

# OUTLINE LANDSCAPE & VISUAL IMPACT APPRAISAL

## **New Hall Barn, Blackburn Road, Ribchester**

PREPARED BY TPM LANDSCAPE LTD

FOR

Mr & Mrs Gaffing

August 2015 (Rev A)



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## 1.0 CONTEXT

### 1.1 INTRODUCTION

TPM Landscape were commissioned in August 2015 by Mr and Mrs Gaffing to provide a Outline Landscape and Visual Impact Appraisal for the proposed conversion of an existing barn to residential use. The property is known as New Hall Barn and is located to the west of Blackburn Road (a 'B' Road). The proposal site will be referred to as 'The Barn' throughout the document.

A separate heritage statement accompanies the application which considered the potential impacts to the heritage assets.

The purpose of this report is to identify the potential landscape and visual receptors likely to be affected by the proposals, their perceived sensitivity to change, and to give an indication of the likely effects of the proposed development on these receptors. This outline appraisal will consider the elements which combine to create the existing landscape character, and review how the development proposals may alter this character both to the immediate landscape of the site, and also to the wider landscape context and in the context of the setting of the Grade II\* New Hall (neighbouring property). The appraisal will identify if any likely effects will require mitigation, and whether the site offers opportunities to enhance strategic landscape infrastructure objectives. The recommendations and mitigation will then be taken forward to inform the design refinement.

The site was visited and the surrounding road network driven. Positive and detracting elements in the landscape were recorded, as was the general land use and quality of the site. Viewpoints were identified based on public viewpoints (public footpaths), private viewpoints (residential properties) and key distant viewpoints to determine the wider impact on the landscape and where development would have the potential to affect the quality and character of existing views. A study area of approximately 2km (east to west) and 1km (north to south) was assessed in consideration of the likely visual envelope.

The outline Landscape and Visual Appraisal was undertaken in August when trees are active and with leaf.

## 2.0 THE SITE

### 2.1 THE STUDY AREA AND THE SITE

The site is located due east of Ribchester by approximately 1km. The surrounding landscape is undulating and has a well wooded character. The River Ribble runs through the lower landscape where the landscape is flatter forming the floodplain to the river. The settlement of Ribchester borders the River Ribble and has a open visual relationship east across the meandering river and the flat landscape.

The B6245 (Blackburn Road) approaching Ribchester from the south travels north towards Ribchester Bridge where the landscape topography falls with views towards a cluster of built form around New Hall (including New Hall Barn), the converted De Tably public house (now residential) and the housing to the west of the River Ribble. New Hall Barn is located to the south and adjacent to New Hall (Grade II\* listed building) that is visually enclosed by vegetation with a more open aspect to a modern detached property to the east of Blackburn Road. New Hall is constructed from sandstone with a stone slate roof with the building having a symmetrical composition. The property is orientated at an oblique angle to 'The Barn' focusing southeast along Blackburn Road. New Hall Farm is a modern detached property to the east of Blackburn Road and is a cream rendered property with a column supported porch. The predominant material for the built vernacular in the Ribchester area is natural stone.

New Hall Barn has architectural additions to the building showing the varying uses of the building over the duration of its life. The main part of the barn is covered with a course render with more modern materials including red brick to the west. At present the render covers the natural stone walls beneath. The roof of the building is slate. There are a number of out buildings associated with the barn but appear as modern additions to the farm and are in a dilapidated condition.

'The Barn' is set within an open field that adjoins the River Ribble which is typical of agricultural and domestic land interfacing with the river. The Barn is enclosed to Blackburn Road by a dilapidated low stone wall that is obscured from the roadside by overgrown vegetation.

The barn is located at a lower aspect to the road at circa 25m AOD.

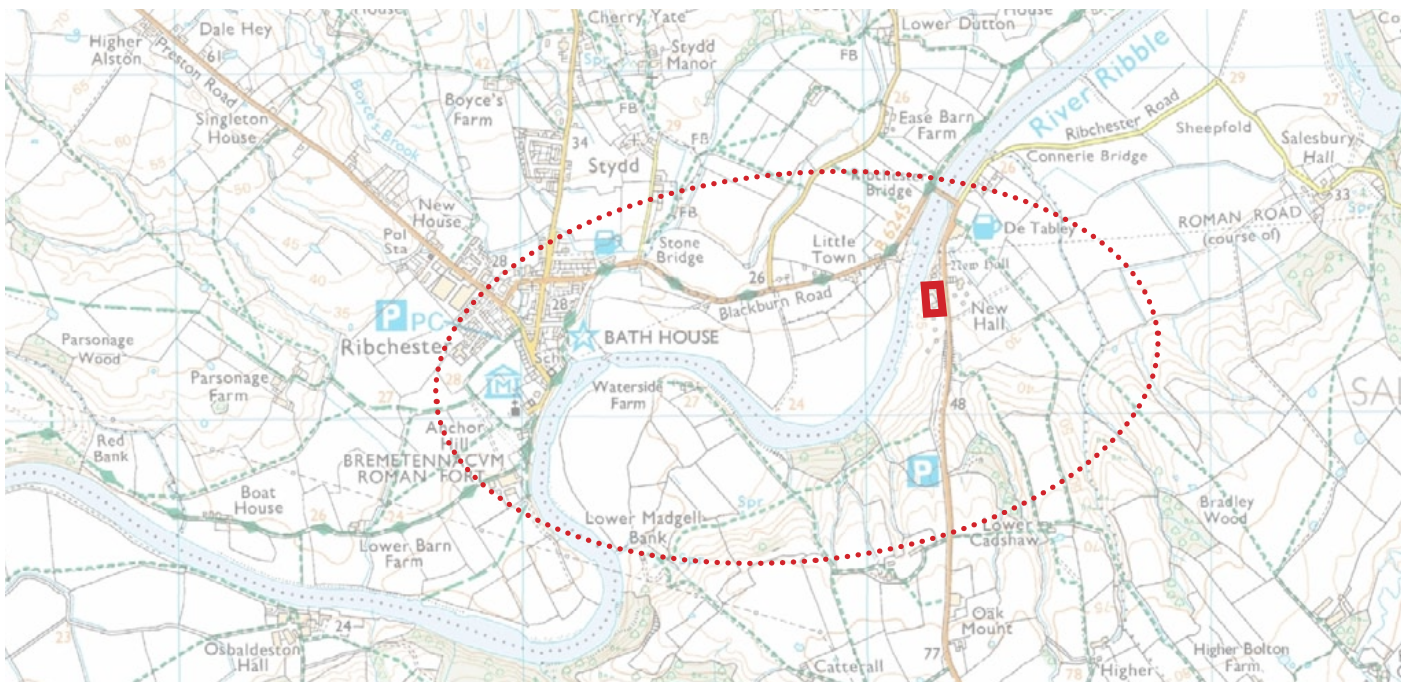


Figure 1 - The Study Area and The Site

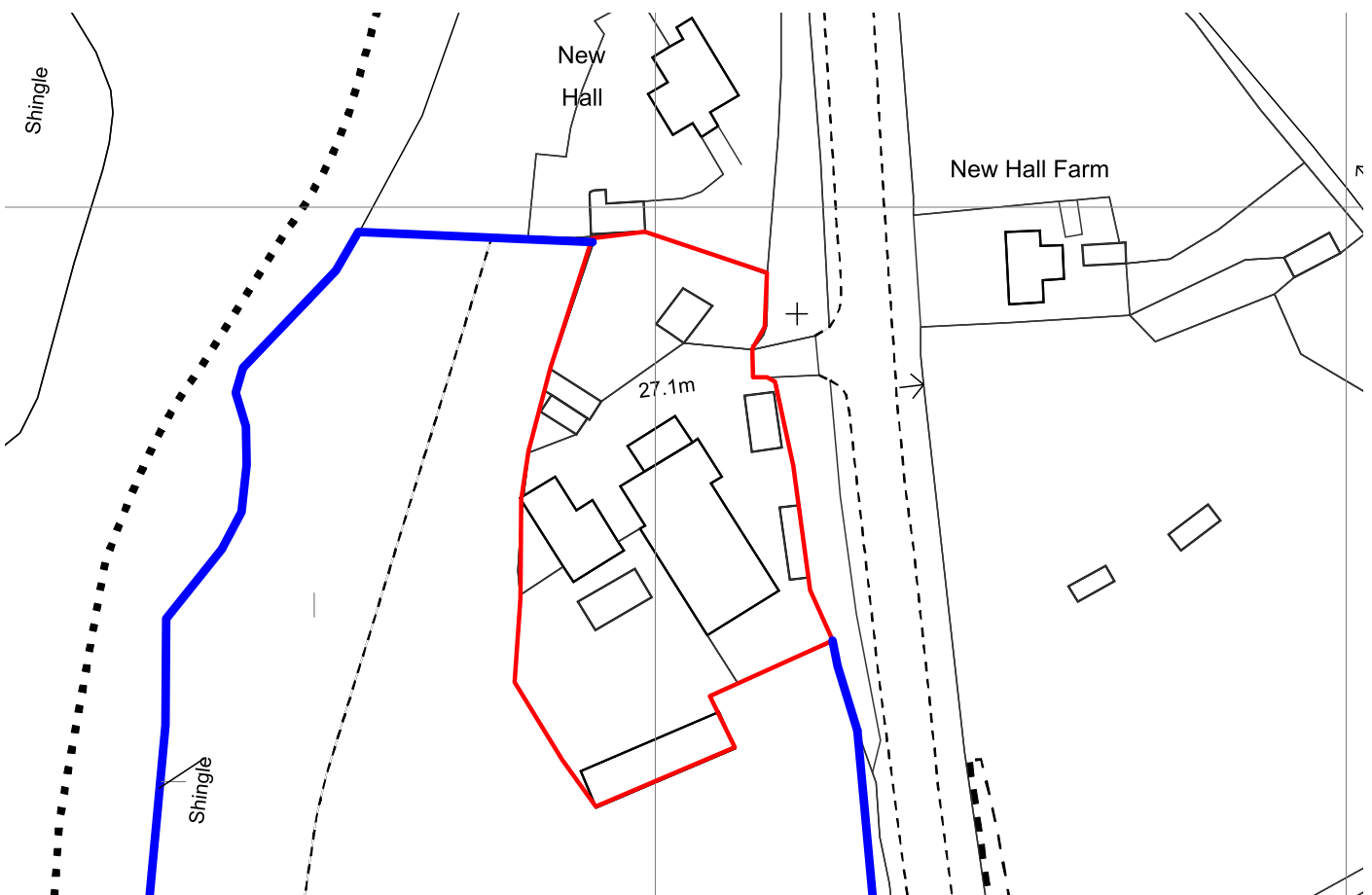


Figure 2 - The Site and Surrounding Dwellings





Photos of 'The Barn'

## 2.2 THE PROPOSALS

The proposals are to convert the 'The Barn' into a residential dwelling. The renovation of the barn includes the retention of the original part of the barn and the existing fenestrations and roof. The proposals seek to respect the more recent additions to the building by keeping within the footprint of these. An existing dilapidated low stone wall separates the barn from Blackburn Road which will be restored and enhanced.

The proposals intend to expose the natural stone work that is currently below the course render. The proposed and existing materials are typical and in character with the surrounding landscape.

SEE APPENDIX 1 FOR PLANS AND ELEVATIONS

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## 3.0 LANDSCAPE

### 3.1 PUBLISHED LANDSCAPE CHARACTER ASSESSMENT - NATIONAL CHARACTER AREAS

Natural England's National Character Areas (NCAs) divide England into 159 distinct natural areas. Each is defined by a unique combination of landscape, biodiversity, geodiversity and cultural and economic activity. The proposal site area falls within NCA 35 Lancashire Valleys. The text is extracted to understand the characteristics of the NCA and whether the character area description is relevant in the context of the proposal site.

The Lancashire Valleys run north-east from Chorley through Blackburn and Burnley to Colne. The National Character Area (NCA) lies mainly in east Lancashire and is bounded to the north-west by the Bowland Fells fringe and the Millstone Grit outcrop of Pendle Hill, and to the south by the Southern Pennines. A small proportion of the area (5 per cent) lies in the Forest of Bowland Area of Outstanding Natural Beauty.

The Lancashire Valleys broadly consist of the wide vale of the rivers Ribble and Calder and their tributaries, running north-east to south-west between the natural backdrops of Pendle Hill and the Southern Pennines. This visually contained landscape has a strong urban character.

The Lancashire Valleys are underlain by Carboniferous rocks including limestone, Millstone Grit, shales and Coal Measures. The bedrock is largely covered by glacial and post-glacial deposits of sands, gravels, clays and alluvium. Localised surface exposures of bedrock have given rise to extractive industries, including stone quarrying and coal mining.

The Industrial Revolution saw the development and expansion of the major settlements, which include Blackburn, Accrington, Burnley, Nelson and Colne. A small 'cottage' cotton and textile industry developed, first drawn to the area for its available water power. It developed rapidly but has been in steady decline since the 1920s. The towns are dominated by mills and Victorian-stone terraced housing. Numerous examples of the area's industrial heritage remain, and are matched today by substantial areas of contemporary industrial development.

Agriculture, once the major source of income before industrialisation, is now fragmented by the built environment, industry and housing. The remaining pockets of farmed land, used for extensive livestock rearing, are concentrated along the Ribble Valley, the fringes of Pendle Hill, the area to the west of Blackburn, and in the north around Skipton. Field boundaries are regular to the west and more irregular to the east. They are formed by hedges with few hedgerow trees and by stone walls and post and wire fences at higher elevations.

Opportunities for recreation activities are provided by a network of public rights of way, including key routes along the Pennine Bridleway and Pennine Way National Trails, while a series of country parks and local nature reserves also provide quality green space to encourage visitors to engage with and enjoy the local environment.



## National Character Area 35 Lancashire Valleys

*Note: In most instances, the NCA boundary is not precisely mapped and should be considered as a zone of transition between NCAs.*

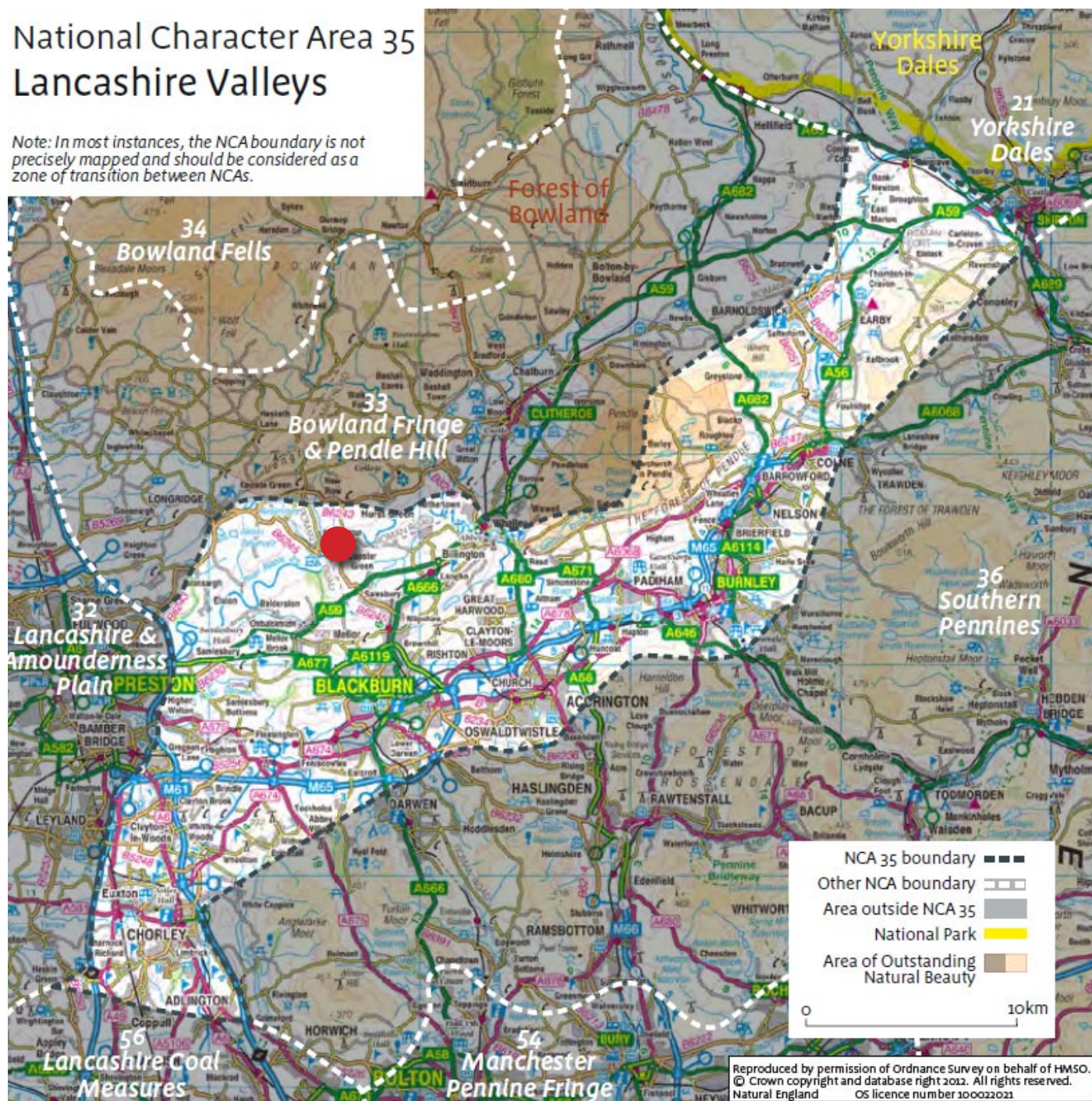


Figure 3. NCA 35 Lancashire Valleys

### **3.2 PUBLISHED LANDSCAPE CHARACTER ASSESSMENT - A LANDSCAPE STRATEGY FOR LANCASHIRE**

In October 1999, Environmental Resources Management (ERM) were commissioned by Lancashire County Council, in partnership with the Countryside Agency, District Councils, Blackburn with Darwen Unitary Authority, North Yorkshire County Council and Craven District Council, to undertake a comprehensive integrated landscape and assessment of Lancashire including the urban areas and to produce a landscape strategy informed by the landscape character assessment process.

New Hall Barn falls within 11 Valley Floodplains and is influenced by Landscape Character Types: 5 Undulating Lowland Farmland.

#### **Landscape Character Type 5 - Undulating Lowland Farmland**

Generally below 150m, the Undulating Lowland Farmland lies between the major valleys and the moorland fringes. The underlying geology is largely masked by heavy boulder clays and hedgerows predominate over stone walls. This lowland landscape is traversed by deeply incised, wooded cloughs and gorges. There are also many mixed farm woodlands, copses and hedgerow trees, creating an impression of a well wooded landscape from ground level and a patchwork of wood and pasture from raised viewpoints on the fells. Some of the most picturesque stone villages of the county occur within this well settled landscape type.

The towns of Longridge and Clitheroe also occur within this type, but are not typical of the settlement pattern. The area also has many country houses whose boundary walls and designed landscapes add to the species diversity and visual appeal. There is a high density of farms and scattered cottages outside the clustered settlements, linked by a network of minor roads.

#### **Landscape Character Area 5c - Lower Ribble**

The Lower Ribble is an area of lowland gritstone farmland between Longridge Fell to the north and Mellor Ridge to the south. It has a distinctive broad valley landform; the north and south valley sides are separated by a flood plain which contains the meandering course of the River Ribble. There is a particularly distinctive pattern of wooded cloughs which descend the valley sides, their streams emptying into the Ribble. A complex pattern of hedges and woodland form links to these wooded cloughs, giving an overall impression of a well wooded landscape. Although a rural valley, the area is well settled; a dense network of winding country lanes and tracks link the large number of stone farm buildings. Other features of this area are the country houses and designed landscapes, for example Stonyhurst College, Huntingdon Hall and Showley Hall. The Roman settlement of Ribchester is sited at an historic crossing point of the Ribble, a tranquil village in the centre of the valley.

#### **Landscape Character Type 11 - Valley Floodplain**

The broad, flat open floodplains on the valley floors of the larger lowland rivers are subject to periodic flooding and their rich alluvial drift deposits support fertile grazing land for cattle and sheep. Although part of the wider landscape of the valleys, the floodplains have distinctive landscape patterns and land use pressures. They are characterised by large river meanders, eroded bluffs and terraces, standing water and steep wooded banks, which enclose the floodplain and determine its edge. Large fields are divided by post and wire fencing, hedgerows or stone walls and mature floodplain trees are characteristic of the pastoral landscape. The presence of Roman roads, numerous archaeological sites and motte and bailey castles along the length of these major lowland valleys suggest their early and prolonged use as important communications routes. Many settlements on the fringes of the floodplain mark important crossing points where impressive stone bridges cross the water. The floodplains themselves remain rural and unpopulated except for the visitors who fish or walk the riverside footpaths.

#### **Landscape Character Area 11a - Lower Ribble valley**

The open flat and fertile plain of the lower Ribble is a pastoral, tranquil landscape containing the meandering course of the river. Its extent is defined by the steep wooded bluffs and terraces which enclose the floodplain. Lush green fields of semi-improved pasture are grazed by sheep and cattle. The large regular fields are defined by gappy hedgerows, supplemented by sections of post and wire, wooden fencing or stone walls. This array of materials and styles conveys a lack of visual unity despite the natural beauty of the landscape. Mature floodplain trees are notable features in this character area; ash and oak stand in the floodplain, their silhouettes striking against the open landscape. There is little settlement within the floodplain itself, but a number of large farms and country halls are positioned along the edges of the floodplain. Settlements, such as Ribchester, Great Mitton, West Bradford, Grindleton and Sawley, are also sited on the adjacent river terraces, their extremities sometimes extending onto the floodplain. There are a number of historic crossing points which coincide with these settlements where old stone bridges are important historic features of the floodplain.



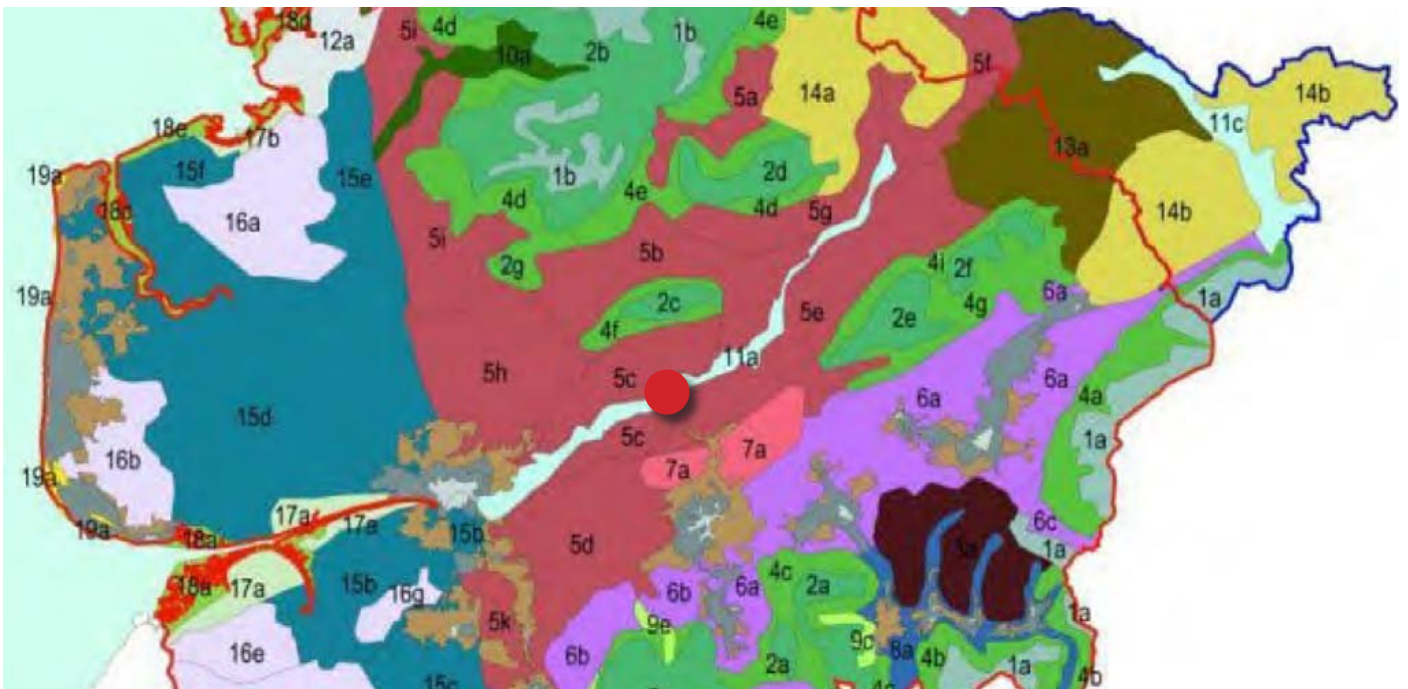


Figure 4. Landscape Character Types and Areas - A Landscape Strategy for Lancashire

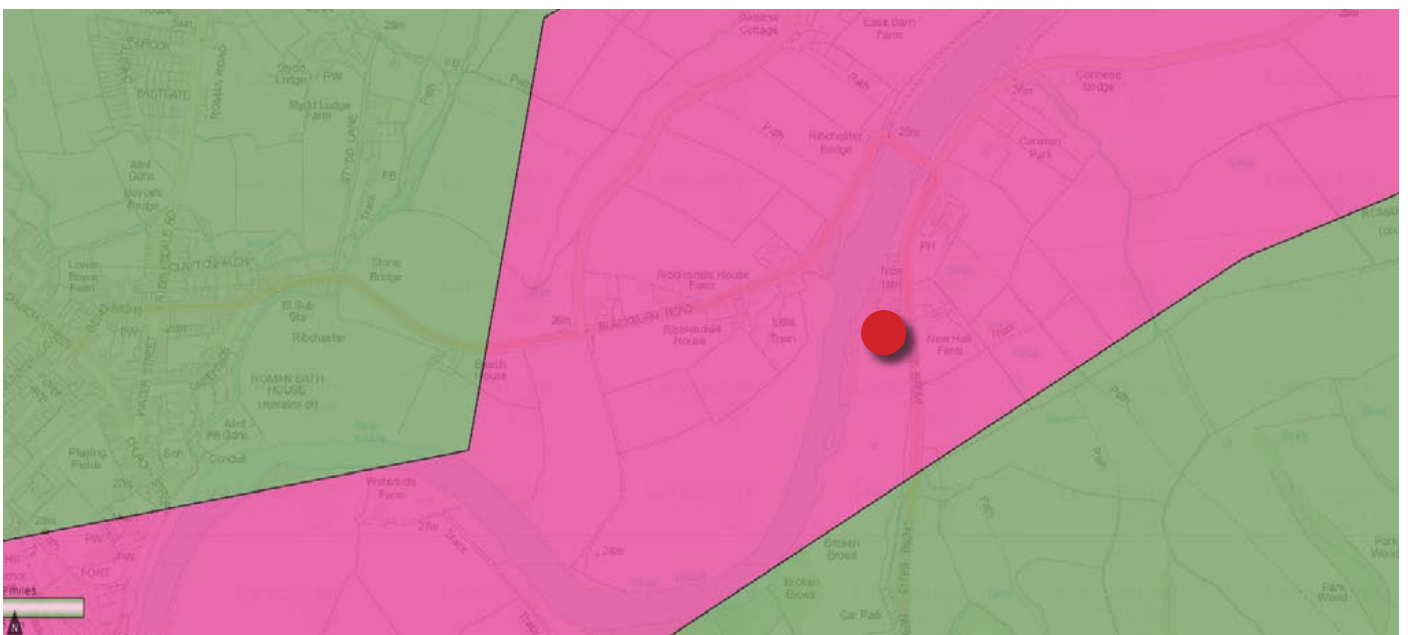


Figure 5. Landscape Character Types and Areas - MARIO MAP

### 3.3 SUMMARY OF THE PUBLISHED LANDSCAPE CHARACTER ASSESSMENTS IN THE CONTEXT OF THE PROPOSAL SITE

The published landscape character assessments describe some of the features of the proposal site and include:

- Influence of the River Ribble and the natural and contained backdrop
- Agricultural land fragmented by built form
- Settlement within the floodplain with their extremities extending into the floodplain
- Varying array of materials and styles (post and wire, stone walls) to enclose fields conveys a lack of visual unity despite the natural beauty of the landscape

### 3.4 LANDSCAPE RESOURCE OF THE STUDY AREA AND THE SITE

#### Wider Landscape Value

Access within the wider context of the site there is a network of public footpaths, bridleways and long distance trails. The long distance trail 'The Ribble Way' runs along the course of the River Ribble or along roads and footpaths within the vicinity of the river and adjacent settlement. Within the context of the study area the Ribble Way travels along the edge of the river south of Ribchester before entering a residential lane and then turning east along Blackburn Road. On reaching Ribchester Bridge the Ribble Way runs along the course of the river bank. Within the study area there are limited points (Church Street and Ribchester Bridge) that the Ribble Way focuses along the river towards the proposal site and to the landscape within the lower topography. Views are limited as the users are typically separated by roads, hedgerows and fields that limit views.

To the south of 'The Barn' the landscape rises and public footpaths become elevated where the landscape plateaus. To the north of the Ribble Way there are a network of public footpaths that remain relatively level with the long distance trail before climbing gradually to higher ground. Due to the number of public footpaths and long distance trail within the study area and this forming the setting to Ribchester the wider landscape value is assessed as **Good**.

#### The Site

There is no access to the site itself or public footpaths adjoining the site. There are no known ecological, arboricultural or amenity characteristics which would infer a higher value and is therefore considered to have **Low** Landscape Value. Any historical or cultural value has been considered separately in the heritage statement.

### 3.5 LANDSCAPE CHARACTER OF THE STUDY AREA AND THE SITE

#### Wider Study Area

The landscape of the study area is characterised by the river valley that creates the lowland valley area framed against the undulating farmland to the north and south. Agricultural farmland, field vegetation and woodland blocks creates the appearance of a lush and well wooded landscape. The built form within the study area is typically isolated or small cluster buildings located along local lanes and the village settlement of Ribchester. Local stone is the common building material.

The nature of the layered vegetation can limit and contain views, with more open views across the landscape accessed from the river valley and the upland plateaus. Ribchester Bridge and the Ribble Way at Ribchester provide attractive landmarks / viewing areas to gain an appreciation of the surrounding landscape.

The landscape is considered to be of **Ordinary** to **Good** landscape quality with features worthy of retention including woodland copses, specimen field trees and hedgerows, however the field patterns have been eroded through farming intensification on the lower landscape. The Landscape is not covered by any landscape designation (e.g. AONB, National Park).

#### The Site

The proposal site lies within a small field that borders the River Ribble to the west and Blackburn Road to the east. The landscape to the south rises to a small woodland and is contained to the north by New Hall and its garden vegetation. Separating the proposal site and Blackburn Road is a low stone wall that has fallen into neglect and to the south a Hawthorn Hedge. The built form on the site is in the form of a Barn and ancillary out buildings. The Barn is rectangular in shape and runs north to south with modern additions to the western boundary that face the River Ribble. The modern additions are red brick. The barn building has render over a natural stone wall construction with a slate roof. To the northern boundary the site adjoins New Hall that is enclosed by vegetation. The Halls ancillary building forms the boundary to the proposal site and is finished in breeze block.

The partially derelict nature and fragmented materials of the existing barn are not considered to be positive characteristics or features of the wider landscape.

The landscape of the proposal site is considered to be of **Ordinary** landscape quality with some positive features including perimeter vegetation; detracting features include the current neglected character of the barn, out buildings and walling.



Figure 6. Landscape Resource

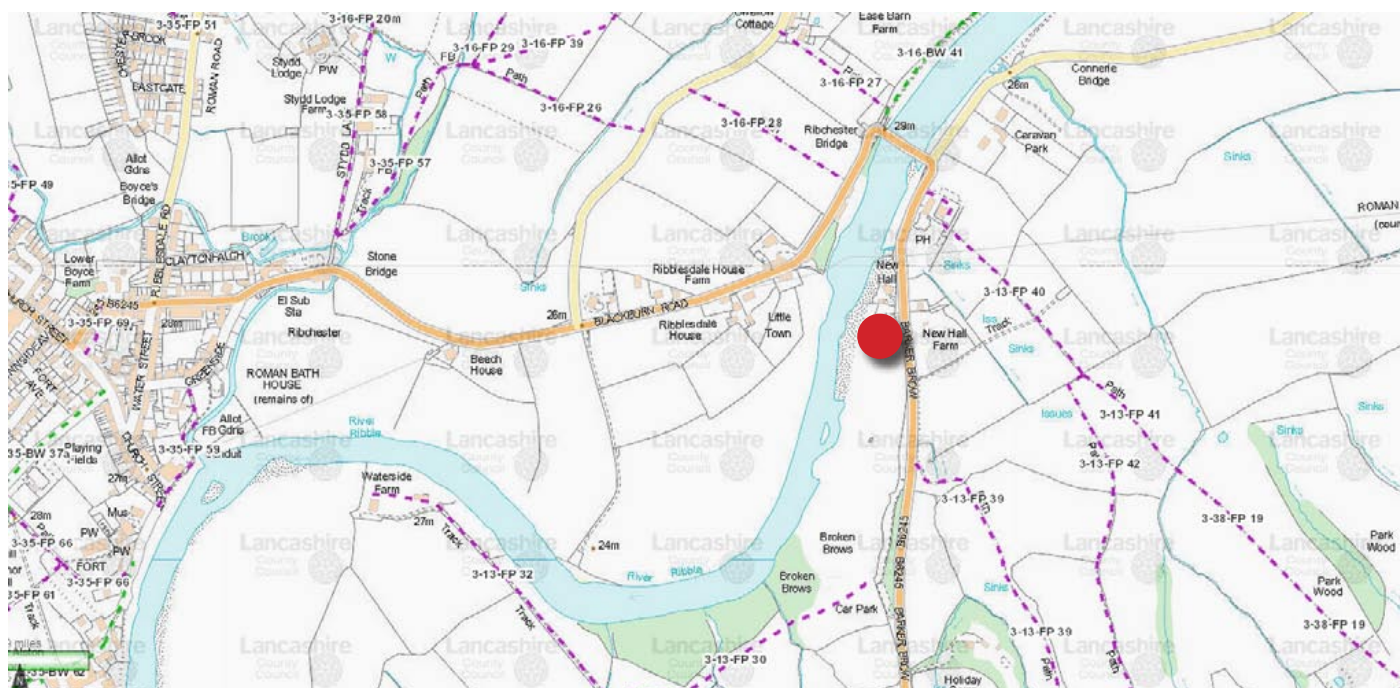


Figure 7. Landscape Resource - Public Footpaths MARIO MAP



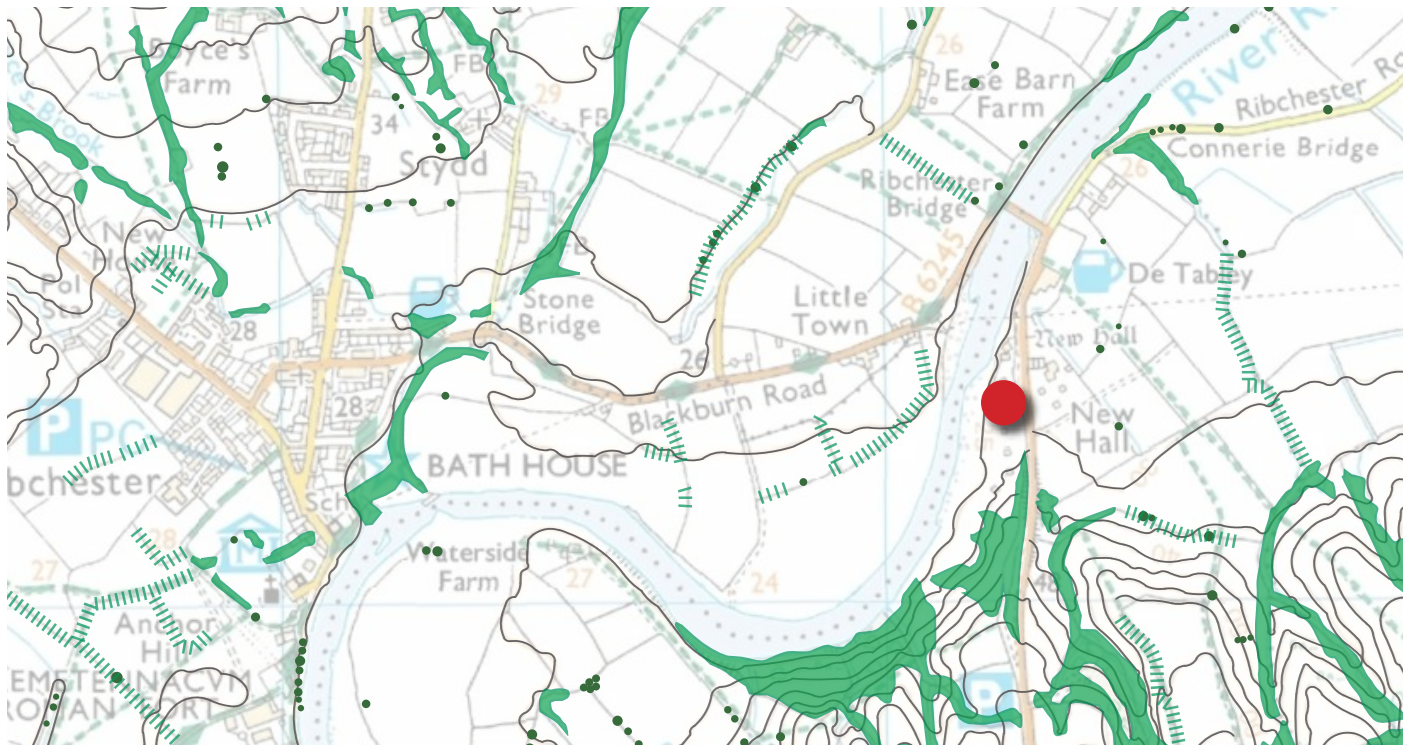


Figure 8. Landscape topography and vegetation cover

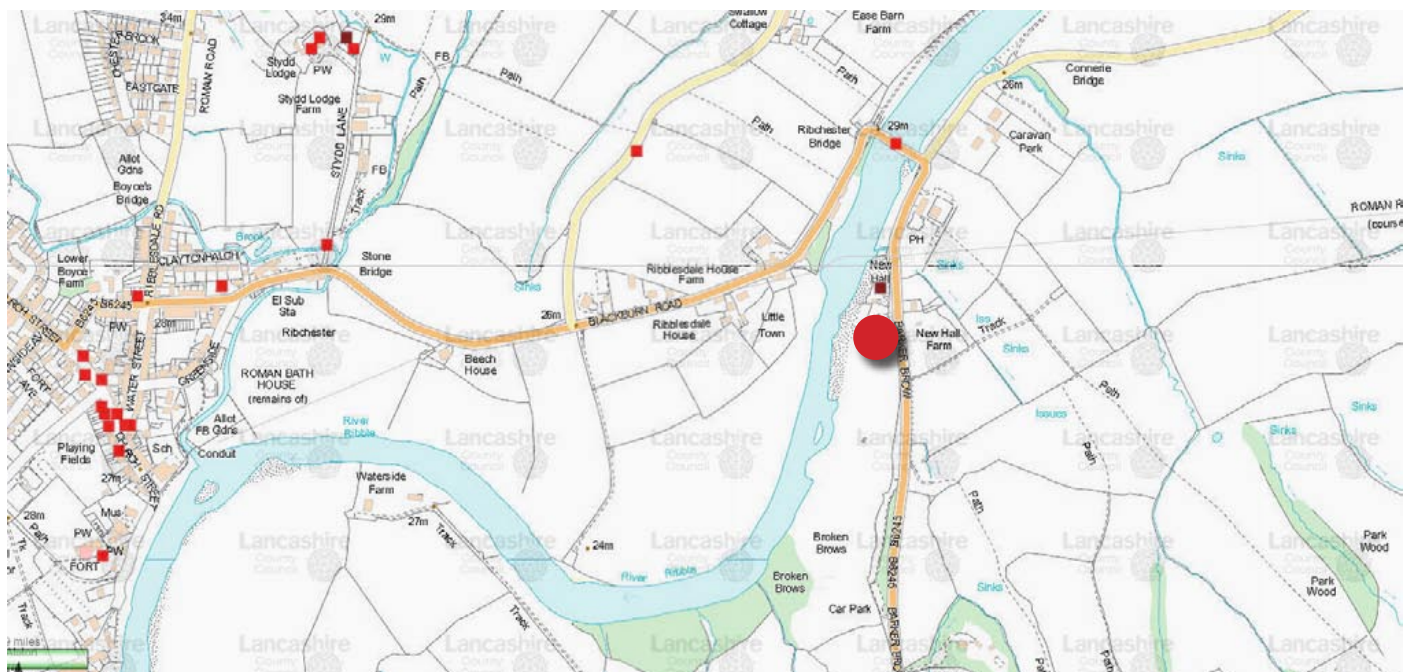


Figure 9. Listed Buildings - MARIO MAP

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### 3.6 LANDSCAPE CONTEXT PHOTOS (See Figure 10 photo location plan)



Photo 1. Looking south along the River Ribble from Ribchester Bridge towards houses located along Blackburn Road



Photo 2. Looking east from the Ribble Way at Church Street towards Pendle Hill and the proposal site



Photo 3. Looking east along Blackburn Road towards the proposal site and River Ribble. Hedgerows contain the street.



Photo 4. Looking south-west along Blackburn Lane along stone boundary walls and hedgerows that contain the street. Natural stone walls are a common element to enclose dwellings and farmsteads.

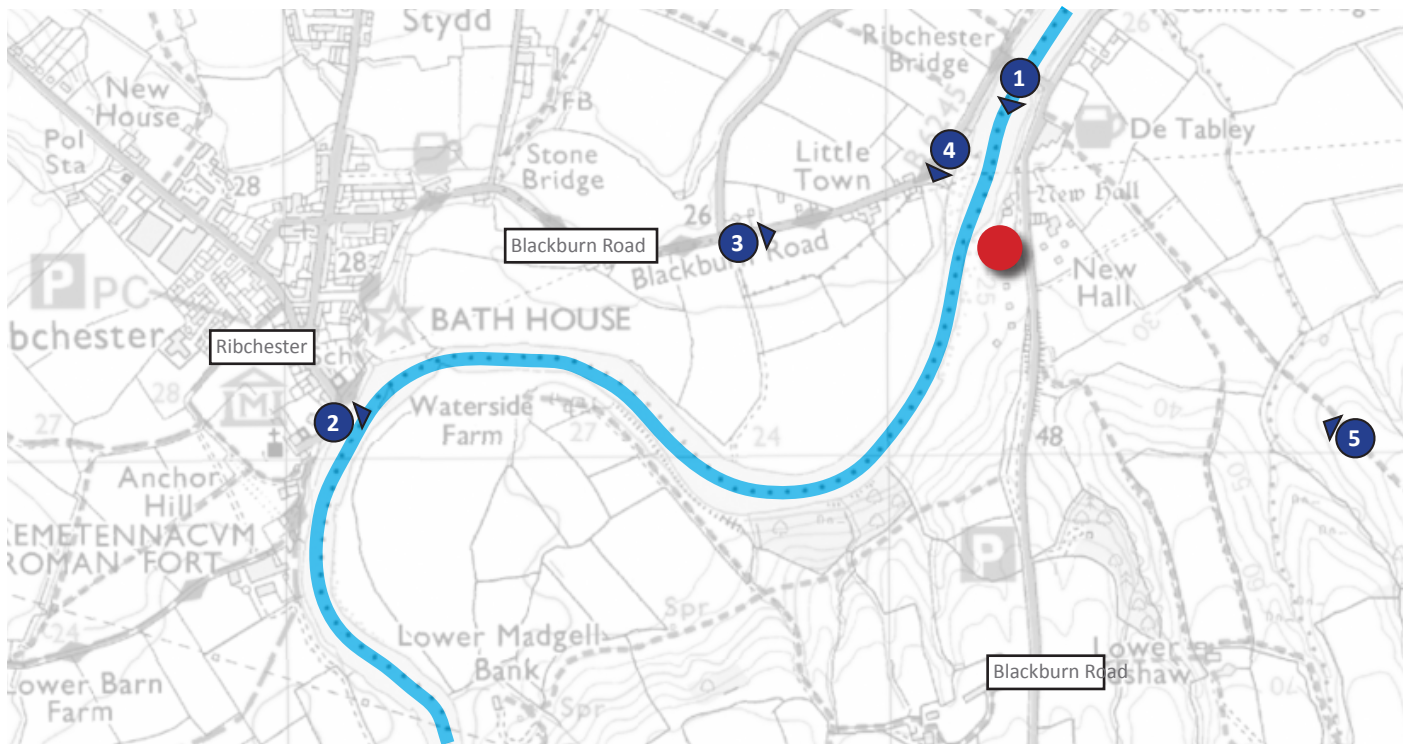


Figure 10. Photo Location Plan (Landscape context)



Photo 5. Looking north / north west from the public footpath north of Bradley Wood across the undulating landscape and lower ribble valley. Built form dotted through the landscape provides visual interest between the vegetation and fields

## 4.0 VISUAL

### 4.1 VISUAL RESOURCE

A visual appraisal has been undertaken from various locations and possible vantage points identified through site visits, and analysis. Views for the appraisal have been chosen to be both representative of the range of differing receptors (public, community, residents and visitors) within the study areas and of the visual amenity available at points north, south, east and west of the proposal site.

### 4.2 SURROUNDING CONTEXT - VISUAL RECEPTORS

#### Relationship to adjacent Listed Building

New Hall a Grade II\* listed building is located to the north of the proposal site. The building is set within mature gardens and is orientated to face south east towards Blackburn Road and the modern detached property and to the north west towards the River Ribble. The Hall is enclosed by natural stone walling and further trees located within a grass verge outside of the garden. Views into the Hall from 'The Barn' and surrounding landscape are limited. It is considered that views in/out of the Hall would be more open in winter months when the trees are without leaf. The listing of the building does not mention the setting of the Hall or the previous ancillary buildings that the proposal site would have formed part of. The listed building is a residential property. (Potential impacts to the heritage and cultural value have been assessed separately within the Heritage Statement).

In landscape and visual terms it is assessed that the change to the view and setting of the Listed Building via the development proposals to change the use from a barn to a dwelling would be **Low**. There will be limited change to the mass of the building with a small change in character due to the use change from agricultural to residential, although removing the render and reinstating the stone would enhance the visual appearance. The enclosed nature of the Listed building is illustrated in View 4. No representative view was obtainable from the property due to private ownership.

#### Residential - Edge of Settlement

The settlement of Ribchester is approximately 1km west of the proposal site and abuts the River Ribble. There are views east along the valley floodplains and beyond to Pendle Hill. The views are focused along the valley by the undulating topography to the south. There are isolated barns, houses and farms within the view. The proposal site barn forms one of these buildings.

It is assessed that the change to the view would be **Negligible**, with development of the site from agricultural to domestic use being indiscernible at the 1km distance. The existing built form is already a feature in the landscape. The view is represented in View 1.

#### Residential - Individual properties west of the River Ribble

There are several properties to the west of the River Ribble located along Blackburn Road that have rear elevations and gardens facing the river and beyond to the proposal site. Due to the properties being in private ownership and the perimeter boundaries being fencing and walling there is no representative view from within the residential curtilage. View 2 is representative of the open nature between the properties, the river and to the proposal site. It is considered that views from residential receptors to the north of New Hall will have filtered views due to the vegetation around the hall obscuring direct views to the proposal site. For properties further south along Blackburn Road the views are anticipated as being open. The built form of the barn is already part of the view.

It is assessed that the change to the view would be **Low** with a change of character from agriculture to residential. It is a common character within the area for residential properties to have rear gardens directly abutting the river course so would appear congruous.

#### Residential - Individual properties east of Blackburn Road

There is a single modern residential property to the east of the proposal site that has front facing elevations towards 'The Barn'. Views are obtainable from ground and first floor windows and the front garden, the views are focused on the barn and the ancillary buildings. 'The Barn' and ancillary buildings and landscape to the fore court have a neglected character. The view is represented in View 3 and 4.



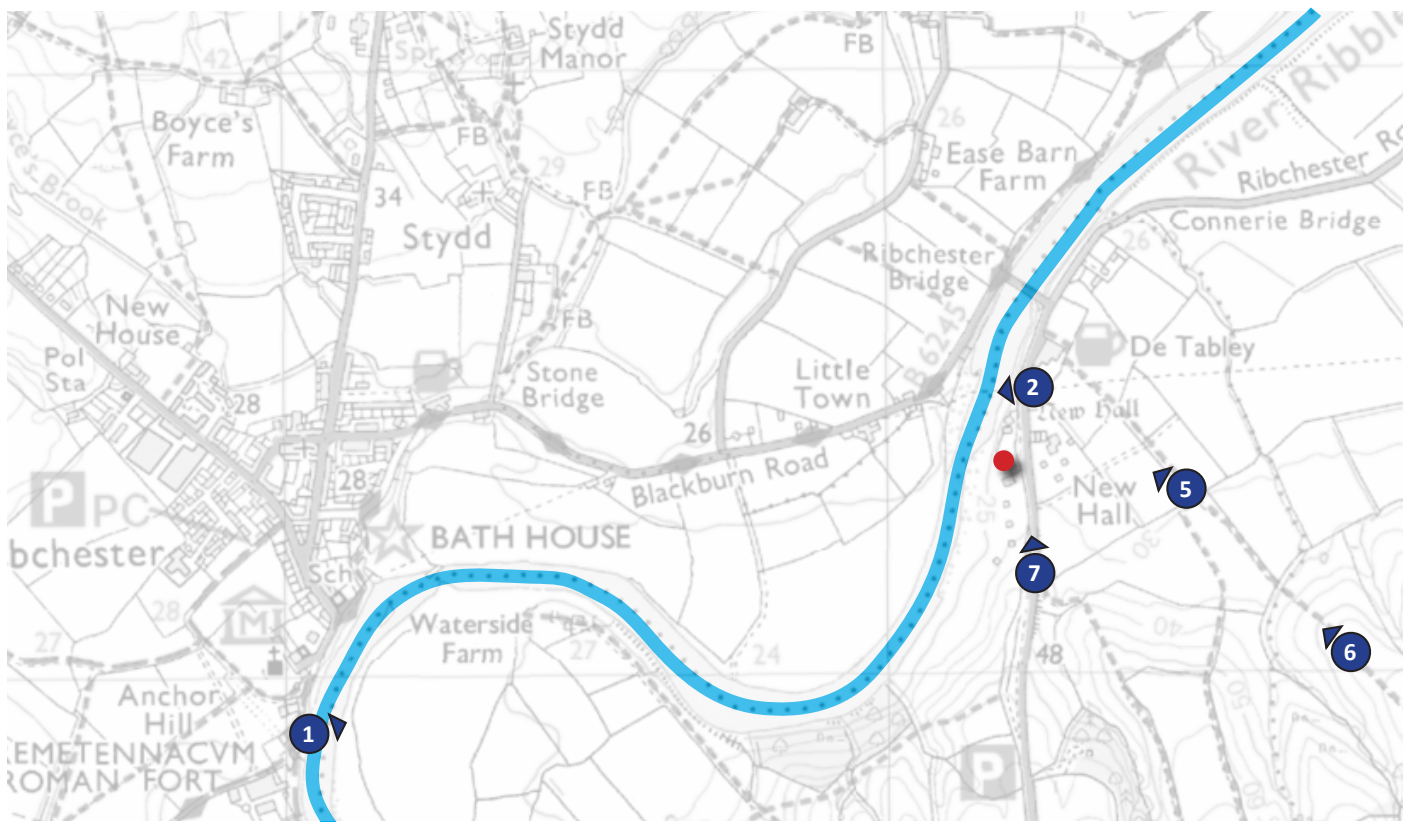


Figure 11. View Location Plan



Figure 12. Near Distance Receptor Orientation in relation to the proposal site

It is assessed that there will be a change from remnant agricultural buildings to domestic use due to the proximity of the receptor and front facing views. However it is considered that the change will be Low and beneficial due to the limited nature of change to this elevation and the restoration of the original stone to this facade and the improvement of the landscape setting which has fallen into disrepair.

#### Long Distance Trails to the north of the proposal site

The Ribble Way navigates along the edge of settlement at Ribchester before following the course of Blackburn Road and continuing north of Ribchester Bridge. There are limited views between the Ribble Way and the proposal site due to the low lying topography and the surrounding built form and vegetation lining the route. The exception to which is at Church Street in Ribchester where there are views along the valley floodplains. Isolated built form is part of the character of the view with barns, residential dwellings and farmsteads visible. The roof of the barn is visible above vegetation but viewed at 1km distance where the casual observer would not be able to differentiate between one building and another.

It is assessed that the change to the view is **Negligible** with the proposed development of the barn to residential use being indiscernible.

#### Public footpaths east of the proposal site (lower topography)

There is a network of public footpaths to the east and south east of the proposal site that connect through the flatter farmland fields to the elevated hills. Views are across farmed fields contained by hedgerows and hedgerow trees that creates the appearance of a lush and well vegetated landscape. The existing built form at De Taby Arms redevelopment, the modern detached house and 'The Barn' are visible. The view is represented in View 5.

It is assessed that the change to the view is **Negligible** due to the existing residential built form being the prominent built form within the view.

#### Public footpaths east of the proposal site (higher topography)

The public footpaths along the lower landscape connect to higher plateau landscapes in the southeast. From these local vantage points the receptors obtain open and panoramic views across the undulating landscape and the river valley. Isolated pockets of built form are a characteristic within the wider landscape. The proposal site forms only a small part of the wider view. The existing built form along Blackburn Road is visible.

It is assessed that the change to the view is **Negligible** due to the existing built form being within the view and within the context of other residential buildings. The change of use from agricultural to residential will be indiscernible due to the distance of the proposal site to the receptor. The View is represented in View 6.

#### Vehicle users along Blackburn Road south of the proposal site (higher topography)

Blackburn Road runs in a north - south orientation parallel to the proposal site. Views from the south from the more elevated landscape are represented in View 7 with 'The Barn' and the modern detached dwelling being visible. The Barn and surrounding proposal site are at a lower level to the road so are only partially visible. There are glimpsed views to the roof pitch of New Hall. The vehicle receptors focus is to a landscape that opens out and an appreciation of the Ribble Valley is seen. The receptor is travelling at national speed limit. It is assessed that due to the speed of the travel that the change to the view is **Low** with a change of use of the building from agricultural to residential.

#### Vehicle users along Blackburn Road north of the proposal site (lower topography)

Blackburn Road runs in a north - south orientation parallel to the proposal site. Views from the north are from a landscape relatively level to the proposal site and is represented in View 8. The modern detached property forms part of the view to the east of Blackburn Road with the vegetation surrounding New Hall to the west containing the view and limiting views to the proposal site until the receptor is directly parallel. It is assessed that due to the speed of the travel and vegetation screening that the change to the view is **Negligible**.

### 4.3 THE SITE - VISUAL RECEPTORS

There is no public access to the site and therefore there are no existing public receptors to be assessed.



View 1 - View looking west from the Ribble Way long distance trail and from the eastern edge of Ribchester Settlement along the River Ribble and across the valley floodplains



View 2 - View looking west from Blackburn Road showing properties along Blackburn Road with open aspect to the River Ribble (No representative photo available from the rear of the properties along Blackburn Road due to private ownership)





View 3 - View looking west from New Hall Farm (modern property) towards New Hall Barn across Blackburn Road (road). 'The Barn' and out buildings form the majority of the view and currently have a neglected character.



View 4 - The view shows the visual relationship between New Hall, New Hall Barn and Blackburn Road. The Grade II\* listed building is contained by mature vegetation surrounding its perimeter. It is anticipated in winter months that there may be more open views. New Hall Barn is at an oblique angle to the proposal site.





View 5 - View looking north west across relatively flat farmland from the public footpath. The roofscape of 'The Barn' is visible to the left of the modern detached property that in turn blocks views to New Hall. De Tably Arms converted building is also visible.



View 6 - View looking northwest from the public footpath on higher ground (north of Bradley Wood) across the rolling landscape and to the lower topography of the valley floodplains.



View 7 - View looking north along Blackburn Road and representative of that experienced by vehicle receptors (travelling at national speed limit). 'The Barn' is visible to the west of the road and experienced in the context of the modern detached property to the east of Blackburn Road. New Hall is screened by vegetation with glimpsed views to the roofscape.



View 8 - View looking south along Blackburn Road and representative of that experienced by vehicle receptors (travelling at national speed limit). Views to the west are contained by the stone walling and birch trees around New Hall. There are more open views to the modern detached property to the east of Blackburn Road. Views to 'The Barn' are only obtained when directly adjacent to the building.

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## 5.0 RECOMMENDATIONS & MITIGATION

### Views

The built form of 'The Barn' is already perceived within the landscape with views from public receptors typically at a distance where any change of building use will be indiscernible or viewed by passing vehicles at a speed that the detail of the building will not be a key part of the journey.

Residential receptors in close proximity to 'The Barn' are more likely to notice the change of use and character of the immediate landscape surrounding the built form, however 'The Barn' is already part of the views obtained by the receptors with the development proposals looking to conserve the form of the existing barn and improve the derelict nature of the existing site. Residential dwellings adjoining the road and the river are characteristic of the area and therefore the conversion of 'The Barn' and adjoining land to become garden space will not be out of character with the wider landscape.

New Hall (Grade II\* listed building) is orientated that 'The Barn' is not a direct focus of the listed buildings or considered part of the setting. The two buildings appear within separate landscape character parcels. New Hall property is heavily surrounded by vegetation and intervisibility between the two is extremely limited.

There is no requirement for mitigation for the public or vehicle receptors. Sensitive landscaping to the front of 'The Barn' will integrate the change of use and assimilate the development with the two adjacent residential properties and improve the setting.

### Vegetation

The site is contained to the south by a Hawthorn hedge. The hedge could be continued to be in line with the edge of 'The Barn' where there is a gap between the wall and the vegetation. The additional vegetation would be in keeping with the hawthorn hedges in the area.

To the east of New Hall birch trees are located within a grass verge and create a distinct character along the road and listed building. Careful siting of trees within the proposal site could further add to this character and offer some visual screening between 'The Barn', Blackburn Road and the modern detached property.

The properties to the west of the River Ribble have gardens that adjoin the river corridor. They are typically retained as lawn and planting that retains the green character of the valley landscape.

Vegetation within the surrounding landscape creates the appearance of a well wooded landscape that filters views and provides existing screening in the landscape.

### Topography

'The Barn' is sat within the lower aspects of the landscape and appears sunken due to the fall in topography along Blackburn Road.

### Features

It is not considered that the barn currently makes a positive contribution to the wider landscape character and there is opportunity to expose the original stonework and features of 'The Barn' as part of the redevelopment. The development proposals will also look to repair and replace the existing stone wall between 'The Barn' and Blackburn Road to create a boundary feature that is in keeping with the surrounding landscape.



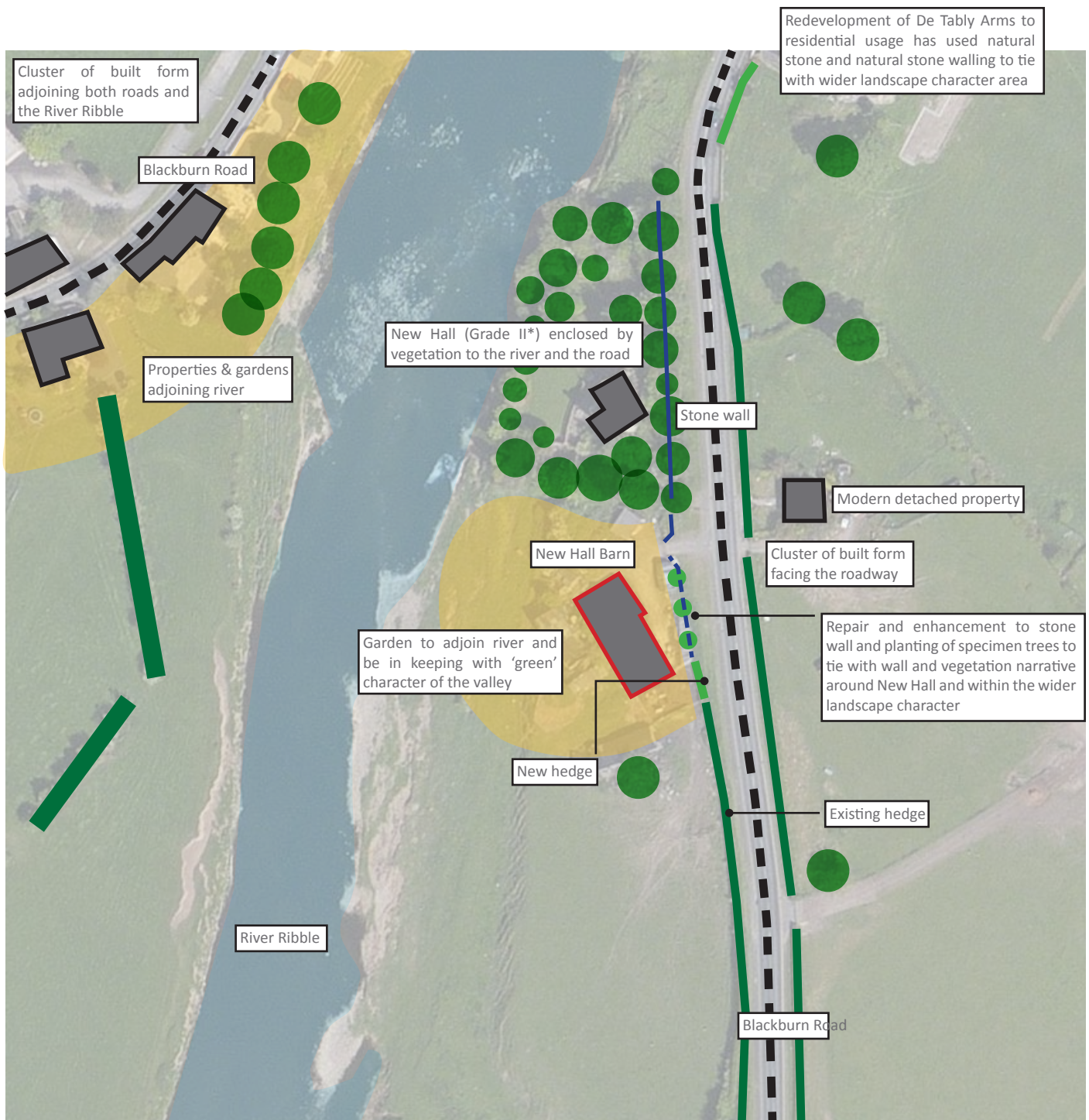


Figure 13. Recommendations and Mitigation

## 6.0 SUMMARY

### 6.1 LANDSCAPE RESOURCE

#### The Study Area

The existing landscape resource of the wider study area is assessed as having **Ordinary to Good** Landscape Quality with a **Good** Landscape Value due to the network of public footpaths and the long distance Ribble Way and contributing to the setting of Ribchester.

There will be a **Negligible to Low** change to the wider landscape character with the building mass remaining the same but with localised loss of agricultural buildings and land and a small increase in residential settlement. This will be balanced by restoring the derelict nature of the building and its environment, in particular the removal of the render and restoring the stone of the barn.

#### The Site

The existing landscape resource of the site is assessed as **Ordinary** Landscape Quality and **Low** Landscape Value. The site has some attractive features but currently has a neglected character. There is no public access to the site. Potential heritage and cultural impacts have been considered separately in the Heritage Statement, however it is considered that the proposed development of 'The Barn' will have very limited intervisibility with New Hall.

There will be a **Low** change to the site itself from derelict agricultural buildings and hard standing land to a domestic landscape. The built form, character and mass will remain the same with a change of use from barn to a dwelling. Mitigation is proposed to assimilate the development into the landscape and tie with established landscape character elements including stone walling and tree planting. The landscape of the proposal site is not readily perceived from public areas and thus will not have a large change on the wider landscape character.

### 6.2 VISUAL RESOURCE

#### The Study Area

There are a limited number of residential receptors (high receptor sensitivity) in the vicinity of the proposal site. The edge of settlement at Ribchester is assessed as Negligible change to the view due to distance of the receptor and the change to the building usage being indiscernible. Properties to the west of the River Ribble are assessed as experiencing a Low change to the view due to the filtering effect of the vegetation surrounding New Hall and the existing built form of New Hall Farm and 'The Barn' already being part of the view. Housing adjoining the river embankment and along Blackburn Road is typical within the locality.

There are a network of public footpaths and the Ribble Way within the study area. Views on the lower topography are typically filtered due to vegetation. Views from the Ribble Way are limited to the eastern edge of Ribchester where due to the distance of the receptor the change to the building usage will be indiscernible, and therefore the change to the view is assessed as Negligible. For users of the public footpath networks to the east and south east of the proposal site the barn is seen in the context of the surrounding built form along Blackburn Road and Blackburn Road, predominantly the roof. The change of use would not be a noticeable feature within the landscape and wider views and is therefore considered to be Negligible.

Views from Blackburn Road are restricting by built form and hedgerows, therefore the only vehicle receptors assessed are along Blackburn Road. Views to the proposal site are varied depending on the direction of travel users travelling north towards Ribchester Bridge experience elevated views across the landscape on driving over the 'Brow'. The proposal site is at a lower aspect and forms a small part of the view. It is considered that there will be a Low change to the existing view due to the change of usage yet will be experienced by users travelling at national speed limit. Views travelling south along Blackburn Road towards the proposal site are restricted by the walling and vegetation around New Hall and views to 'The Barn' are only experienced when directly adjacent and the change to the view is assessed as Negligible.

#### The Site

There are no visual receptors associated with the site.

### **6.3 SUMMARY**

This outline LVIA has appraised the potential impacts to the landscape and visual resource and concludes that there will not be any substantial changes to high sensitivity receptors. There may be some discernible change to the nearby residential properties, however the general mass and scale of the proposed development will remain unaltered. The change will include improvement to the landscape character, which has detrimental elements of poor materials and dilapidated structures.

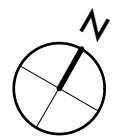
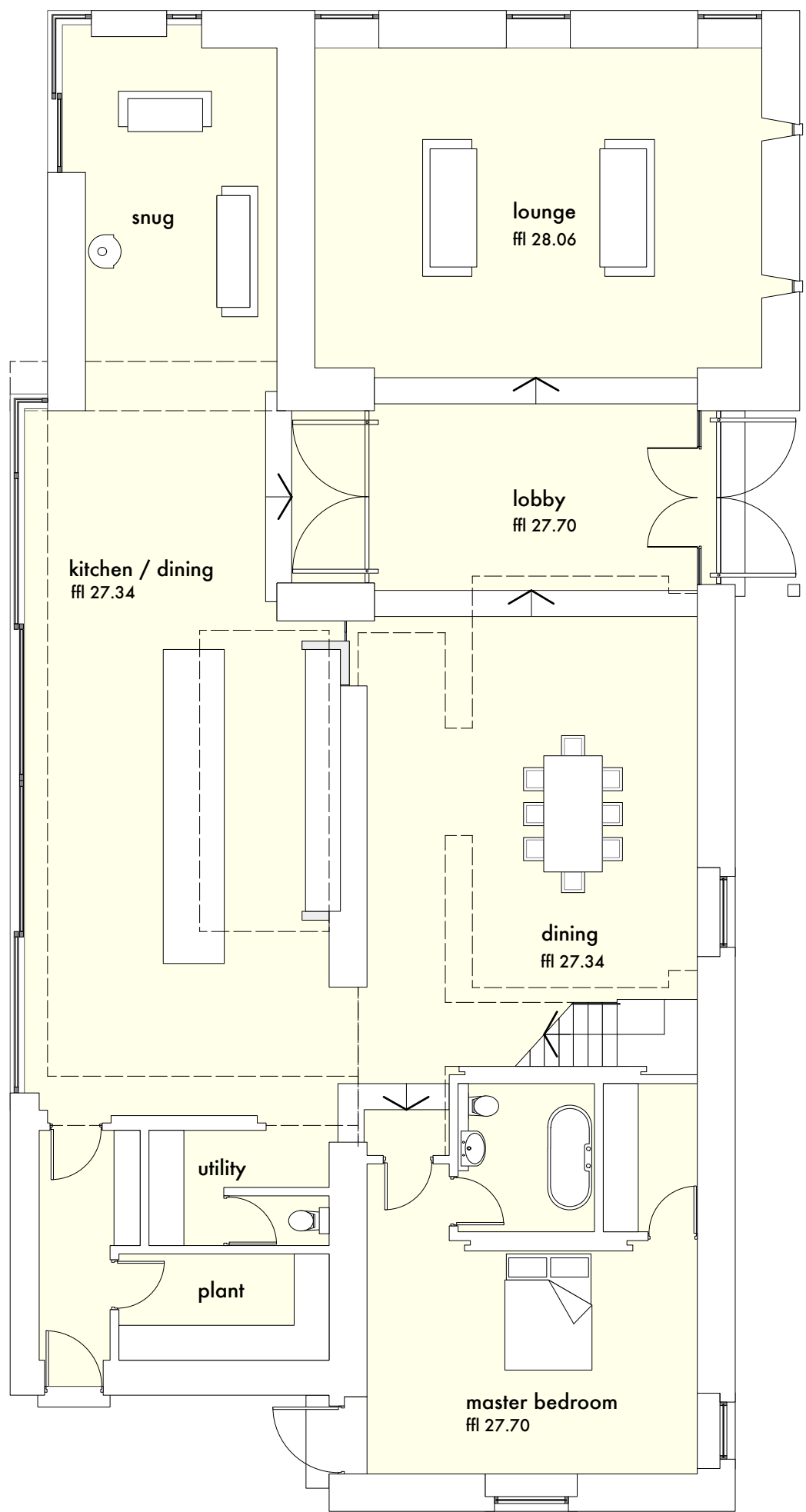
Public receptors may obtain glimpsed views to the proposal site but at a distance that any change of use will be indiscernible and across a landscape that is already characterised by isolated and clustered residential development along country lanes. The partially derelict nature and fragmented materials of the existing barn are not considered to be positive characteristics or features of the wider landscape.

It is considered that the architectural response to the building by retaining the form, design and local architectural vernacular will ensure that it is in keeping and sympathetic with its surroundings and will not be a new element within the landscape. The building is not considered to be isolated within the landscape as it viewed from public footpaths in the context of the built form along Blackburn Road and Blackburn Road. The landscape proposals will be in character with the local area and are considered as beneficial changes that will contribute to the wider landscape character area with proposals to expose the natural stone on the building and new perimeter natural stone walling to demarcate the site boundary and boundaries internal to the site.

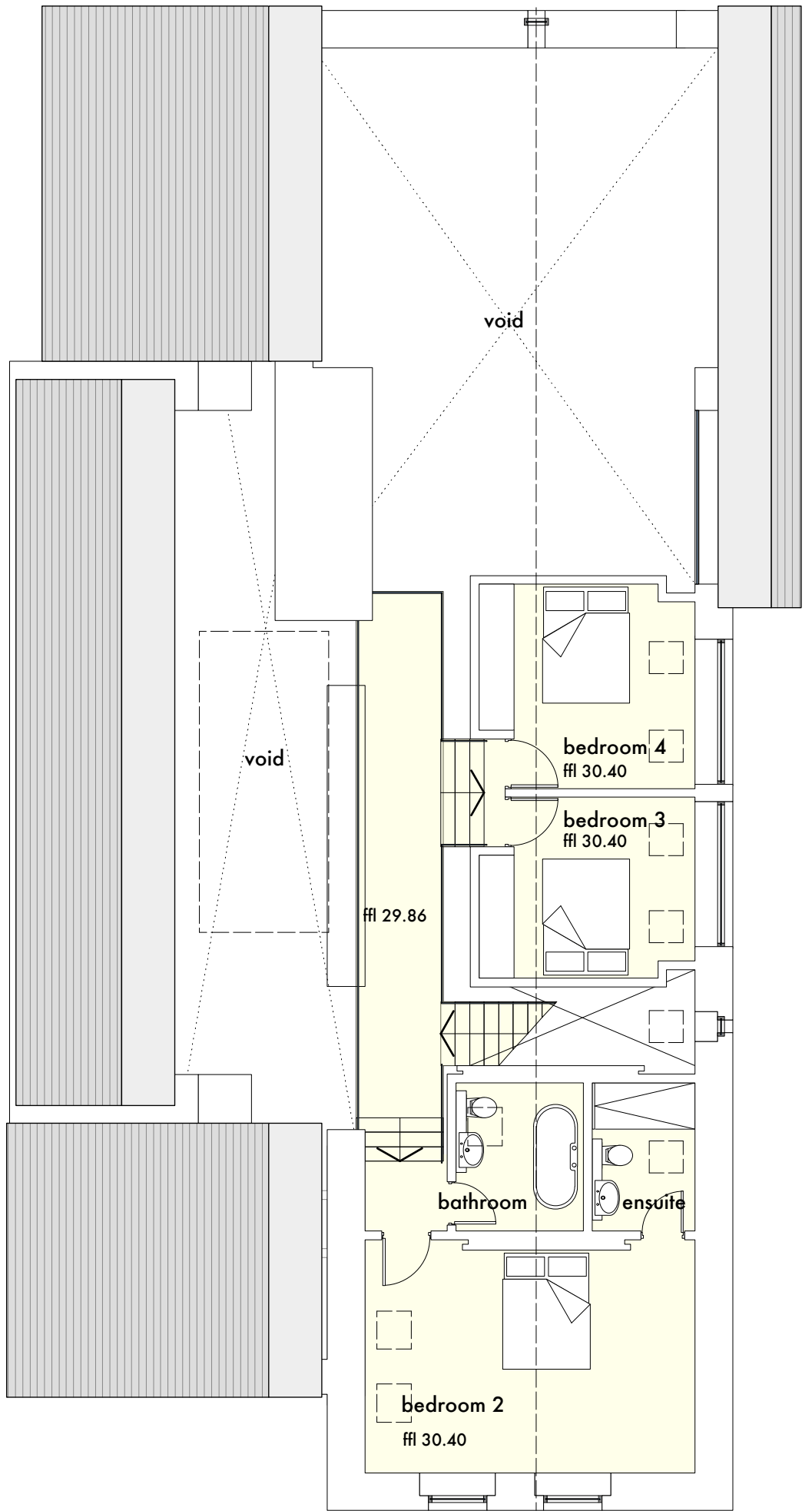


## APPENDIX 1





ground floor  
scale 1:100



first floor  
scale 1:100

A Issued for information August 2015

stanton andrews  
architects

44 york street  
clitheroe  
BB7 2DL

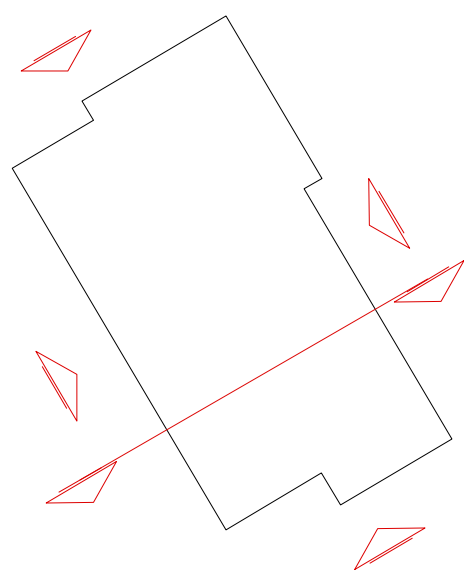
t 01200 444490  
e mail@stantonandrews.co.uk  
w stantonandrews.co.uk

new hall barn  
ribchester

Proposed Plans

drg.no. 1471 / PL 00 rev. A  
drawn. ae date. june 2015 scale. 1 to 100 @ A1

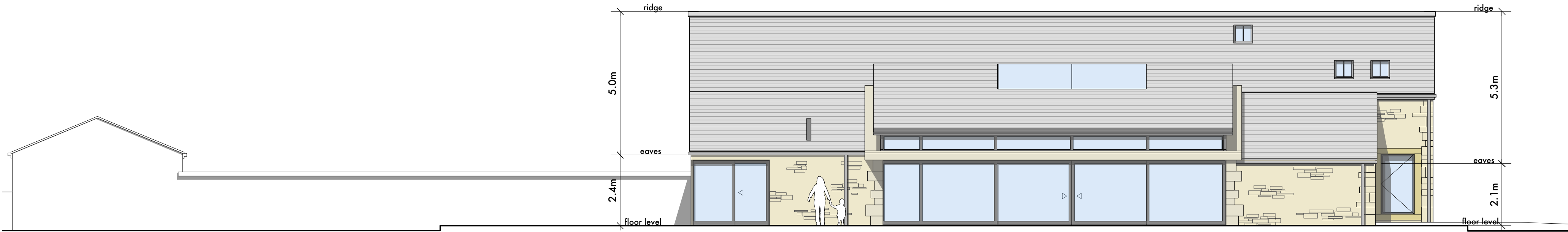




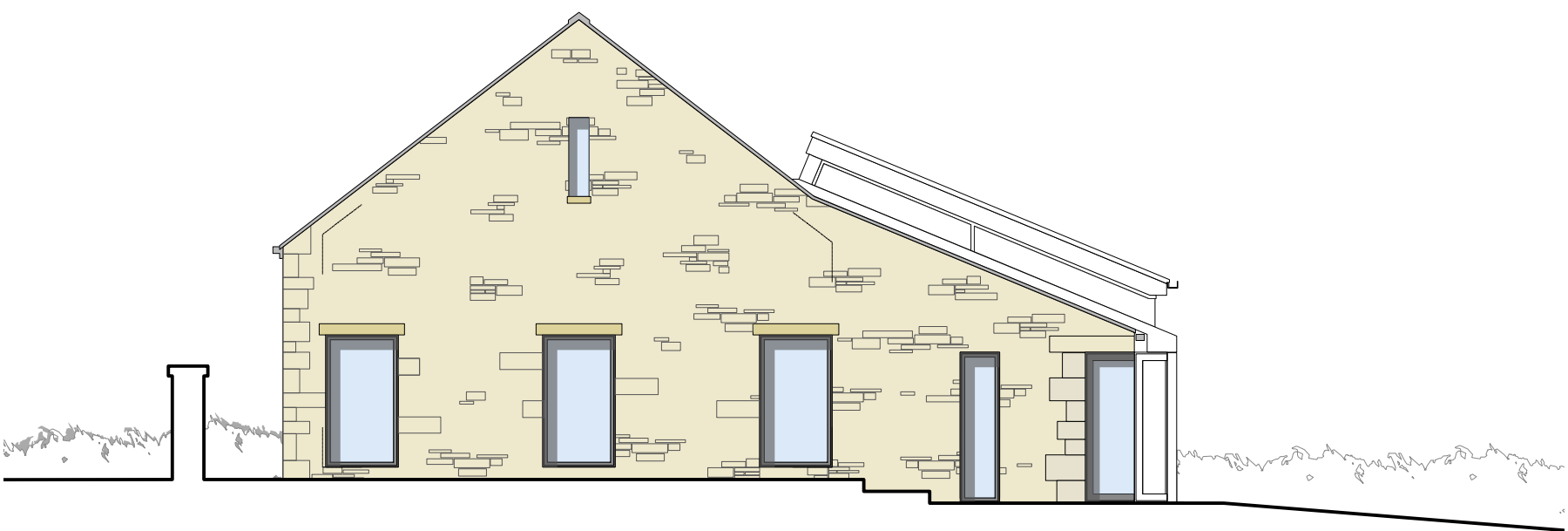
key plan

materials schedule  
samples of materials to be made available for local authority on request.  
roof - natural slate  
walls - render and stonework  
windows - polyester coated aluminium

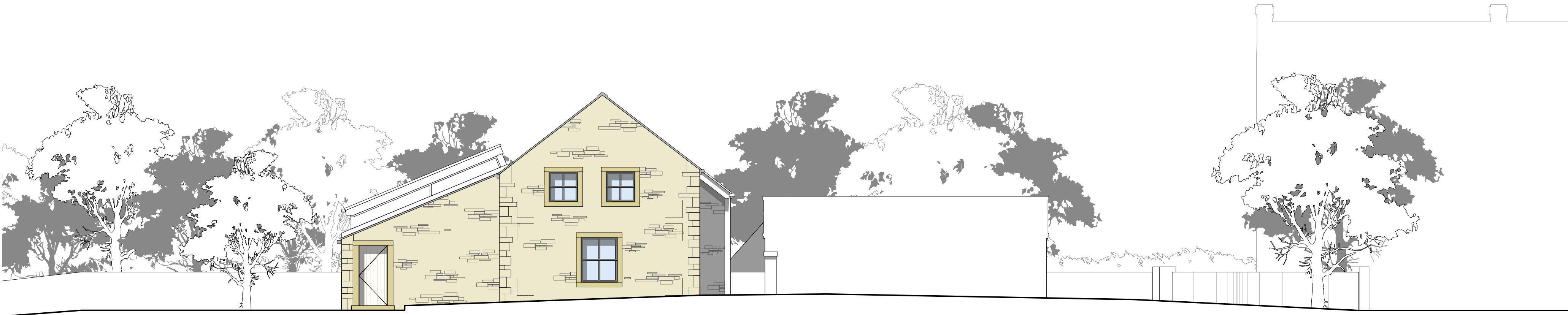
'an existing' drawings based on information provided by others - no measured survey of the property has been undertaken by the architect.  
this drawing is to be read in conjunction with all relevant consultants and specialists drawings. the architect is to be notified of any discrepancies before proceeding. do not scale from this drawing. all dimensions are to be checked on site. this drawing is subject to copyright.



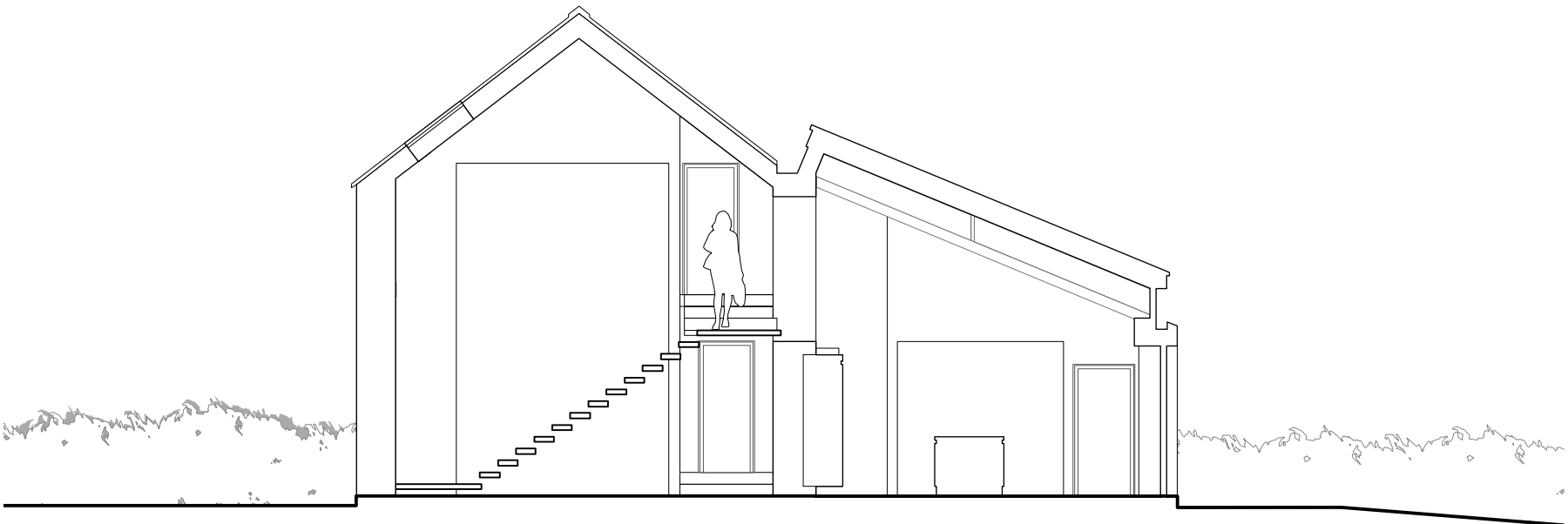
west elevation



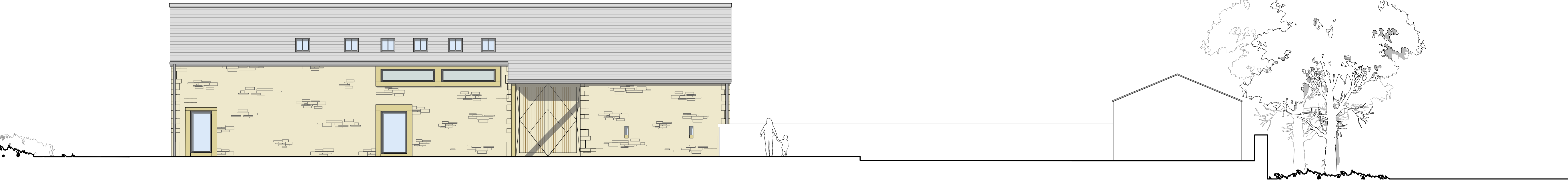
north elevation



south elevation



typical section



east elevation



A Issued for information August 2015

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new hall barn  
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proposed elevations

drg.no. 1471 / PL 01 rev. A

drawn. ae date. june 2015 scale. 1 to 100 @ A1