:100

Ventilation
Bathrooms shall be ventilated to the external air by mechanical
Extractor fans at a rate of 30 litres per second, intermittent operation
Loft Hatch
Proprietary plastic insulated or constructed on site with insulated backing
Minimum 600x550mm. Provided with hold down bolts and draught stripping

Plumbing
All plumbing work to be carried out to current Building Regulation
'G' sanitation, hot water safety and water efficiency together with 'H'
Drainage and waste disposal and 'J' heat producing appliances

320131052P

First Floor Plan



Land Adjacent to Whitecroft, Chatburn.

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Drawing No 1-009

SCALE 1:100

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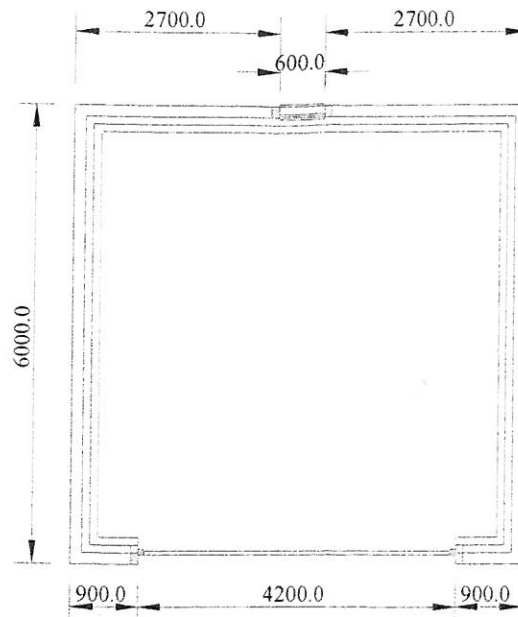
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Roof Natural stone flag.

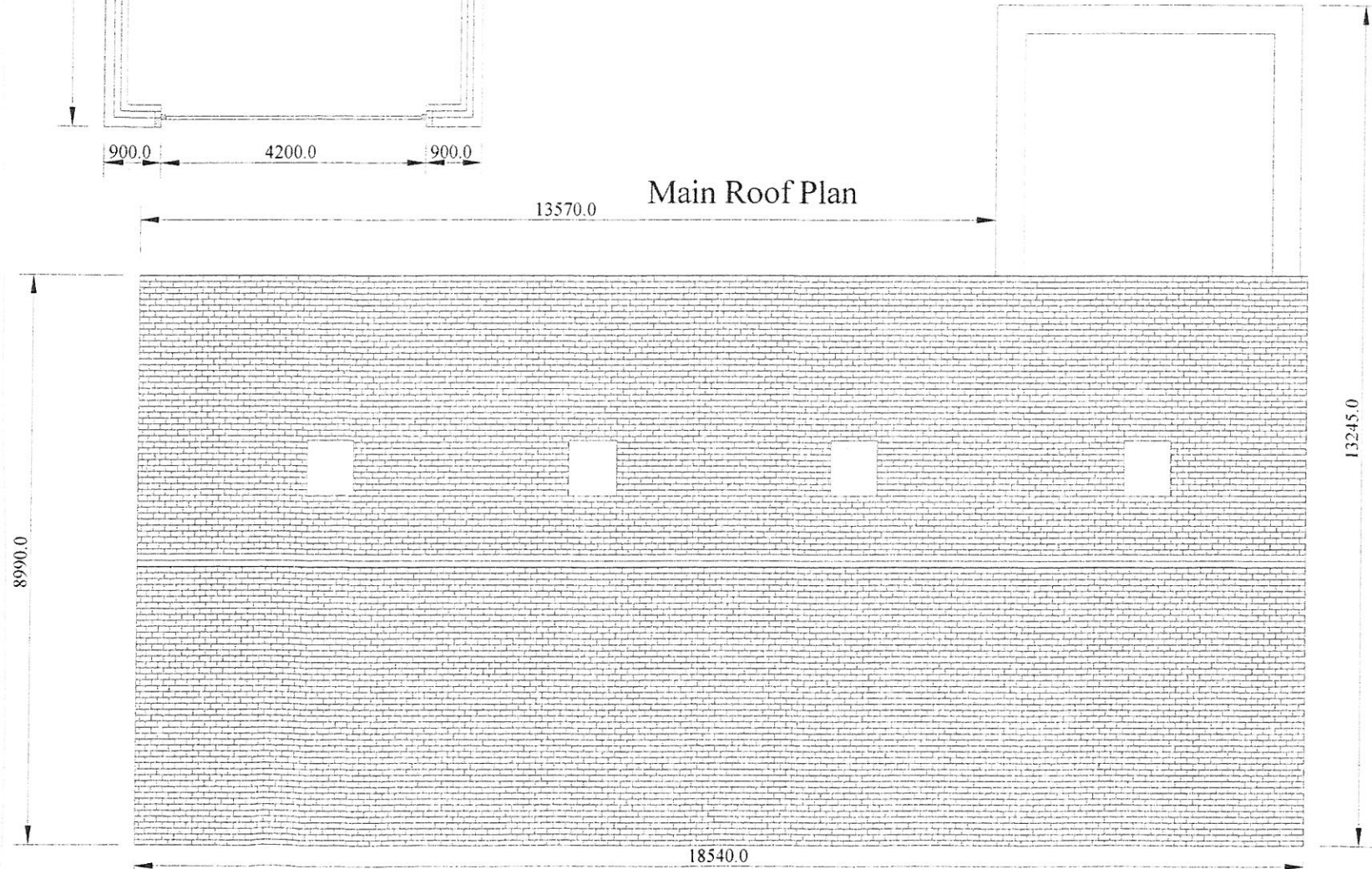
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Garage Floor Plan



Main Roof Plan

3201310522

