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STRUCTURAL APPRAISAL

on

GABLE WALL

at

DOWER HOUSE
Park Road
Gisburn

W/15/113

Mr. John Cooley
16 Skipton Road
Earby
Barnoldswick
BB18 6PX

5 November 2015

W/15/113/PGW/LAW

Principal
P G Wallace BSc C Eng MICE MIStruct E

1.0 Introduction

1.01 Our terms of reference are to carry out an appraisal on the property:-
Dower House, Park Road, Gisburn
with regard to the condition of the gable wall, and to report.

1.02 We visited the property on 4 November 2015 to carry out our inspection, and may now report as follows: -

1.03 For clarification this report relates to an inspection only of that noted under (1.01). We have not examined any parts which were covered, unexposed or inaccessible at the time of the inspection.
We also have not examined any woodwork and therefore cannot confirm that this is free from rot or other defect.
It should be noted that this report is for the use of the party to which it is addressed. No responsibility can be accepted for the use of this report by a third party.

2.0 Appraisal Findings

2.01 The notation used in this report assumes facing the property from the front (Park Road).

2.02 The original house apparently dates back to the 18th century.

2.03 The appraisal is restricted to the left hand gable wall.

2.04 During our inspection we made the following notes:-

INTERNAL

Ground Floor

a) Front Room

The floor is virtually level

The window cills are virtually level.

The left hand wall (chimney breast), front and rear walls are virtually plumb.

Within the cupboard immediately adjacent to the front there is a crack at high level on the left hand wall spreading up to the rear.

b) Rear Room

The floor is virtually level

The window cills are virtually level.

The left hand wall (chimney breast), front and rear walls where accessible are virtually plumb.

First Floor

c) Front Bedroom

The floor is virtually level.

The window cill is virtually level.

The left hand wall (chimney breast), front and rear walls where accessible are virtually plumb.

d) Bathroom

The floor is virtually level.

The window cill is virtually level.

The left hand wall, front and rear walls where accessible are virtually plumb.

EXTERNAL

a) Front Elevation (Left Hand Side)

This elevation is stonework.

The wall was checked at ground floor level.

The wall adjacent to the gable is generally virtually plumb.

The window cill is virtually level.

The stone work coursing is virtually level.

a) Gable Elevation (Left Hand Side)

This elevation is pebble dashed.

The wall was checked at ground floor level.

Immediately adjacent to the front and rear the wall is virtually plumb.

At first floor level there is a significant bulge.

The wall to the rear of the rear window leans out at 25 in 1000.

The window cills are virtually level.

There is cracking in the pebble dashed elevation.

There is a near vertical crack above the rear of the front window head.

There is a crack near to the rear elevation spreading up to roof and turning to the front.

These cracks have been pointed and display no obvious recent significant cracking.

There is a near vertical crack in the pebble dash to the front of the rear crack.

This has not been pointed.

b) Rear Elevation

This elevation is pebbled dashed.

The wall was checked at ground floor level.

Adjacent to the left hand gable the wall is virtually plumb.

The window cill is virtually level/

leans out at 15 in 1000;

There is a slight bulge at first floor level; above the left hand ground floor window head.

3.0 Discussion, Conclusions and Recommendations

3.01 From the information available under this limited inspection, there are no obvious indications of any significant recent foundation movement associated with the left hand gable wall.

3.02 The gable wall displays a significant bulge and cracking in the pebbledash render externally.

3.03 Internally there is no obvious indications of significant lateral movement. The walls checked in the vicinity of the left hand gable are virtually plumb.

3.04 Additionally the cracking observed externally appears to be associated with the positions of the chimney flues.

3.05 This would suggest that the outer stonework has separated from the inner at the position of the chimney flues.

3.06 Whilst ideally the externally skin should be taken down and re-built, the outer stonework may be tied back to the existing internal stonework.

3.07 This may be achieved by, initially erecting scaffolding against the gable wall prior to the following work:-

3.08 Install threaded steel ties through the wall in and around the bulge position. The steel ties may then be resin fixed into the inner stone work. The ties would penetrate the outer skin and be bolted through steel plates to restrain the outer stonework.

3.09 We have noted this recommendation on our sketch no W/15/113/SK01

3.10 The final positions for the wall restraints are to be agreed on site.

We trust the above is sufficient for your requirements, however if you require any further information or clarification please do not hesitate to contact us.

Yours sincerely

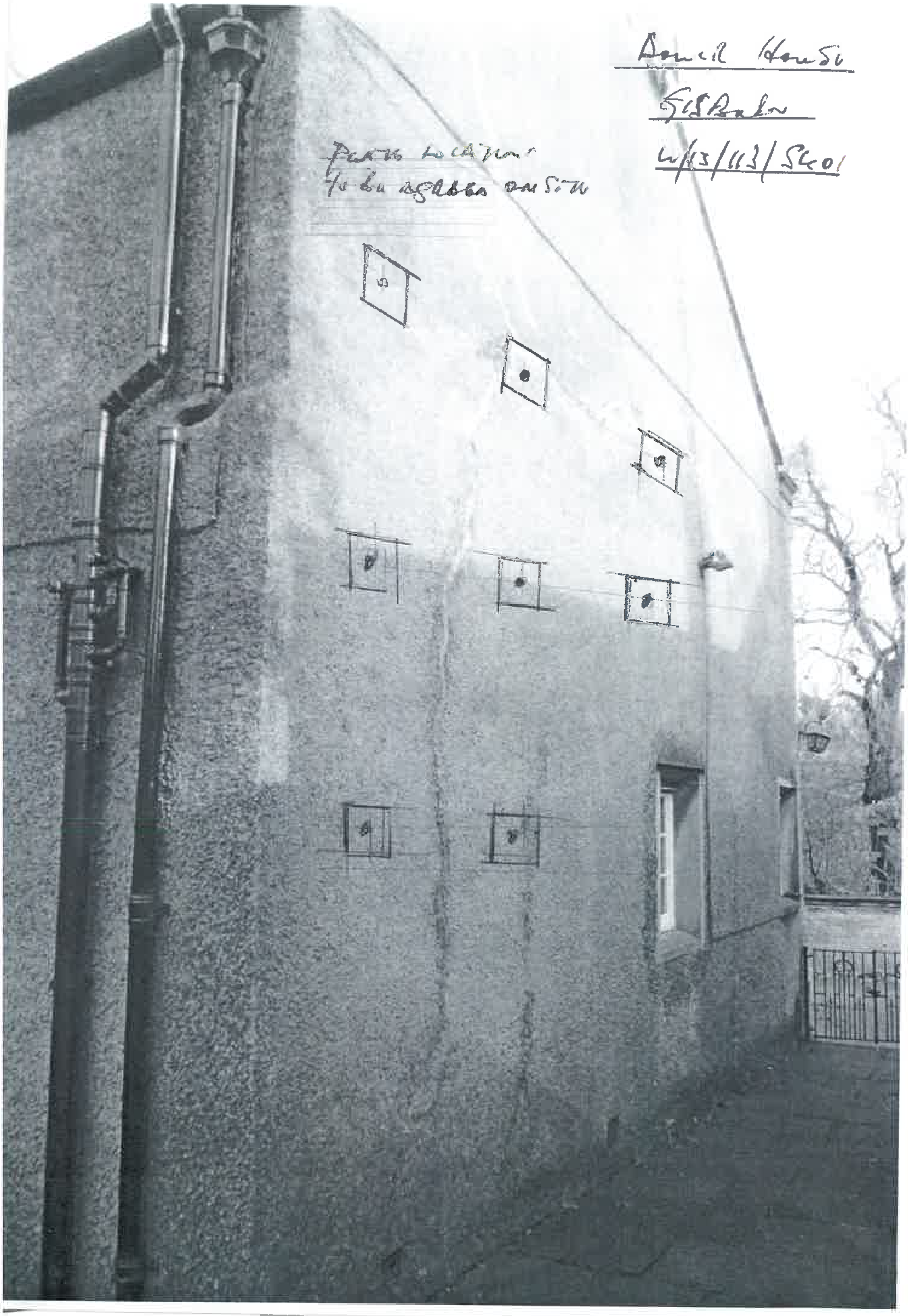
P G Wallace
WALLACE CONSULTING ENGINEERS

Front Elevation

Left Hand Gable

Rear Elevation

Internal – Ground Floor Front Room



Bower House
W/13/113/SK01
Panel locations
to be agreed on site

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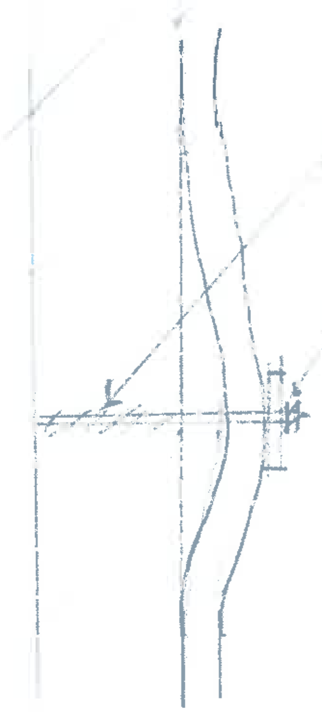
Job Name	Job No.	
	By	Sheet No.
	Checked	Date [illegible] 15



THREADED ROD — 25 φ
RESIN fixed to INNER WALL
BOLT to OUTER

300 x 300 x 25 thick
M.S PLATE.
GALVANISED.

(Min) 8 No.
Positions to be
AGREED

WALL RESTRAINT

DOWER HOUSE

GESBURY

W/15/113/SK02