

Part of garden area of 41 Dilworth Lane, Longridge

Erection of 2 No. Detached Dwellings



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planning

support

statement

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1. Introduction

- 1.1 This planning support statement is submitted alongside a Full planning application for the erection of two detached residential dwellings on land current forming part of the garden area of 41 Dilworth Lane, Longridge.
- 1.2 The site has previously been subject to planning applications for residential development, but these have not been approved due to design grounds relating to the existing trees on site that were subsequently placed under Tree Preservation Orders.
- 1.3 This planning application has been designed with due regard to the constraints of the site and the adopted policies of the Ribble Valley Development Plan, to provide a small development of two detached three-bedroom dwellings. This statement provides a summary of the details of the application and the reasons why we consider the application should be approved and development permitted.

2. Site Characteristics

- 2.1 The site lies to the eastern end of the town of Longridge, directly off Dilworth Lane. The site is contained within the garden area of the property 41 Dilworth Lane, which is a large dwelling that sits perpendicular to Dilworth Lane, with an elongated front garden area that lies parallel to the road.
- 2.2 A separate garage and office building has been built in recent years that separates the application site somewhat from the main house, which lies adjacent to the application site (photograph 1 below). In addition, a large housing development to the south of the site has also been built and planning consent has been granted for an even larger new development to the north of the site, off Dilworth Lane.



Photograph 1 – View of existing garage adjacent to the application site

- 2.3 Dilworth Lane is one of the main roads into Longridge, and due to the construction of new dwellings surrounding the site, it clearly forms part of the new urban edge of Longridge formed by the junction of Lower Lane and Dilworth Lane.

- 2.4 Longridge is recognised as a principal settlement for new housing growth in the Ribble Valley, and provides an excellent level of local services and facilities.
- 2.5 The site is level ground which is mown as a garden area and contains a number of trees adjacent to the road and at the eastern boundary. Figure 1 below shows the site edged red, and the adjacent buildings of the new garage (photograph 1) and the house (41 Dilworth Lane) to the left of this.

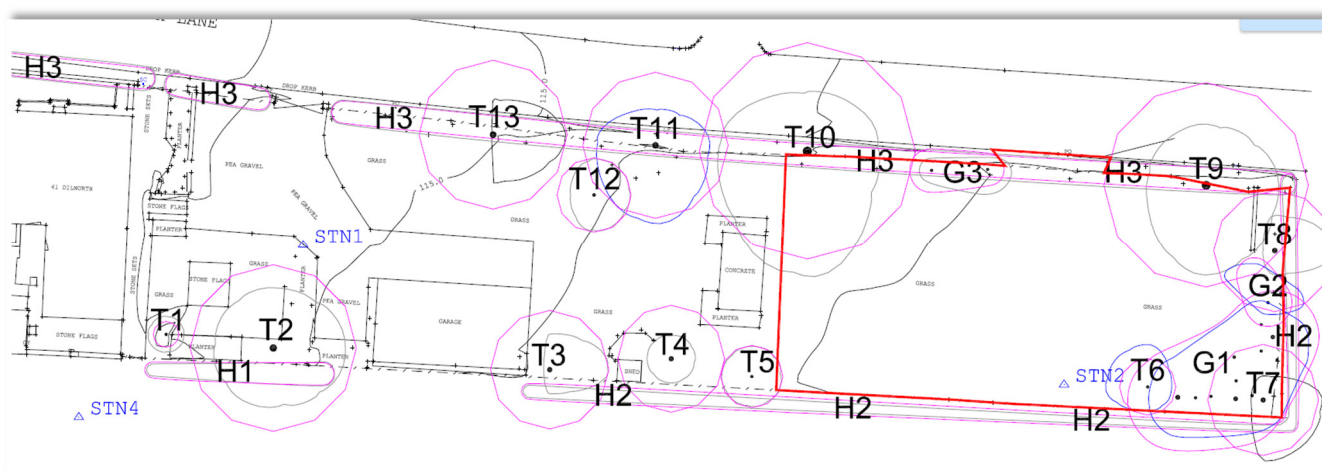


Figure 1 – Site Plan and adjacent land of 41 Dilworth Lane, Longridge

- 2.6 The application site is shown in photograph 2 below, which show the garden area of the site and the existing houses to the rear.



Photograph 2 – View of Site, with existing dwellings to rear and right hand side

- 2.7 The site has previously been subject to planning applications. Planning application 3/2012/0053 sought the construction of three dwellings, which was a resubmission of application 3/2011/0665P that was withdrawn before a decision was made. Application 3/2012/0053 was refused for a single reason, due to concerns regarding the loss of trees and the design of the properties on site.

3. Application Proposal

- 3.1 The planning application seeks full consent for a development of two new houses. The houses are proposed as detached three bedroom dwellings over two storeys, albeit the second storey largely sits within the roof space. The height of the dwellings is therefore approximately 7 metres, with the eaves height at just 3.7 metres, and dormer windows to the front elevation. This will present the houses in a similar design to the existing garage building adjacent the application site.
- 3.2 Due to the nature of the site, and distance to surrounding properties and protected trees, the proposed houses have a bespoke design that removes concerns regarding potential for overlooking, and provides the main frontage to Dilworth Lane. The details of the design are shown on the Proposed Site Plan – Ref: 4892-P01-B, extracts of which are shown below.
- 3.3 The development proposes a new driveway access for both properties from Dilworth Lane, shown on Plan H2119/01 which provides adequate sight lines in both directions along the road, to ensure safe access, and which avoids the root protection areas of the existing trees that are to be retained.



Figure 2 - Proposed Northern Elevation (Dilworth Lane)

- 3.4 Each property proposes two parking spaces to the front of the dwelling, with direct footpath access to a front door that faces to the east from the projecting porch. The position of the doors facing east is similar to the main house at 41 Dilworth Lane, and in this way the proposed houses present an attractive frontage to both Dilworth Lane and to vehicles approaching along Dilworth Lane from the east, which is one of the main roads into Longridge. The position of the two new properties are stepped slightly, so that both front porches are visible, presenting a view of the two dwellings across the site on this approach.



Figure 3 - Proposed Eastern Elevation (Approaching view from East)

- 3.5 The majority of the amenity space for each dwelling is provided to the front and side, with smaller rear garden areas, which can provide a location and access for bin storage and circulation space around each dwelling.
- 3.6 A streetscene is also provided on the Proposed Site Plan – Ref: 4892-P01-B, which shows the view from Dilworth Lane and includes the existing trees that are proposed to be retained.
- 3.7 The rear elevations of both properties at first floor have no windows looking out to the properties to the rear. Roof light windows in the sloped roof will provide for adequate lighting to the rear bedroom and main bathroom in each dwelling. This can be seen in the extracts below from the Proposed Site Plan.

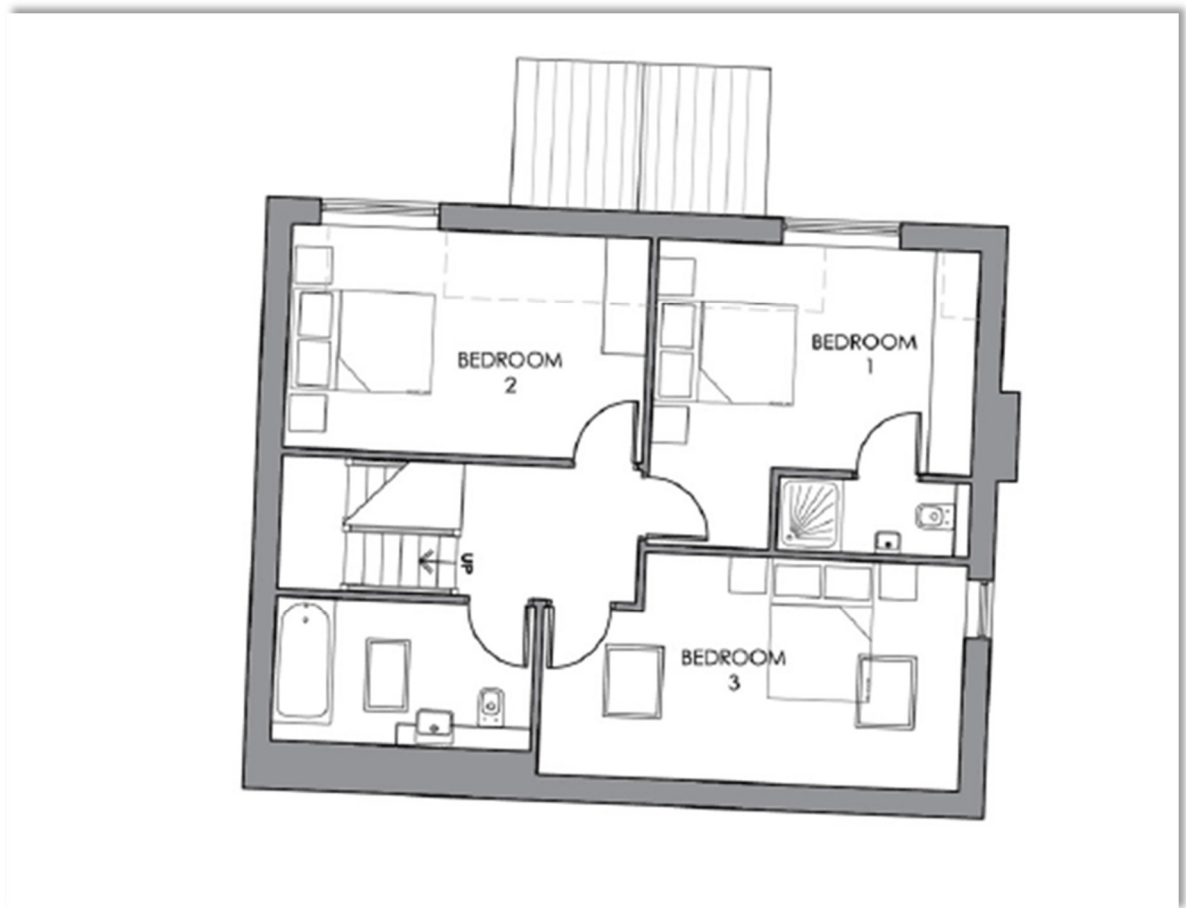


Figure 4 - First Floor Floorplan (no windows to rear)

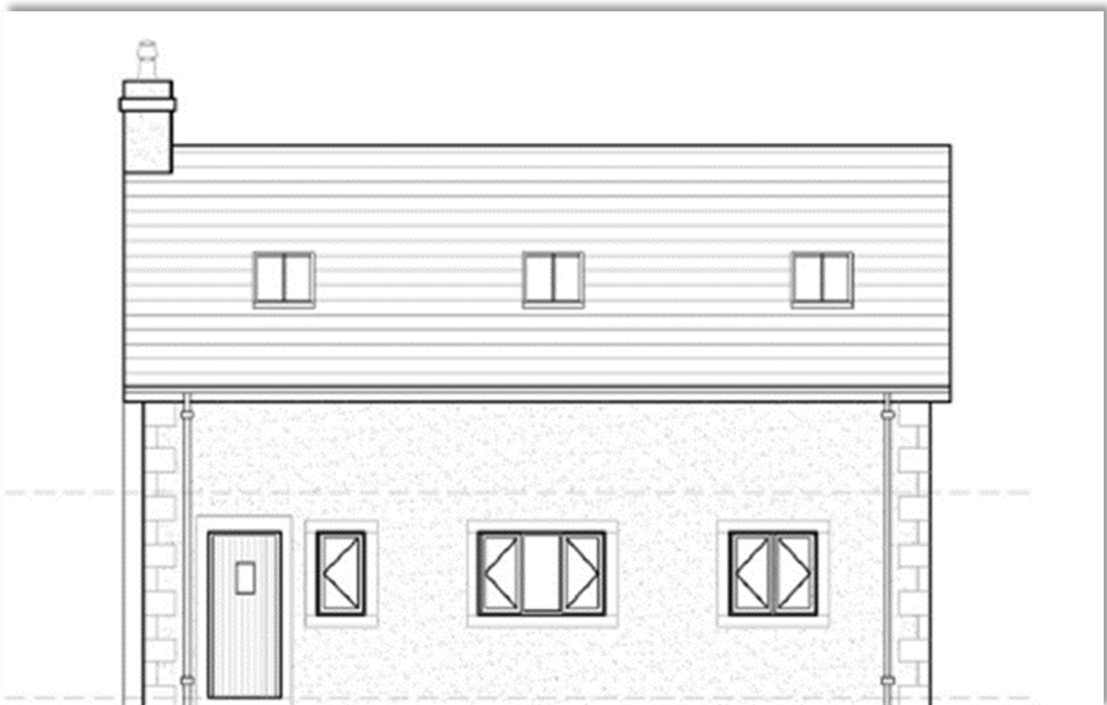


Figure 5 - Rear Elevation showing roof lights to rear

- 3.8 The position of the two houses proposed on site is shown in Figure 6 below, which is an extract from the Proposed Site Plan - Ref: 4829-PO1 B.

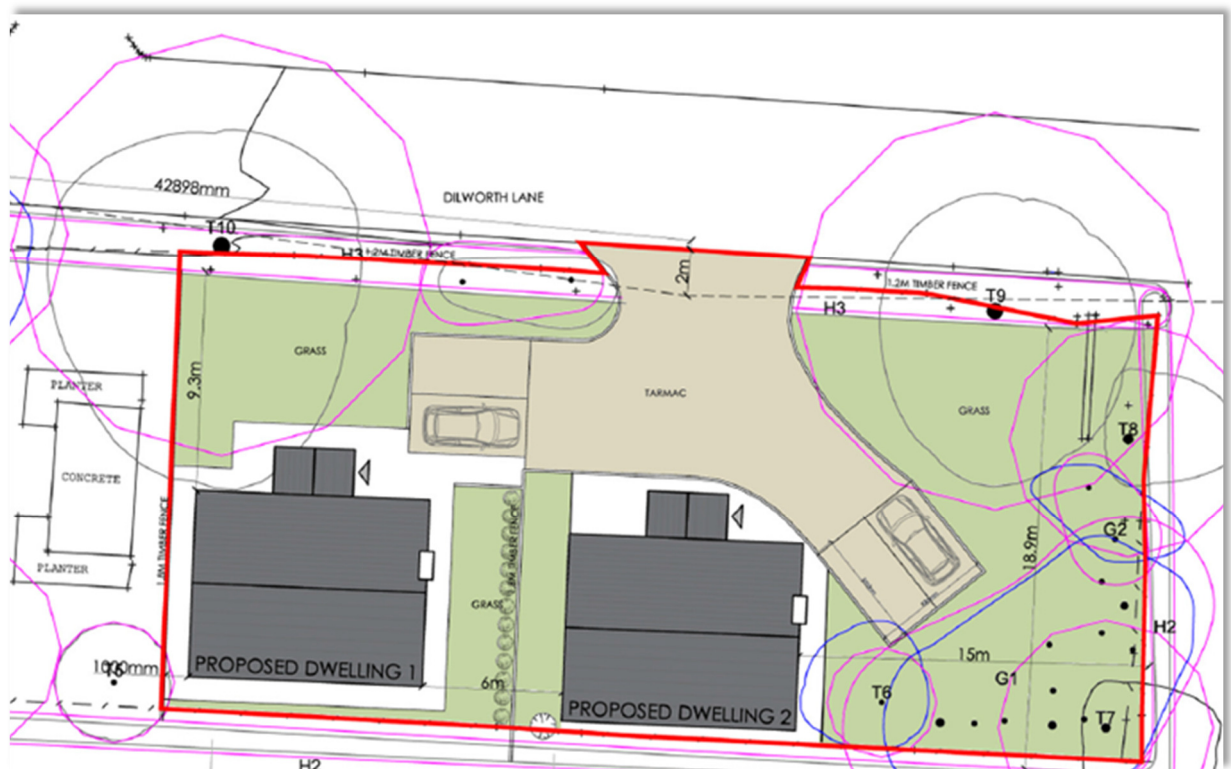


Figure 6 – Site plan showing proposed position of new dwellings

4. Planning Policy

- 4.1 The Development Plan is formed by the saved policies of the Ribble Valley Districtwide Local Plan from 1998 and the Ribble Valley Core Strategy adopted in 2014.
- 4.2 The Proposals Map from the 1998 Local Plan (Figure 7 below) shows the site lying outside of the Settlement Boundary for Longridge, within the Open Countryside. However, since the Local Plan was adopted, and new Government guidance was published in the form of the National Planning Policy Framework (NPPF), the Council have recognised that the settlement boundaries are no longer the relevant policies with which to constrain development in the principal towns.
- 4.3 Land immediately to the south of the site has now been built-up with a housing development, effectively extending the town of Longridge to the junction of Dilworth Lane and Lower Lane. Planning consent has also been granted for 195 dwellings to the north of Dilworth Lane, which extends further east than the Dilworth/Lower Lane junction. The application site is shown on Figure 6 below as a red star, surrounded by the new development in blue.

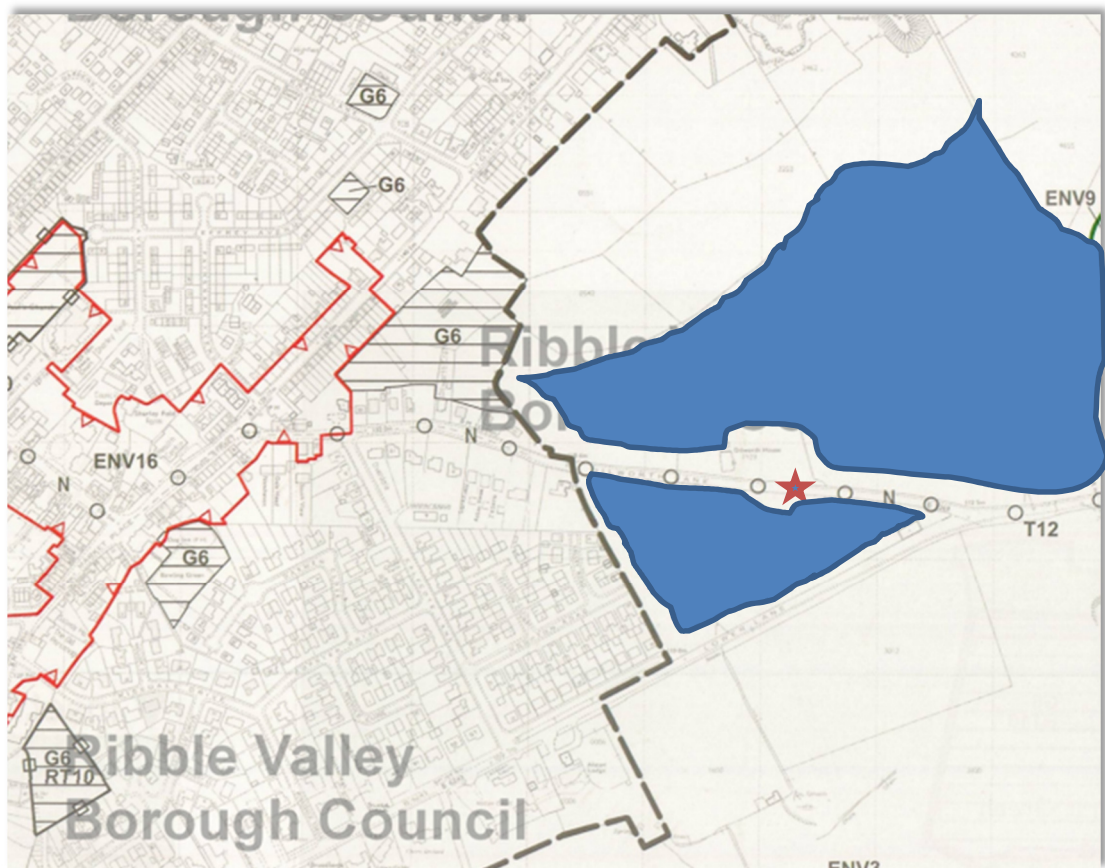


Figure 7 – Extract from Local Plan Proposals Map (with new development in blue)

- 4.4 The site is effectively surrounded by housing development and therefore forms part of the Longridge settlement. In addition, it is an existing garden area of the existing property at 41 Dilworth Lane. Its development is therefore consistent with policies in the Local Plan and Core Strategy that seek to provide for new housing development in the town of Longridge.
- 4.5 The NPPF provides a presumption in favour of sustainable development, which in decision-making means granting planning consent without delay for developments which accord with the Development Plan. Through this approach, the NPPF sets out the government's commitment to securing sustainable economic growth and boosting significantly the supply of housing. This approach is carried forward in the local Core Strategy in Policy DS2.
- 4.6 The Core Strategy also contains Development Management Policies relevant to this application. Policy DMG1 provides general guidance on seeking high-quality design, access considerations, amenity, environment and infrastructure. These include:
- being sympathetic to existing and proposed land uses in terms of its size, intensity and nature as well as scale, massing, style, features and building materials;
 - particular emphasis to be placed on visual appearance and the relationship to surroundings, including impact on landscape character, as well as the effects of development on existing amenities.
 - ensure safe access can be provided
 - not adversely affect the amenities of the surrounding area
 - provide adequate day lighting and privacy distances
- 4.7 Policy DMG2 states that development proposals in the principal settlements should consolidate, expand and round-off development so that it is closely related to the main built-up areas, ensuring this is appropriate to the scale of, and in keeping with, the existing settlement.
- 4.8 The main road at Dilworth Lane, as shown annotated on the Proposals Map, forms part of the Lancashire Cycle Network. The new dwellings will have direct access to this network from their driveway.

5. Planning Considerations

- 5.1 The site subject to this planning application has, over time, become surrounded by new residential development, and now clearly forms part of the continued settlement of Longridge.
- 5.2 The application is consistent with Policy DMG2 of the Core Strategy as it provides for the consolidation of land for new housing development that is within the main built-up area of Longridge, which is a town recognised as a principal settlement in the Core Strategy and the previous Local Plan. The principle of housing development is acceptable against local policy, and the site would also be considered a sustainable location for development that should be approved without delay in terms of the NPPF.
- 5.3 The proposed dwellings on the site have been designed with due regard to the site's constraints and to be consistent with Policy DMG1 of the Core Strategy and the design principles and acceptable standards for new housing. A summary provided in chapter 3 of this statement outlines how the proposed dwellings have been designed in this way, such as reducing the overall height through reduced eaves, and avoiding rear windows where there may be an issue with overlooking. The design also considers the existing buildings on the adjacent site and seeks to present a consistent approach to development that fronts Dilworth Lane in this location.
- 5.4 The proposed new design, and reduced amount of development from the previous refused planning application, provide for a small development scheme that is wholly consistent with adopted policy

6 Summary

- 6.1 This planning support statement has provided details of the submitted Full application for a small scale development of two detached dwellings on land within the built-up area of the town of Longridge.
- 6.2 The proposed design has been developed from a thorough understanding of the existing site constraints and issues raised during a previous refused planning application for a larger scheme have been addressed.
- 6.3 The resultant design is consistent with policy and provides for a high-quality bespoke housing scheme of two single dwellings on an existing garden area surrounded by housing. The houses will have direct access onto one of the main roads in Longridge that is also part of the Lancashire Cycle Network, providing suitable means of access to the centre of Longridge and surrounding villages, towns and countryside.
- 6.4 We respectfully request that the planning application is approved as being consistent with recently adopted policy and reflecting the changing nature of the sites location within Longridge.