

rev.A 17.04.15 tender

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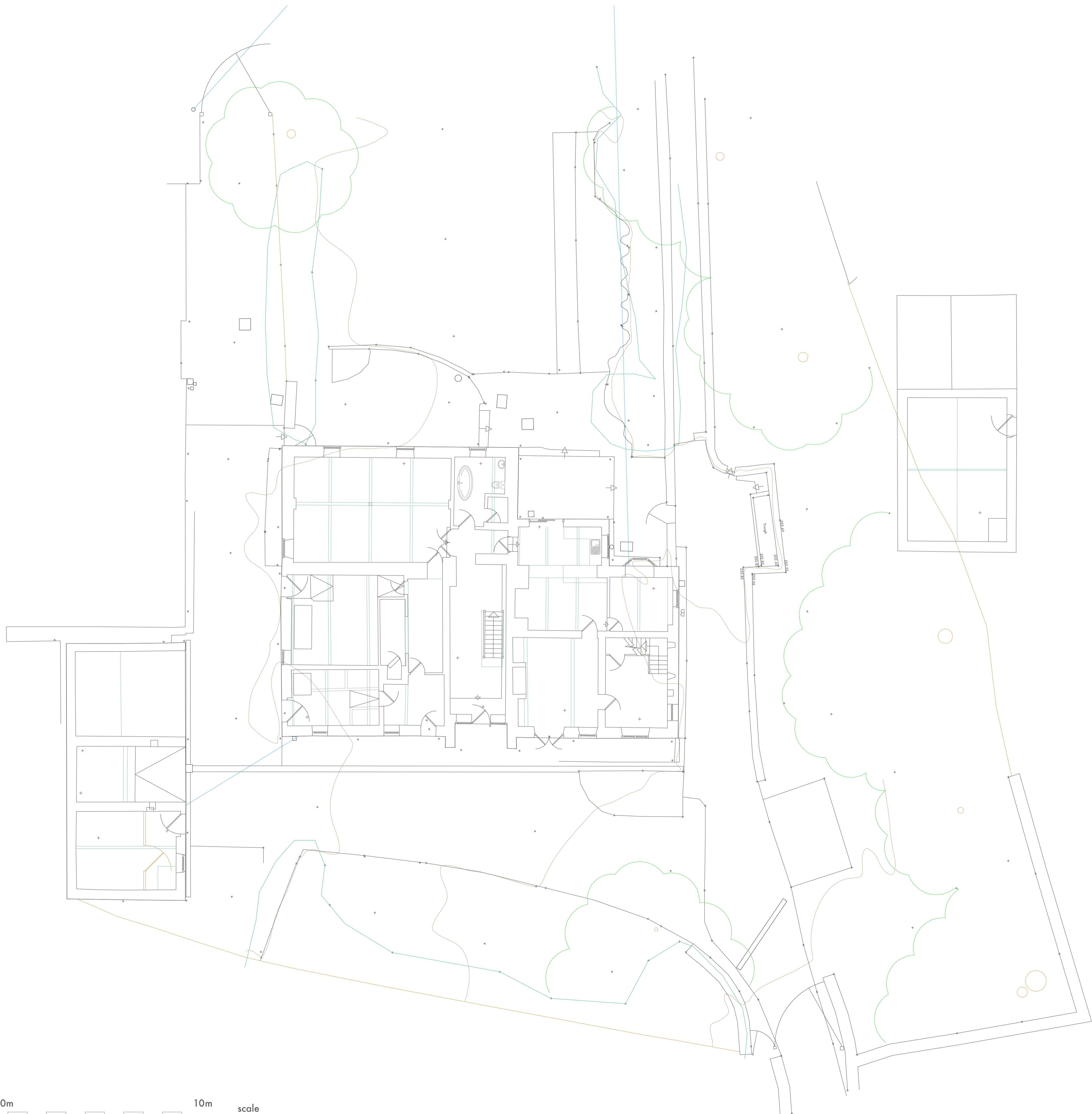
middle warble hey farm
long row mellor

location plan

drg.no. **14.84 / 01** rev. **A**

drawn. **ae** date. **apr15** scale. **1 to 1250 @ A4**

"an existing" drawings based on information provided by others - no measured survey of the property has been undertaken by the architect.
this drawing is to be read in conjunction with all relevant consultants and specialists drawings. the architect is to be notified of any discrepancies before proceeding. do not scale from this drawing. all dimensions are to be checked on site.
this drawing is subject to copyright.



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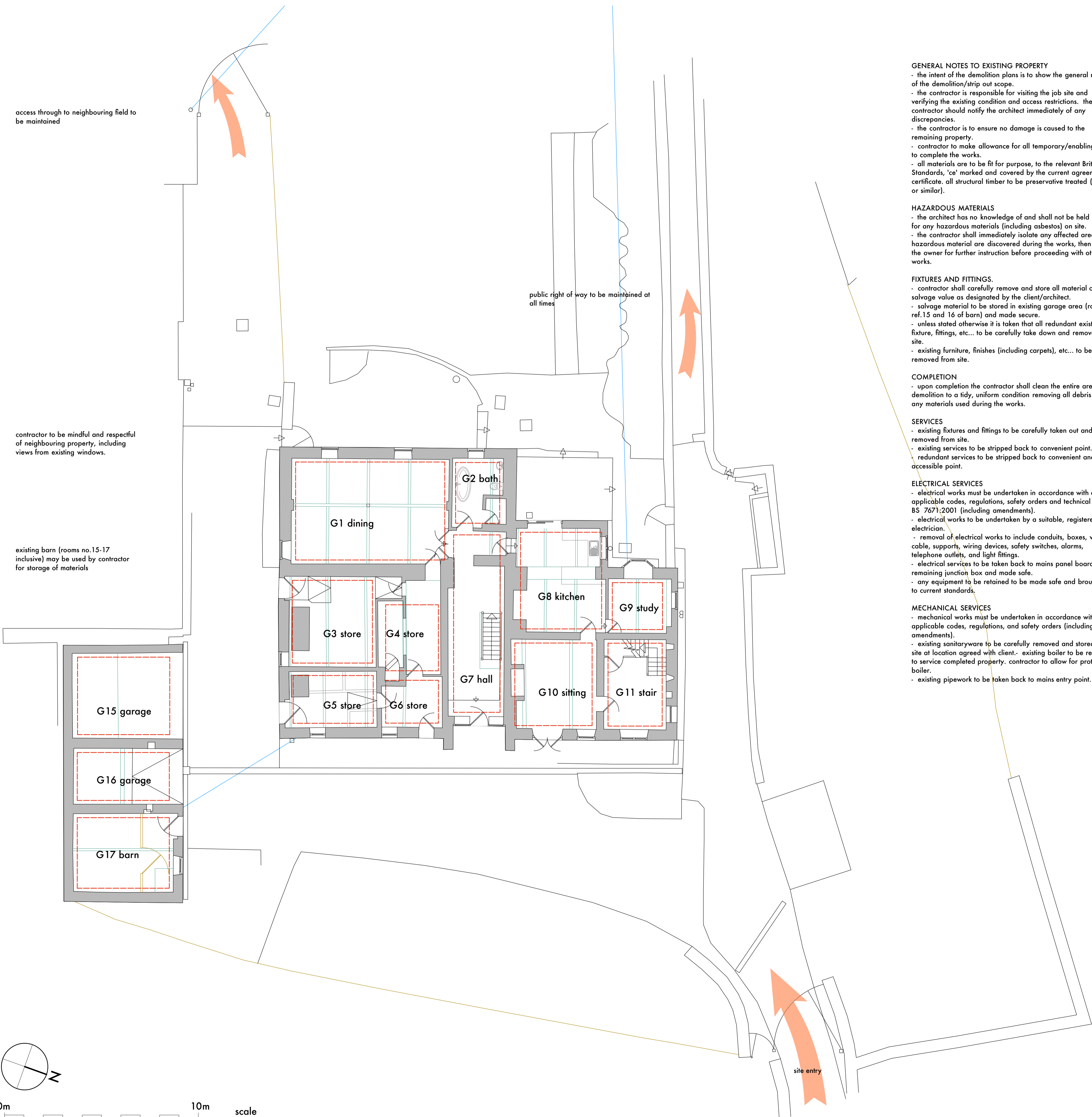
middle warble hey farm
long row mellor

existing floor plans

drg.no. **14.84 / 02** rev. **A**

drawn. ac date. jan 2015 scale. 1 to 100 @ A1
1 to 200 @ A3

0m 10m scale



access through to neighbouring field to be maintained

contractor to be mindful and respectful of neighbouring property, including views from existing windows.

existing barn (rooms no.15-17 inclusive) may be used by contractor for storage of materials

public right of way to be maintained at all times

site entry

GENERAL NOTES TO EXISTING PROPERTY
 - the intent of the demolition plans is to show the general nature of the demolition/strip out scope.
 - the contractor is responsible for visiting the job site and verifying the existing condition and access restrictions. the contractor should notify the architect immediately of any discrepancies.
 - the contractor is to ensure no damage is caused to the remaining property.
 - contractor to make allowance for all temporary/enabling work to complete the works.
 - all materials are to be fit for purpose, to the relevant British Standards, 'ce' marked and covered by the current agreement certificate. all structural timber to be preservative treated (vac-vac or similar).

HAZARDOUS MATERIALS
 - the architect has no knowledge of and shall not be held liable for any hazardous materials (including asbestos) on site.
 - the contractor shall immediately isolate any affected areas if hazardous material are discovered during the works, then notify the owner for further instruction before proceeding with other works.

FIXTURES AND FITTINGS.
 - contractor shall carefully remove and store all material of salvage value as designated by the client/architect.
 - salvage material to be stored in existing garage area (room ref.15 and 16 of barn) and made secure.
 - unless stated otherwise it is taken that all redundant existing fixture, fittings, etc... to be carefully take down and removed from site.
 - existing furniture, finishes (including carpets), etc... to be removed from site.

COMPLETION
 - upon completion the contractor shall clean the entire area of demolition to a tidy, uniform condition removing all debris and any materials used during the works.

SERVICES
 - existing fixtures and fittings to be carefully taken out and removed from site.
 - existing services to be stripped back to convenient point.
 - redundant services to be stripped back to convenient and accessible point.

ELECTRICAL SERVICES
 - electrical works must be undertaken in accordance with all applicable codes, regulations, safety orders and technical rules in BS 7671:2001 (including amendments).
 - electrical works to be undertaken by a suitable, registered electrician.
 - removal of electrical works to include conduits, boxes, wire, cable, supports, wiring devices, safety switches, alarms, telephone outlets, and light fittings.
 - electrical services to be taken back to mains panel board / first remaining junction box and made safe.
 - any equipment to be retained to be made safe and brought up to current standards.

MECHANICAL SERVICES
 - mechanical works must be undertaken in accordance with all applicable codes, regulations, and safety orders (including amendments).
 - existing sanitaryware to be carefully removed and stored on site at location agreed with client. existing boiler to be retained to service completed property. contractor to allow for protecting boiler.
 - existing pipework to be taken back to mains entry point.

HOUSE
G1 - DINING
 ceiling - remove existing boarding, including all fixings.
 - joists, beams, etc... to be left exposed and 'clean'
 walls - remove plaster, boarding to walls
 - substrate to be exposed and 'clean'
 floor - existing floor covering to be removed.
 - substrate to be exposed and 'clean'
 joinery - all to be removed, including internal doors, frames, architraves, skirtings, panelling, cupboards, window boards, etc... windows and external doors to be retained.
 misc. -

G2 - BATHROOM
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 - existing partition to be removed
 floor - as 'G1 dining'.
 joinery - as 'G1 dining'.
 misc. - sanitaryware to be carefully taken out and removed from site.
 - existing boiler to be retained and protected for the duration of the works

G3 - STORE
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 floor - none
 joinery - as 'G1 dining'.
 misc - existing blockwork stack (supporting chimney breast to first floor (see drg.no.1484/11) to be removed.

G4 - STORE
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 floor - as 'G1 dining'.
 joinery - as 'G1 dining'.
 misc - safe to be carefully taken out and removed from site

G5 - STORE
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 - plinth walls to be removed
 floor - as 'G1 dining'.
 joinery - as 'G1 dining'.
 misc - existing blockwork stack (supporting chimney breast to first floor (see drg.no.1484/11) to be removed.

G6 - STORE
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 floor - as 'G1 dining'.
 joinery - as 'G1 dining'.
 misc -

G7 - HALL
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 floor - as 'G1 dining'.
 joinery - as 'G1 dining'.
 misc - staircase to be retained to provide access for next stage of construction work

G8 - KITCHEN
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 floor - as 'G1 dining'.
 joinery - as 'G1 dining'.
 - kitchen units, fittings, etc... to be carefully taken out and removed from site
 misc -

G9 - STUDY
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 floor - as 'G1 dining'.
 joinery - as 'G1 dining'.
 misc - existing bay window to be removed. opening of be boarded up securely.

G10 - SITTING
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 floor - as 'G1 dining'.
 joinery - as 'G1 dining'.
 misc - carefully remove stove and place in storage in garage (as fixture and fittings note).

G11 - STAIR
 ceiling - as 'G1 dining'
 walls - as 'G1 dining'
 floor - as 'G1 dining'.
 joinery - as 'G1 dining'.
 misc - existing staircase and enclosure to be taken down and removed from site.

BARN
G15 - GARAGE
 no work

G16 - GARAGE
 no work

G17 - BARN
 no work

rev.B 17.04.15 tender
 rev.A 12.03.15 contract

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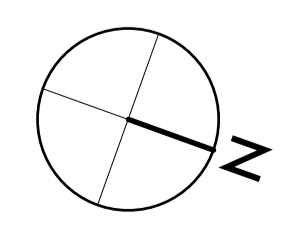
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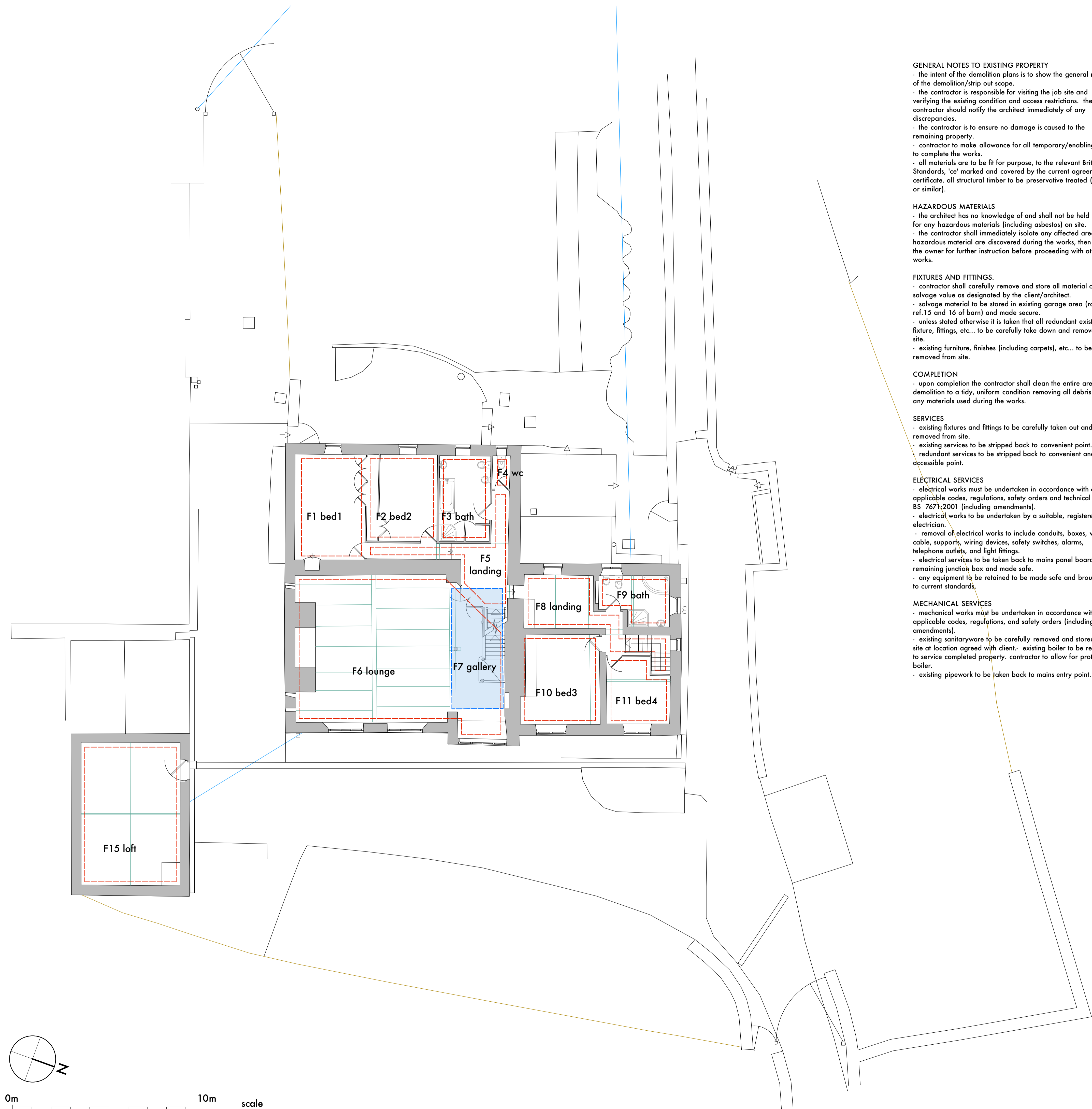
**ground floor
 enabling works**

drg.no. **14.84 / 10** rev. **B**

na date. feb 2015 scale. 1 to 100 @ A1
 drawn. 1 to 200 @ A3



0m 10m scale



GENERAL NOTES TO EXISTING PROPERTY

- the intent of the demolition plans is to show the general nature of the demolition/strip out scope.
- the contractor is responsible for visiting the job site and verifying the existing condition and access restrictions. the contractor should notify the architect immediately of any discrepancies.
- the contractor is to ensure no damage is caused to the remaining property.
- contractor to make allowance for all temporary/enabling work to complete the works.
- all materials are to be fit for purpose, to the relevant British Standards, 'ce' marked and covered by the current agreement certificate. all structural timber to be preservative treated (vac-vac or similar).

HAZARDOUS MATERIALS

- the architect has no knowledge of and shall not be held liable for any hazardous materials (including asbestos) on site.
- the contractor shall immediately isolate any affected areas if hazardous material are discovered during the works, then notify the owner for further instruction before proceeding with other works.

FIXTURES AND FITTINGS.

- contractor shall carefully remove and store all material of salvage value as designated by the client/architect.
- salvage material to be stored in existing garage area (room ref. 15 and 16 of barn) and made secure.
- unless stated otherwise it is taken that all redundant existing fixture, fittings, etc... to be carefully take down and removed from site.
- existing furniture, finishes (including carpets), etc... to be removed from site.

COMPLETION

- upon completion the contractor shall clean the entire area of demolition to a tidy, uniform condition removing all debris and any materials used during the works.

SERVICES

- existing fixtures and fittings to be carefully taken out and removed from site.
- existing services to be stripped back to convenient point.
- redundant services to be stripped back to convenient and accessible point.

ELECTRICAL SERVICES

- electrical works must be undertaken in accordance with all applicable codes, regulations, safety orders and technical rules in BS 7671:2001 (including amendments).
- electrical works to be undertaken by a suitable, registered electrician.
- removal of electrical works to include conduits, boxes, wire, cable, supports, wiring devices, safety switches, alarms, telephone outlets, and light fittings.
- electrical services to be taken back to mains panel board / first remaining junction box and made safe.
- any equipment to be retained to be made safe and brought up to current standards.

MECHANICAL SERVICES

- mechanical works must be undertaken in accordance with all applicable codes, regulations, and safety orders (including amendments).
- existing sanitaryware to be carefully removed and stored on site at location agreed with client. existing boiler to be retained to service completed property. contractor to allow for protecting boiler.
- existing pipework to be taken back to mains entry point.

HOUSEHOUSE

- F1 - BEDROOM No.1**
 ceiling - remove existing boarding, including all fixings.
 - joists, beams, etc... to be left exposed and 'clean'
 walls - remove plaster, boarding to walls
 - substrate to be exposed and 'clean'
 - partition walls to be removed
 floor - existing floor covering to be removed.
 - substrate to be exposed and 'clean'
 joinery - all to be removed, including internal doors, frames, architraves, skirtings, panelling, cupboards, window boards, etc... windows and external doors to be retained.
 misc. -
- F2 - BEDROOM No.2**
 ceiling - as 'F1 bedroom no.1'
 walls - as 'F1 bedroom no.1'
 - partition walls to be removed
 floor - as 'F1 bedroom no.1'
 joinery - as 'F1 bedroom no.1'
 misc
- F3 - BATHROOM**
 ceiling - as 'F1 bedroom no.1'
 walls - as 'F1 bedroom no.1'
 - partition walls and cupboard to be removed
 floor - as 'F1 bedroom no.1'
 joinery - as 'F1 bedroom no.1'
 misc. - sanitaryware to be carefully taken out and removed from site.
- F4 - WC**
 ceiling - as 'F1 bedroom no.1'
 walls - as 'F1 bedroom no.1'
 floor - as 'F1 bedroom no.1'
 joinery - as 'F1 bedroom no.1'
 misc. - sanitaryware to be carefully taken out and removed from site.
- F5 - LANDING**
 ceiling - as 'F1 bedroom no.1'
 walls - as 'F1 bedroom no.1'
 floor - as 'F1 bedroom no.1'
 joinery - as 'F1 bedroom no.1'
 misc - works to stair as described to 'drg.no.1484/10'
- F6 - LOUNGE**
 ceiling - as 'F1 bedroom no.1'
 walls - as 'F1 bedroom no.1'
 - stone fireplace to be removed. stone to be retained and stored on site for future use.
 floor - as 'F1 bedroom no.1'
 joinery - as 'F1 bedroom no.1'
 misc - gargoyles, decorative finials, chandelier, etc... to be carefully removed and placed in storage.
 - carefully remove stove and place in storage in garage (as fixture and fittings note).
- F7 - GALLERY (shaded blue to plan)**
 whole of gallery including access stair to be removed.
- F8 - LANDING**
 ceiling - as 'F1 bedroom no.1'
 walls - as 'F1 bedroom no.1'
 - partition cupboard to be removed
 floor - as 'F1 bedroom no.1'
 joinery - as 'F1 bedroom no.1'
 misc - cylinder and associated plumbing to be removed
 - works to stairs described to drg.no.1484/10
- F9 - BATHROOM**
 ceiling - as 'F1 bedroom no.1'
 walls - as 'F1 bedroom no.1'
 floor - as 'F1 bedroom no.1'
 joinery - as 'F1 bedroom no.1'
 misc. - sanitaryware to be carefully taken out and removed from site.
- F10 - BEDROOM No.3**
 ceiling - as 'F1 bedroom no.1'
 walls - as 'F1 bedroom no.1'
 floor - as 'F1 bedroom no.1'
 joinery - as 'F1 bedroom no.1'
 misc
- F11 - BEDROOM No.4**
 ceiling - as 'F1 bedroom no.1'
 walls - as 'F1 bedroom no.1'
 - partition wall (to stair) to be removed
 floor - as 'F1 bedroom no.1'
 joinery - as 'F1 bedroom no.1'
 misc

BARN

- F15 - LOFT**
 no work

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 rev.A 12.03.15 contract

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middle warble hey farm
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first floor
 enabling work