

The Old Mill Restoration and
Christian Heritage Centre,
Stonyhurst College

On behalf of
Stonyhurst Christian Heritage Centre Trust

Cassidy+
Ashton



Planning, Design and Heritage Statement – November 2015



**CLIENT: The Trustees of Stonyhurst Christian Heritage
Centre Trust**

PLANNING CONSULTANT & ARCHITECT:

Cassidy + Ashton

7 East Cliff
Preston
Lancashire
PR1 3JE

STRUCTURAL ENGINEER:

Sleater and Watson

26 West Cliff
Preston
Lancashire
PR1 8HU

M&E CONSULTANT:

JRB Environmental Design Ltd

Matrix Office Park
10 Eaton Avenue , Buckshaw Village
Chorley
PR7 7NA

ARBORICULTURALIST:

Tree Check Ltd

252 Leyland Lane
Leyland
Lancashire
PR5 3HL

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1.0 INTRODUCTION

This Planning, Design and Heritage Statement accompanies an application for full planning and listed building consent to restore and convert the Old Mill, Stonyhurst College, Hurst Green, to create a retreat facility and provide a new access road to the building.

The Trustees of Stonyhurst Christian Heritage Centre Trust are in the process of creating a Christian Heritage Centre at Stonyhurst College which is being constructed in four separate phases.

The first phase involved the Restoration and Refurbishment of the Grade I listed St Peters Church which was completed in 2011.

Phase 2 involved the Refurbishment and Restoration of the Historic Libraries and the creation of the Chapel Museum, which are now almost complete.

Phase 3 involves the conversion and restoration of the Old Mill to create Retreat Facilities and Phase 4 seeks to provide a new build Christian Heritage Centre adjacent to the Old Mill buildings.

This application seeks to secure the necessary consents for Phases 3.

This application has been revised to remove the Phase 4 aspects of the project from the application which were submitted in outline. This will form part of a separate future planning application.

This statement demonstrates that the application has been prepared with full consideration of the planning and heritage issues, including those pertaining to design and access as part of the comprehensive preparation of the application.

1.1 Design & Access Statements

Given the scale of this application and the heritage assets on the site, a formal design and access statement is required. Accordingly, in assessing the design element of the application, this Statement draws upon the requirements of the Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015 and National Planning Practice Guidance.

In particular, the statement explains the design principles and concepts that have been applied to the development, in particular with regard to:

- Amount of floorspace
- Layout
- Scale
- Landscaping
- Appearance

1.2 This Application

In order to allow a proper assessment of the proposals and satisfy the requirements of planning policy, the application is accompanied by:

- Application forms and certificates
- Plans, elevations and sections
- Arboricultural Appraisal
- Bat Survey

This Planning, Design and Heritage Statement is to be read in conjunction with the drawings, application forms and documents submitted alongside the application.

This statement describes the site and its surroundings before setting out the planning policy context under which the application should be considered. The planning merits are then examined and the conclusion is reached that the development conforms to the principles of sustainable development and there are no material considerations which indicate that planning permission should not be granted. The assessment incorporates a thorough review of the heritage assets on the site and the impact of the proposed development upon them.

2.0 DEVELOPMENT IN CONTEXT

2.1 Site Location

The site lies within the Stonyhurst estate near to the village of Hurst Green in the Ribble Valley area of Lancashire, England.

The site is set within an Area of Outstanding Natural Beauty.

2.2 Site Description

Stonyhurst College is a co-educational Roman Catholic independent school, adhering to the Jesuit tradition.

The school occupies a number of Grade I, II* and II listed buildings.

It was founded in 1593 by Father Robert Persons SJ at St Omer. In 1794 the school was relocated to Stonyhurst Hall. Today the school provides both boarding and day education to approximately 450 boys and girls between the ages of 13 and 18. On an adjacent site, its preparatory school, St Mary's Hall, provides education for boys and girls aged from 3 to 13.

The earliest record indicating a house on the site is the licence for an oratory obtained in 1372.

The Old Mill at Stonyhurst College dates back to 1840, although it has some later nineteenth century additions. It comprised a substantial three storey block of three parallel pitched slate roofs and a later block with two pitched roofs. The building is Grade II listed.

In May 2010 the building was subject to collapse with part of the roof and first floor within the main section collapsing.



General Site Location



Extract from Ribble Valley's Local Plan Proposals Map

2.3 Photographic Appraisal Of Site and Environs



2.4 Heritage Status

The wider Stonyhurst site contains a number of Grade I, II and II* listed buildings.

The following buildings within the wider site are listed:

1. *Front Quadrangle – the Shireburn house Grade I*
2. *Front Quadrangle – North side Grade I*
3. *Shirk Grade II**
4. *Shireburn Quad Grade II*
5. *Old Infirmary and Jumps Grade II*
6. *South Front inc. East and West Wings Grade II**
7. *Ambulacrum and Art Department Grade II*
8. *St Peter's Church Grade I*
9. *Corn Mill Grade II*
10. *St Mary's Hall Grade II*
11. *Old Observatory Grade II*
12. *Garden Pavillions Grade I*
13. *Handballs Grade I*
14. *Van Nost Sculpture Grade I*
15. *Miscellaneous garden features Various Grades*
16. *Registered Park & Garden Grade II**



The Mill - existing condition

2.5 The Old Mill

The Old Mill was listed Grade II in 1967. The listing description states that the building originates from 1840 when it was used as a mill and store, with later nineteenth century additions. It is three storeys high and had a main block of three parallel pitched roofs running from north-west to south-east. Adjoining the south-west of the building is a later block with two pitched roofs in parallel, but not extending as far to the south-east. There are also lower additions to the south-west. The building presents five gables, with copings, to the north-west. Under the two left-hand ones there are wide tall doorways with segmental arches having projected keystones. Above each are three small window openings with plain stone surrounds, the second gable also having a loading door. The part of the building under the third gable appears at the rear to be original but is straight jointed on the front wall. It has a three-storey loading door, now partly blocked, and two windows with plain stone surrounds and glazing bars. The two later gabled sections at the right have windows with plain stone surrounds and glazing bars, and a door on the ground and first floor. The rear of the original portion has small openings with plain stone surrounds on each floor. The south-east wall has a central loading door on each floor, the ground floor one not having a plain stone surround and having been roughly broken through.

The building is of significance for historic value as an example of an industrial building built to serve the Stonyhurst community which was largely self sufficient. However, due to its current fragmentary condition, with a missing roof and floor structure, its heritage significance has reduced. Much of its value including some of its aesthetic value was lost during the roof's collapse and subsequent dismantling.

The immediate surrounding area has become more wooded since the building ceased to be a functional working space in the mid twentieth century. The area south of the mill has been colonised by woodland which now densely covers the area. The yard area west of the Old Mill contains the remains of fives, squash and racquet courts. These are not listed in their own right but are heritage assets.

The AHP Conservation Management Plan Part 2: Gazetteer states that the primary stage for the building of the Mill was the late eighteenth and early nineteenth century. In the later nineteenth century the building was extended and a steam engine installed but by the twentieth century the building was disused and fallen into disrepair. The roof was removed and wall tops consolidated after partial collapse in 2010. It is considered that the building is at risk as it is now a roof-less shell and currently unsafe for access or inspection although some consolidation has taken place. It was advised that alternative uses for the building should be sought.



The Mill - existing site

**2.6 Heritage Status - Photographic Appraisal
Of The Mill**



2.7 Heritage Policies

The National Planning Policy Framework [NPPF] was issued in March 2012 and immediately replaced the old system of PPGs and PPSs.

The NPPF introduces a presumption in favour of sustainable development [para. 14] whereby proposed developments which correctly balance the requirements of economic, social and environmental issues should be granted planning permission unless there are strong reasons that permission should not be granted.

Planning policies in existing development plans that were adopted prior to 2004 or under the old system of development plans are now to be given limited weight in the decision making process [para. 215].

With regards to heritage issues the following extracts are considered of particular relevance:

17: [Core planning principles] conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life for future generations.

131: In determining planning applications, local planning authorities should take account of:

- *The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable use consistent with their conservation;*
- *The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- *The desirability of new development making a positive contribution to local character and distinctiveness.*

132: When considering the impact of a proposed development on the significance of a designated asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting.

134: Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.

137: Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposals that preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.

Ribble Valley Core Strategy was adopted by the Council on 16 December 2014. Policy EN5 states that there will be a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings. Assets and their settings will be conserved and enhanced in a manner appropriate to their significance for their heritage value; their important contribution to local character, distinctiveness and sense of place; and to wider social, cultural and environmental benefits.

2.8 Heritage Assessment Methodology

Paragraph 128 of the NPPF states that in determining applications, local planning authorities should require an applicant to describe the significance of the heritage assets affected, including the contribution made by their setting.

This heritage assessment has been prepared in accordance with this guidance to evaluate the significance of the heritage assets at Stonyhurst and the potential impact of the proposal upon this significance.

Accordingly, the following approach was undertaken to produce the heritage assessment.

- Desktop study of existing literature including Listing description and associated documents;
- Site visit to review the context in respect of the existing condition of the building;
- Assessment of the results of the first two stages to establish the significance of the site, its heritage assets; and
- Assessment of the impact of the proposed development upon the identified assets.

2.9 Significance Assessment

Para. 129 of the NPPF requires applicants to identify and assess the particular significance of heritage assets or their setting and take this into account when considering the impact of a proposal in order to avoid or minimise conflict between the heritage asset's conservation and any aspect of the proposal.

The significance of a heritage asset may comprise a number of factors which are similar to the criteria for listing and including, but not restricted to:

- Age and rarity: most buildings built before 1700 which survive in anything like their original condition are listed, as are most built between 1700 and 1840
- Architectural interest: through architectural design, decoration and craftsmanship and also important examples of particular building types and techniques
- Historic interest: encompassing buildings which illustrate important aspects of the nation's social, economic, cultural or military history, or close historical association with nationally-important people or events
- Group value: especially where buildings are part of an important architectural or historic group or are a fine example of planning (such as squares, terraces and model villages)

The Conservation Management Plan for Stoneyhurst (CMP), prepared by AHP and Chris Burnett Associates, defines significance using the following scale:

- Exceptional – an asset important at the highest national or international levels, including scheduled ancient monuments, Grade I and II* listed buildings, Grade I and II* registered landscapes and World Heritage Sites. Some non-designated archaeological sites may also be within this category (NPPF 139), and some conservation areas may have exceptional significance. The NPPF advises that substantial harm should be wholly exceptional.
- High – a designated asset important at a national level, including Grade II listed buildings and Grade II registered landscapes and locally designated conservation areas. Some non-designated archaeological sites may also be within this category (NPPF 139). The NPPF advises that substantial harm

should be exceptional.

- Medium – an undesignated asset important at a local to regional level, including local (non-statutory) listed buildings or those that make a positive contribution to the setting of a listed building or to a conservation area. May include less significant parts of listed buildings. Buildings and parts of structures in this category should be retained where possible, although there is usually scope for adaptation.
- Low – structure or feature of very limited heritage or other cultural value and not defined as a heritage asset. May include insignificant interventions to listed buildings, or buildings that do not contribute positively to a conservation area. The removal or adaptation of structures in this category is usually acceptable where the work will enhance a related heritage asset.
- Negative – structure or feature that harms the value of a heritage asset. Wherever practicable, removal of negative features should be considered, taking account of setting and opportunities for enhancement.

Statement of Significance

The CMP states:

"Stoneyhurst comprises a complex of multi-phase historic buildings used as a Catholic boarding school, which is also the depository for a large collection of related artefacts. The buildings are set in a designed landscape, within an Area of Outstanding Natural Beauty. The entity as a whole is of the highest significance for communal, historic, aesthetic and evidential values, as an important and rare example of a historic site that has developed in continuous Catholic ownership since the Elizabethan period."

In respect to the Mill, the CMP states:

"The corn mill built in 1840 has high significance for historic and evidential values as an example of an industrial building built to serve a school and religious community. However, as it is currently in a fragmentary condition with missing roof and floor structure, its heritage significance is reduced. Much of its evidential value and some of its aesthetic value was lost during

collapse and dismantling. Its external appearance could be restored and a new interior structured inserted."

In addition to the Mill itself, the CMP identifies that the water management system associated with the Mill may also be of archaeological significance, stating:

"The water management system in the estate is of two phases, and each have high potential to enhance understanding; water courses associated with the formal landscape and the canals, and a later layer of water management related to the Jesuits' estate management and the mill. Some of these structures are visible, some hidden."

The Gazetteer to the CMP provides additional detail, although there is some inconsistency with the main report. The Gazetteer states that the Mill has:

"Medium significance for historic, evidential and aesthetic values. Archaeological evidence for the power systems, which may be considerably earlier than the 1840, may survive. Evidence for a water-powered mill could potentially be of higher significance. The poor condition of the structure affects its significance."

In terms of the key conservation issues, these are defined as:

"The building is at risk; it is now a roof-less shell and currently unsafe for access or inspection, although some consolidation has taken place."

Whilst the conservation principles are described as:

1. Alternative uses should be sought for this disused listed building.
2. Archaeological investigation of the site, including of the historic power system will be required in advance of new building work.
3. Record fabric before further works of repair/dismantling or conversion."

3.0 PLANNING POLICY CONTEXT

Relevant Plans and Policies

Turning to the adjacent Fives and Racquets Courts, these are not listed in their own right. However, the Gazetteer notes that they became disused in the later twentieth century and more recently have been used for storage.

Their significance is described as:

"The courts have medium significance for historic and communal values, as part of the sports facilities allied to school sporting practices and traditions. Aesthetic value is considered to be low."

To conclude, the significance of the Mill, partly due to its current condition, is medium for historic, aesthetic and evidential values. Alternative uses and the repair of the building are encouraged, subject to appropriate archaeological investigation and recording.

The courts have medium significance for historic and communal values, although aesthetic value is low.

Between the mill and the courts is a yard which is currently used for storing building materials and other items. In its current condition this has a negative impact upon the significance of the heritage assets.

The statutory development plan for the application site consists of the Ribble Valley Core Strategy (adopted December 2014).

The National Planning Policy Framework [NPPF] sets out the Government's position in respect of general development principles.

3.1 Statutory Development Documents

Ribble Valley Core Strategy

The Ribble Valley Core Strategy was adopted in December 2014 and therefore can be regarded as containing relevant and up to date policies in the consideration of this planning application other than where it may conflict with the NPPF.

The key policies can be summarised as:

DS2 Presumption in favour of Sustainable Development

This policy sets out the general sustainable principles which all proposed development must abide by. The Council will take a positive approach that reflects the presumption in favour of sustainable development contained in the NPPF.

EN2 Landscape

The Council expects the landscape and character of the Forest of Bowland Area of Outstanding Natural Beauty will be protected, conserved and enhanced. The landscape and character of those areas that contribute to the setting and character of the Forest of Bowland Areas of Outstanding Natural Beauty will be protected and conserved and wherever possible enhanced. As a principle the Council will expect development to be in keeping with the character of the landscape, reflecting local distinctiveness, vernacular style, scale, style, features and building materials.

EN5 Heritage Assets

The Core Strategy states that there will be a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings. This will be done in a manner appropriate to their significance for their heritage value, their important contribution to local character, distinctiveness and sense of place and to wider social, cultural and environmental benefits.

One way in which the Council notes this can be achieved is through recognising that the best way of ensuring the long term protection of heritage assets is to ensure a viable use that optimises opportunities for sustaining and enhancing its significance.

DME4 Protecting Heritage Assets

In considering development proposals the council will make a presumption in favour of the conservation and enhancement of heritage assets and their settings.

Alterations or extensions to listed buildings which cause harm to the significance of the heritage asset will not be supported.

Any proposals involving the demolition or loss of important historic fabric from listed buildings will be refused unless it can be demonstrated that exceptional circumstances exist.

Proposals which cause harm to or loss of significance to registered parks, gardens or landscapes of special historic interest or other gardens of significant local heritage interest, including their setting will not be supported.

3.2 National Planning Policy Framework

The National Planning Policy Framework [NPPF] was issued in March 2012 and immediately replaced the old system of PPGs and PPSs. Planning policies in existing development plans that were adopted prior to 2004 are now to be given limited weight in the decision making process [para. 215].

The golden thread running throughout the NPPF is the Government's presumption in favour of sustainable development [para. 14] whereby proposed developments which correctly balance the requirements of economic, social and environmental issues should be granted planning permission unless there are strong reasons that permission should not be granted. The NPPF also promotes the delivery of social, recreational and cultural facilities and services [para. 70].

Turning to the assessment of applications that may impact upon heritage assets, the NPPF sets out clear requirements.

'128. In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance...

131. In determining planning applications, local planning authorities should take account of:

- *The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- *The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*

- *The desirability of new development making a positive contribution to local character and distinctiveness.*

132. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.*

133. Where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:

- *the nature of the heritage asset prevents all reasonable uses of the site; and*
- *no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
- *conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and*
- *the harm or loss is outweighed by the benefit of bringing the site back into use.*

134. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal.

135. The effect of an application on the significance of a non-designated heritage asset should be taken into

account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

137. Local planning authorities should look for opportunities for new development within Conservation Areas and World Heritage Sites and within the setting of heritage assets to enhance or better reveal their significance. Proposals should preserve those elements of the setting that make a positive contribution to or better reveal the significance of the asset should be treated favourably.'

139. Non-designated heritage assets of archaeological interest that are demonstrably of equivalent significance to scheduled monuments, should be considered subject to the policies for designated heritage assets.

3.3 Planning Policy Summary

The key aspects which can be drawn from planning policy pertaining to the proposed development are that there is a presumption in favour of sustainable development and applications which effect the significance of heritage assets must be considered very carefully.

4.0 PLANNING ISSUES

Section 38[6] of the Planning and Compulsory Purchase Act 2004 requires that the starting point for planning applications is the development plan. Applications should be determined in accordance with the development plan, unless material considerations indicate otherwise. In accordance with Section 38[6], the main issues of relevance to this application are as follows:

- Principle of development
- Impact upon an Heritage Asset
- Design and Appearance

Each of these issues will be considered in turn, with design and appearance considered as part of the design and access statement in section 5 of this document.

4.1 Principle of Development

This application proposes the restoration and conversion of the Old Mill to create a Retreat facility together with a new access road.

The Grade II listed Old Mill is the subject of an application for full planning and listed building consent and the proposals for the new build Christian Heritage Centre will be submitted as part of a separate future application. The restoration of the Mill would therefore be able to commence immediately following any grant of planning permission with the remainder of the project to follow once additional funds are in place.

Both local and national policy state that development should seek to conserve, protect and enhance the significance of heritage assets. In this respect it is considered that the proposal would have a positive impact upon the listed building by redeveloping and reusing a building to its maximum potential, to be used in conjunction with the wider Stonyhurst estate.

The principle of development will be further explored through the explanation and justification for the project set out in Chapter 5.

4.2 Heritage Impact Assessment

The principle of the proposed development is to preserve the heritage assets whilst providing an important facility for the wider site.

As discussed in earlier sections of this statement, there are a number of heritage assets that may be impacted upon by the proposed development.

The asset of highest significance is the Mill itself, as this is listed in its own right. However, the other heritage assets are also of significance as identified in preceding sections of this document.

Impact upon Heritage Assets

The proposed development seeks consent for the restoration and change of use of the former corn mill, together with the construction of a new access road. Consent for the erection of a new Christian Heritage Centre will be applied for as part of a separate future application. The adjacent five courts will be retained in situ.

In considering the impact upon the heritage asset, the key matters are which features are of significance and what effect the proposed development will have upon them. Each of these features are considered in turn.

The significance of each of the heritage assets is set out in section 2.9 of this document.

In respect of the Stonyhurst Estate as a whole, there will be no more than a negligible impact as the site is well screened by the landform and vegetation. The impact is therefore negligible but positive.

Turning to the Mill itself, in its current form, although of medium significance overall, it detracts from the site due to its derelict form. The restoration and change of use will instill a new lease of life whilst retaining the existing external appearance of the building. The impact is considered to be major but positive.

The storage yard currently detracts from the site as it is in poor condition and used for the storage of a variety of materials and items. The tidying up and development of this area is considered to have a negligible impact upon the heritage assets.

A summary of the significance of impacts upon heritage assets is set out in the adjoining Table.

It is therefore considered that the negative impacts upon heritage assets are no more than minor in significance, together with positive impacts up to the scale of major.

For these reasons it is considered there are no heritage reasons for consent not to be granted.

Significance of Proposed Works on Heritage Assets

HISTORIC ASSET	IMPACT	SIGNIFICANCE
High Significance		
Stonyhurst Estate and surrounds	There will be no material impact upon the estate as a whole other than bringing back into use a derelict building and the erection of a sympathetic new facility alongside in a location heavily screened from the remainder of the site	Negligible [Positive]
Medium Significance		
Old Corn Mill	The derelict mill will be restored and brought back into a viable use	Major [positive]
Fives Courts	The courts will be retained in situ and used alongside the proposed heritage centre.	Minor
Low Significance		
Storage Yard	The unattractive yard will be cleaned and tidied up with the erection of a new Heritage Centre in its place.	Negligible

5.0 DEVELOPMENT PROPOSAL

5.1 Project Explanation

The Old Mill at Stonyhurst College dates to 1840 with later nineteenth century additions. It comprises a substantial three storey block of three parallel pitched slate roofs and a later block with two pitched roofs. The building, which displays a number of architecturally interesting features including loading doors and internal cast iron columns, is Listed as Grade II.

Unfortunately there was a building collapse in May 2010. Part of the roof and first floor within the main section had collapsed.

Under Sleater & Watson's supervision, a scheme for the temporary works support system was carried out, involving scaffolding and horizontal ties. The lateral ties are spaced in a vertically and horizontally arranged grid, the purpose of which is to grab hold of the perimeter walls. The ties comprise horizontal scaffold tubing and are fitted through the available window openings and then connected to further scaffolding to restrain the walls. The exposed tops of the walls are sealed using a proprietary masonry cement grout.

The Trustees of Stonyhurst Christian Heritage Centre Trust are in the process of creating a Christian Heritage Centre at Stonyhurst College which is being constructed in four separate phases.

The Stonyhurst Collection is the oldest surviving Museum Collection in the English speaking world. Through clear and simple presentation, the new Centre will bring the Collection to life and raise fundamental questions about faith, tolerance and ideology.

The Old Mill has been identified as the most suitable site to convert into Retreat Accommodation linked to a New Build Christian Heritage Centre.

The first phase of the Christian Heritage Centre involved the Restoration and Refurbishment of the Grade I listed St Peters Church.

Phase 2 involved the Refurbishment and Restoration of the Historic Libraries and the creation of the Chapel Museum, both of which are now almost complete.

Phase 3 involves the conversion and restoration of the Old Mill to create Retreat Facilities and Phase 4 seeks to provide a new build Christian Heritage Centre.

The works are necessary to secure the ongoing commitment to create a Christian Heritage Centre at Stonyhurst and also to restore and re-vitalise an existing Listed Building in accordance with the Conservation Management Plan Proposals.

5.2 Project Justification

The former structure of the Mill Building was constructed with a timber floor and roof (arranged in three bays) and 600 mm wide (approximate) random stone exterior walls. The first floor consists of longitudinal timber beams which support a series of regular centre timber secondary beams which in turn support timber floor boarding. The roof comprise a series of oak trusses which support timber purlins, battens and slate tiles. The first floor and roof are supported on a grid of cast iron columns which are not fully continuous, ie. they stop and start above and below first floor level respectively.

It is now the intention to restore the existing floor and roof to reflect the original appearance of the Mill utilising new materials. It has not been possible to reuse the existing materials following collapse as they are deemed not to be structurally sound nor fit for purpose having been previously damaged by fire and damaged in the collapse. The Building Control Officer has recommended the use of new materials; however, it will be possible to re-use the cast iron columns but this will be cosmetic rather than using them for a structural use.

In securing Phase 3 of the project we are seeking planning and listed building consent for the following works:

- Restoration of the Old Mill
- Internal fit out to create residential and ancillary support accommodation
- Use of the existing access by Mill Cottages
- Use of the existing hard standing for car parking
- Modification to the access road to create disabled parking and service area turning
- Retention of all existing trees
- Construction of a new access road

Certain outbuildings are to be demolished as part of the Phase 3 proposal in order to restore the Mill back to its historic readable 5 Gable structure.

The Mill Cottages may possibly become part of the Retreat in the longer term.

The Ecological Surveys have been limited to the Old Mill itself and the area of the proposed access road (as well as the Tree Survey), these surveys will be extended where necessary at the appropriate time to include the area of the Phase 4 development. The cost in carrying out these Surveys now would be an early and unnecessary expenditure necessitating repeat Surveys at a later date.

The Ecological and Tree Surveys are provided separately in support of this application.

5.3 Conservation Management Plan

The information contained within the CMP has been considered and extracted to inform this planning application:

a HISTORY

The Mill is described on page 57 of the Conservation Management Plan under item 2.5.13; further reference is made on page 87 item 4.3.3.

b LANDSCAPING

The Gazetteer makes reference to the Mill Cottages in number 13 and to the Corn Mill in number 14.

The adjacent Fives and Rackets Courts are noted under item 15, but these are not listed structures although they are contained within the curtilage of the listed building.

Finally the Landscaping section of the Gazetteer makes reference to the Old Mill and illustrates an aerial view of the College in 1931 which shows the Old Mill with an open area to the South; the trees to this area appear to be self seeded and therefore do not have any historic significance.

c ARCHEOLOGY SURVEY

The document makes reference to Character Area 8, Paragraph 3.1.1.5.

Further reference is made to Character Area 19 "Foxfall Wood" under Paragraph 3.1.3.0.

Specific items are referred to in the Site Gazetteer Items 265, 263, 266, 267, 269, 230 and 258. Also, Items 38, 39, 40 and 41 refer to the Retaining Walls associated with the Canals.

The Corn Mill (265) is considered to be of high significance, with the other items being medium or low significance.

This Application responds correctly to the Conservation Management Plan whereby decaying structures are to be revitalised and brought back into use for a specific purpose.

5.4 Implementation

The Old Mill is located on an isolated site and, other than disturbance to the occupiers of Mill Cottages, the works can proceed without affecting the day to day management of Stonyhurst College.

The construction timing of the works is therefore not considered to be an issue.

5.5 Phase 3 Design Solution

PHASE 3: Retreat Facility

Amount and Use

The aim is to provide a high quality retreat facility which will complement the existing range of facilities and services at Stonyhurst.

The proposed change of use (internal floor area) of the Mill over 2 floors is 1186 sqm, 1290 sqm gross external.

The Retreat facility will consist of 14 no. single bedrooms, 8 no. double bedrooms at first floor and 1 no. disabled double bedroom along with associated teaching and lecture space, a chapel and dining facilities at ground floor.

There are 3 small areas of demolition which are identified on the proposed plans in relation to later additions and out buildings.

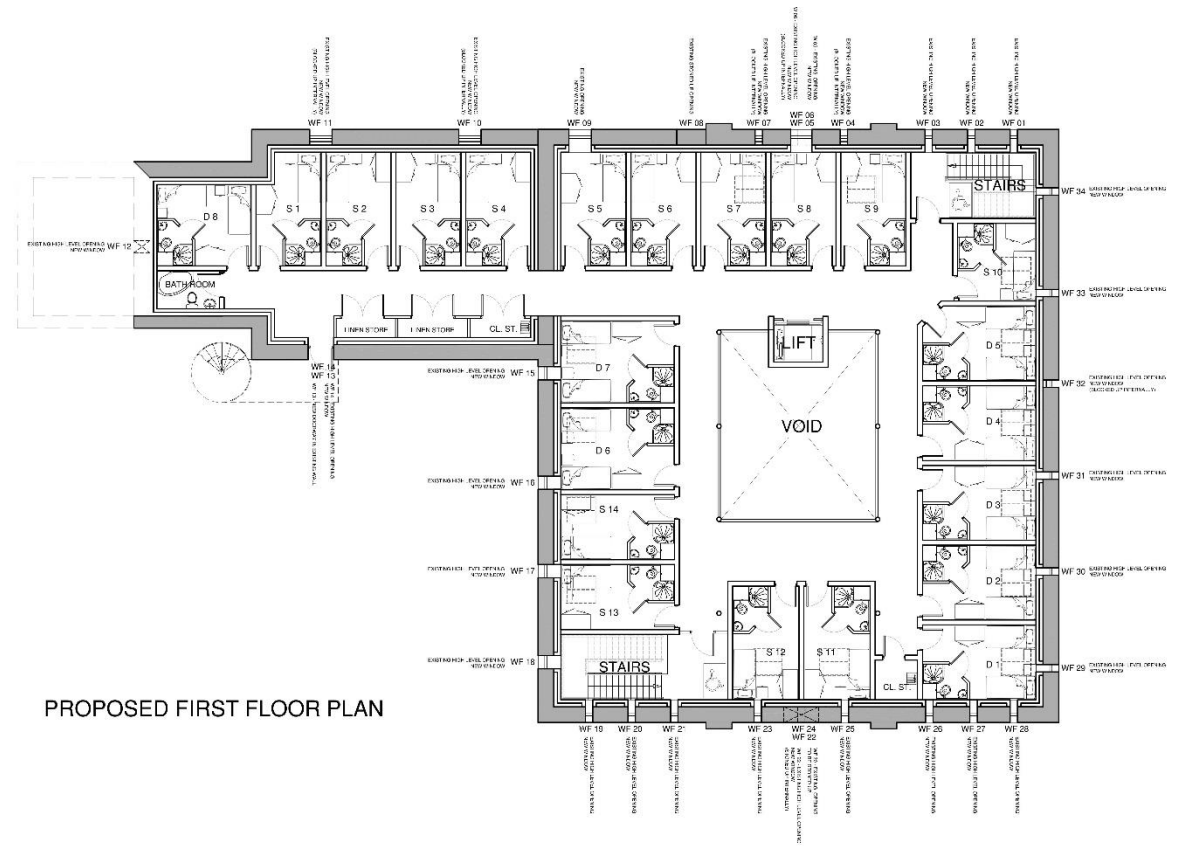
Layout

The development has been set out to make the most efficient use of space within the remains of the existing building without over-intensifying its use.

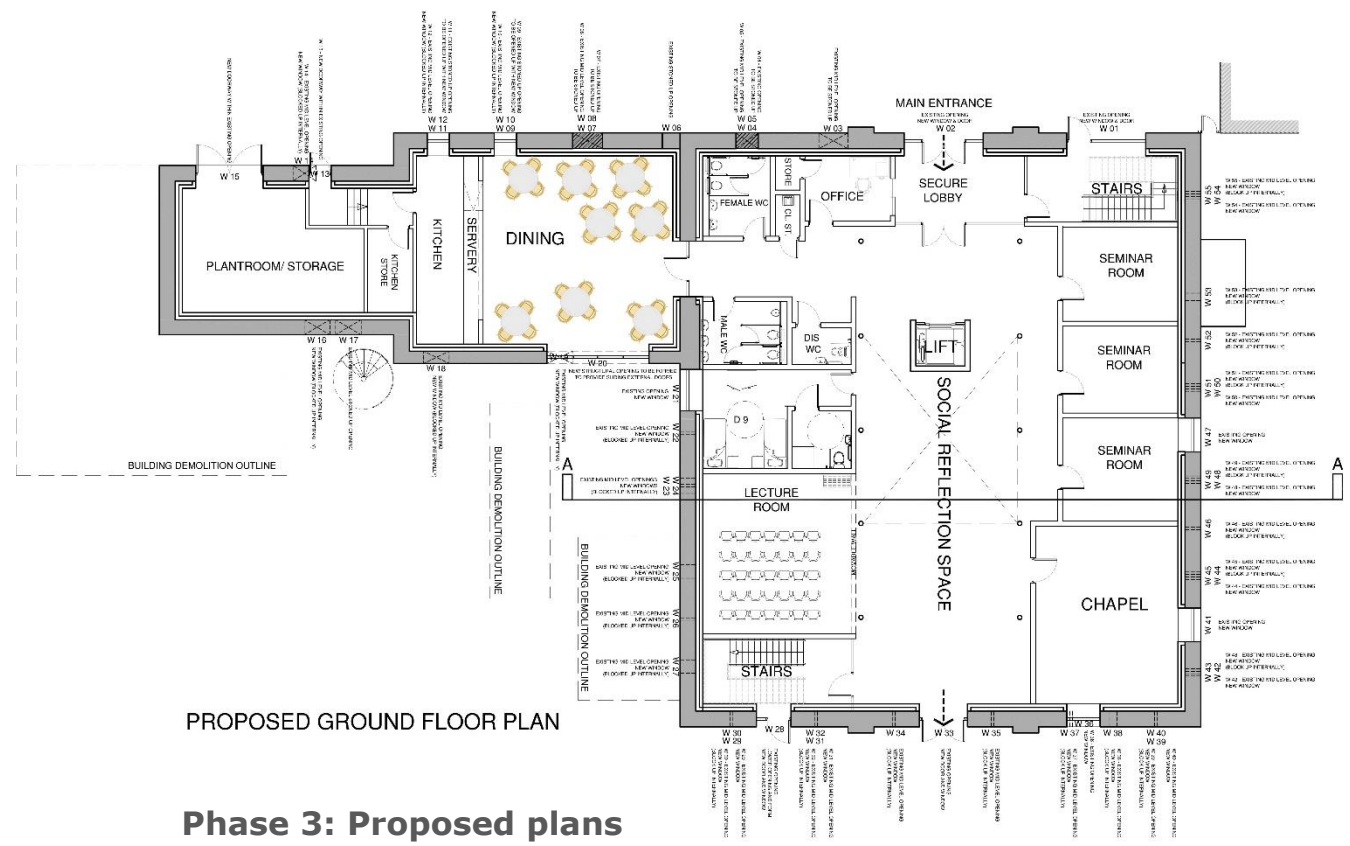
A large welcoming open social/reflection space is created at ground floor with seminar rooms, chapel space, lecture room and ancillary toilets accessed directly of it. A void is created up to the first floor space providing a connection between spaces allowing lots of natural light to fill the space from roof level.

The dining space, kitchen and plant room are located in the western extensions to the Old Mill buildings allowing direct and serviceable access from the north access road. This dining space can then spill out to the southern garden area.

Two internal staircases are proposed with a third as an external spiral means of escape staircase formed in metal. A central feature lift is provided to aid disabled access between levels.



PROPOSED FIRST FLOOR PLAN



PROPOSED GROUND FLOOR PLAN

Phase 3: Proposed plans

Scale

The height and scale of the development is set by the dimensions of the existing Mill building.

The parapets will be rebuild to the original height and there will be careful replication of any stonework or decorative elements to recreate as many elements as possible that are deemed of architectural merit.

Although some of the trusses and columns have been salvaged they are not structurally sound, however we will again replicate the detailing as much as possible.

The scale of development is considered entirely appropriate given the context of the wider site and height of adjacent buildings. The development will remain subservient to the main school buildings, centrally located within the site.

Appearance

The existing external elevations have many existing openings of varying size and shape. It is proposed to retain these and re glaze where possible. These are scheduled and numbered on the proposed plans and elevations.

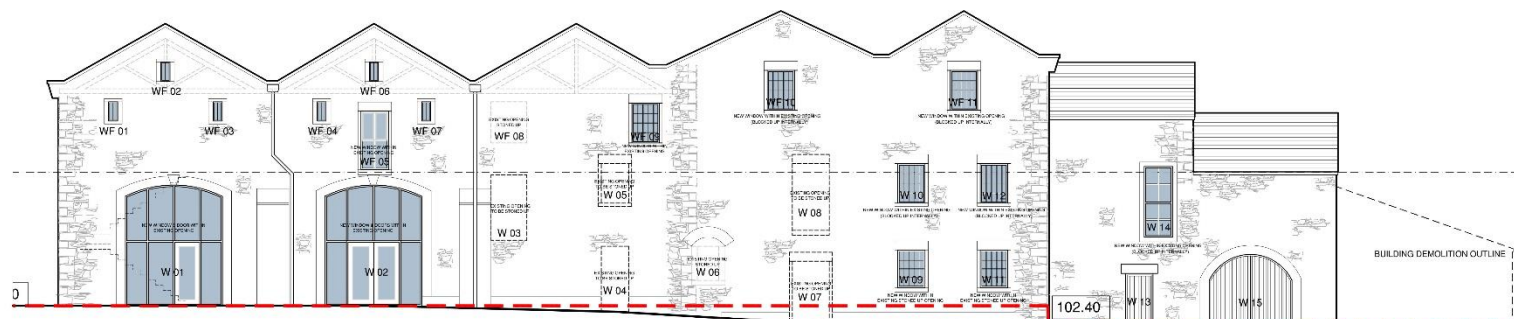
Where openings are located at the proposed floor level these are blocked up internally with look-a-like glazing externally to minimize the amount of openings that are fully stoned up. And preserve the external appearance of the Old Mill.

There is only one new large opening proposed from the ground floor dining space. This has been designed to be plain, modern and obvious as a later addition. It affords a good link to the garden area to the south.

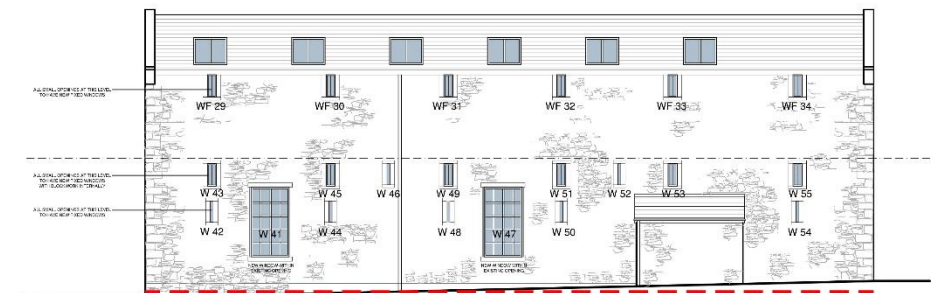
A slate roof will be provided with roof lights to the bedroom and central atrium space. Due to the lack of openings within the existing walls to cater for the bedroom layouts, all first floor bedrooms will have roof lights to provide natural lighting and ventilation.

There are a lot of very narrow openings in the external façade many of which previously had glazing. It is proposed to re glaze these and maintain them as features where possible.

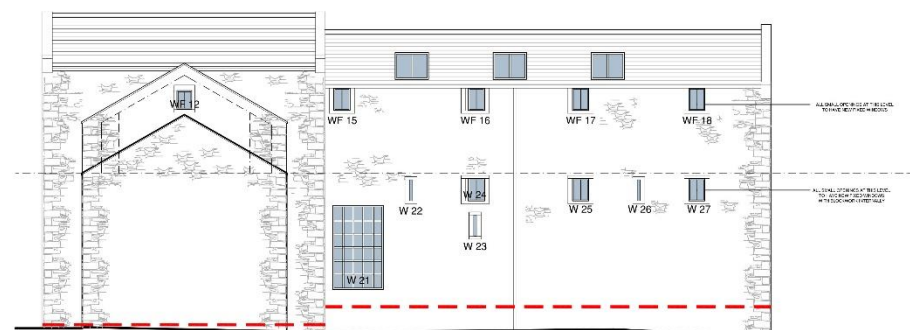
There are unfortunately no former images available of the Old Mill buildings from the Stonyhurst archives to allow comparison.



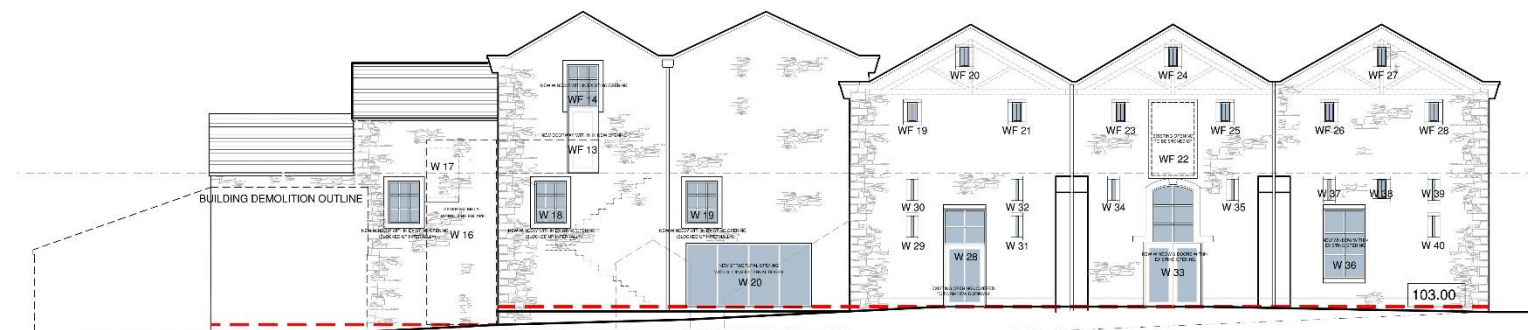
PROPOSED NORTH WEST ELEVATION



PROPOSED NORTH EAST ELEVATION



PROPOSED SOUTH WEST ELEVATION



PROPOSED SOUTH EAST ELEVATION

Phase 3: Proposed elevations



Phase 3: Proposed site plan

Landscaping

The majority of the proposed work revolves around building work associated with the existing remains of the former Old Mill buildings. However, there is some landscaping work proposed. A garden area will be created to the rear of the Mill to be utilized by visitors of both the Retreat in phase 3 and subsequently the Christian Heritage Centre in phase 4.

The roadway down from the Mill cottages will be kerbed and tarmacked to provide a suitable surface for vehicular and pedestrian traffic. Cobbled areas are to be retained and re-laid.

A further access road is to be created to the south west of the buildings leading from an existing internal access road, through a wooded area to the south of the site. Trees will therefore require removal as a part of this application. The existing trees have been surveyed and any works proposed are outlined in the supporting tree report.

Appropriate external lighting will be provided to the car parking and external areas that will enhance the setting whilst not adversely pollute the surrounding area.

Access

Access will be from the internal access road which services the site and leads down to the existing Mill cottages as well as the new access road.

33 car parking spaces will be provided located to the west of the existing Mill buildings adjacent the existing workshop buildings which are to remain.

2 disabled car parking spaces are proposed to the north of the Mill buildings providing direct access into the main northern entrance.

A drop off and delivery turning head is also provided to the north of the existing Mill buildings located adjacent the kitchen also providing an external refuse area. This is in an area that has been used to store spoil/demolition material and will be cleared as part of the Phase 3 works.

Informal pedestrian access routes will be available from the Mill buildings and garden area meandering into the woods to the south.

Services

The building is proposed to be served by an underfloor heating scheme with mechanical heat recovery ventilation systems to the sanitary accommodation.

All external wall and roof penetrations will be minimized and hidden where possible.

An external lighting scheme for safety & security purposes is proposed with illumination plots being provided in due course to reduce night time pollution.

Incoming services provisions

Electricity - an existing sub-station exists adjacent to the site which will be upgraded as agreed with ENW.

Water - an existing water supply exists adjacent to the site which shall be utilised to feed a break / holding tank with booster pump-set to provide balanced water supplies to the internal draw-off points.

Gas - an existing calor tank arrangement exists adjacent to the site which will be upgraded to meet the new increased demand.

Renewable Energy Strategy - we are reviewing the possibility of utilising a water source heat pump to provide the heating to the underfloor systems, which would have external pipework taken to the adjacent lake from which heat can be extracted from that water at source.

Also we are reviewing the use of solar thermal panels to assist in the provision of domestic hot water.

Further detailed investigations are required to define the final renewable strategy with elements possibly being deferred to phase 4 when further funds are available.

It is proposed to build a new inner leaf of blockwork tied back to the existing external walls with insulation between to provide the necessary thermal upgrade to the external fabric.

Structure and Drainage

New foul and surface water drainage systems will be required with possible attenuation measures to the surface water system and possibly treatment or pumped facilities for the foul water.

There is no foul drainage at site level and hence we are considered using treatment plants and discharging water into the adjacent stream. All this will have to be subject to discussion and agreement with LA.

Improvements to the existing drainage to the canals will also be included in phase 4.

The only salvageable element of the existing buildings which can practically be incorporated into the new scheme with any purpose are the external walls.

Other components such as the cast iron columns could be incorporated for heritage / aesthetic purposes but are not structurally workable.

The new building construction would comprise;

- New internal steel frameworks tied to and supporting the existing walls
- Suspended concrete floors
- Piled foundations

6.0 Conclusion

This statement supports an application for full planning and listed building consent for the restoration and conversion of the Old Mill to create a Retreat facility together with the construction of a new access road at Stonyhurst College, Clitheroe.

The statement has set out the justification as to why the development is acceptable and will not have an unacceptable impact upon heritage assets.

The long term protection of heritage assets will also be secured through a viable use that optimises opportunities for sustaining and enhancing significance.

The application will result in the restoration of the Old Mill, a Grade II listed building, to create residential and ancillary support accommodation. This proposal is supported by national and local planning policy which states that there is a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings.

The existing Old Mill buildings are rapidly deteriorating and in need of redevelopment to bring them back to life and integrate them into the fabric of the College Estate.

These proposals will result in the redevelopment of this part of the Stonyhurst Estate, introducing and improving links with the rest of the site and providing a new facility which will be of benefit to the wider community.

For these reasons it is considered that full planning permission and listed building consent for the proposed development should be granted.