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**Proposed replacement garage on
existing land belonging to:**

**2 Cowper Place,
Sawley,
Clitheroe
Lancashire,
BB7 4LE**

Heritage Statement

May 2016

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Part A; Description and Assessment of the Significance of the Heritage Asset

The terraced row of houses which form Cowper Place is located to the Southern side of the Sawley conservation area.

Along the North of Cowper Place is an access track which leads East from the main road through Sawley towards parking and recreational areas for some of the Cowper Place properties. In this locality there are also three buildings belonging to number 2 Cowper Place.

These three buildings form a small terrace running West to East (see Fig. 1). The two most Westerly buildings are of a traditional solid stone construction and share a single pitched roof finished in a combination of natural slates and stone tiles. These buildings are believed to have been constructed as farm storage buildings. While the building to the East, the garage to which this heritage statement relates, has been a later addition.

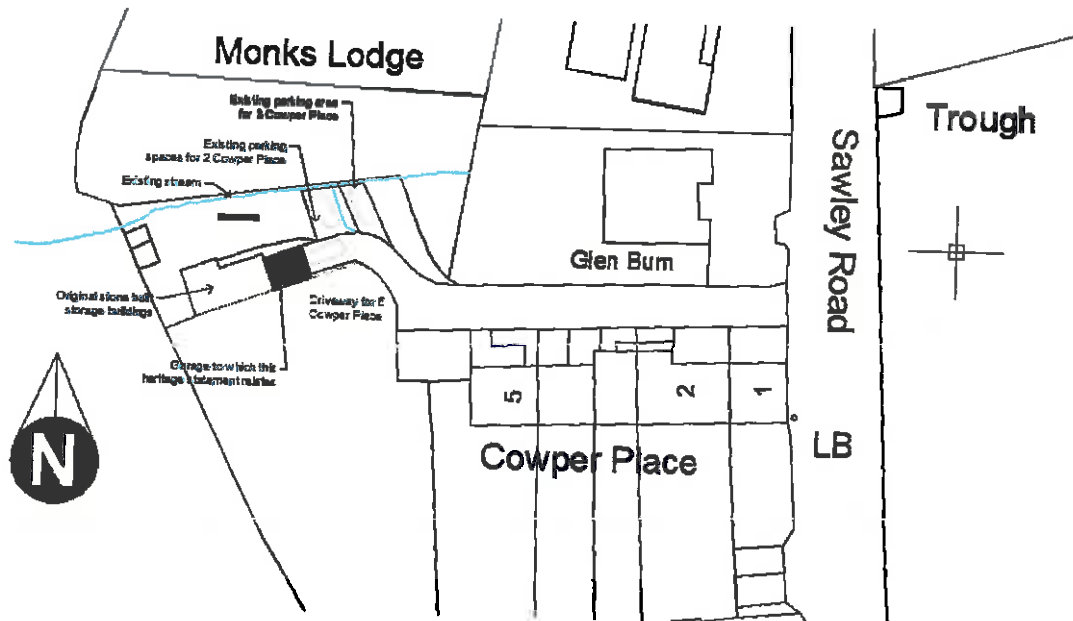


Fig. 1. Existing Site Plan (Not to scale)

Referring to historic plans of Sawley (fig. 2 – 5) it can be seen that the original farm/storage buildings to the West have been around since the late 1800's. These buildings are then reduced in size between 1886 and 1908 (Fig. 2 and 3). The garage to the East is then shown for the first time on the plan dated c. 1973 (Fig. 5).

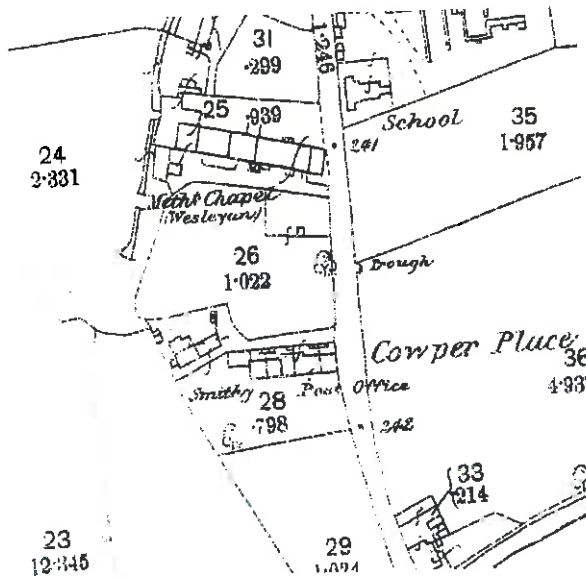


Fig. 2. 1886

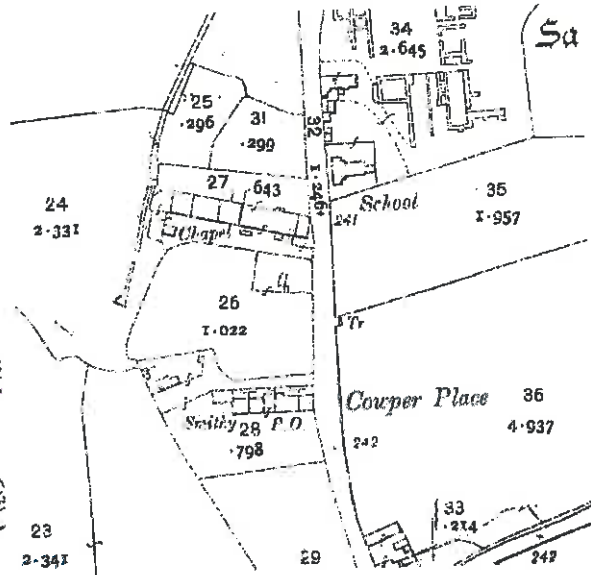


Fig. 3. 1908

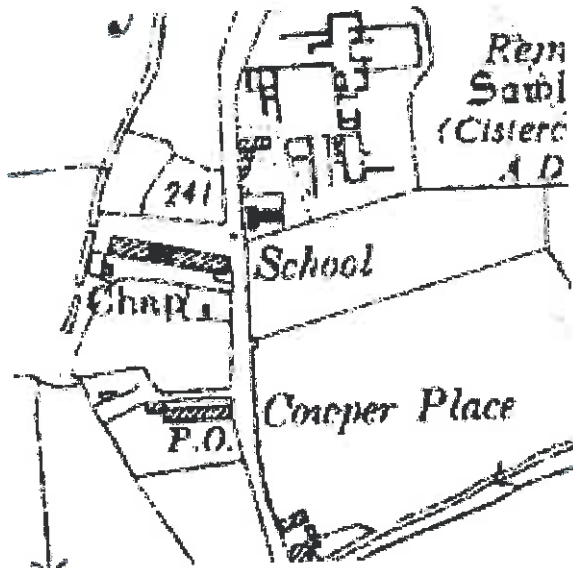


Fig. 4. 1955

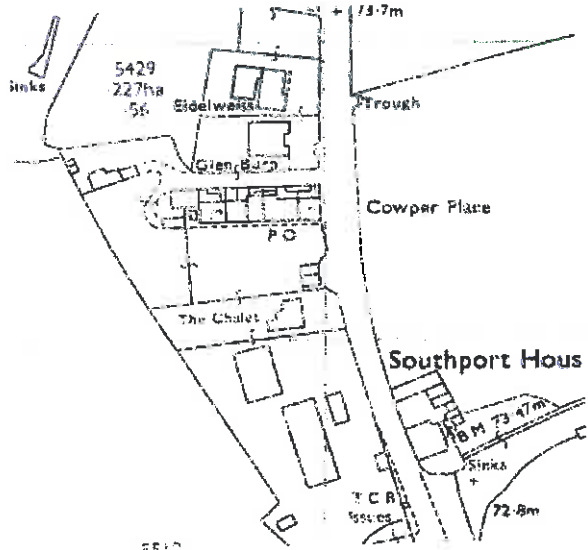


Fig. 5. 1973

Declarations by previous residents and these historic plans suggest that that the garage was constructed c. 1960 – 1970 for the purpose of storing a motor vehicle. The garage today is unchanged from its original size and construction. It is a single storey timber framed building with corrugated metal cladding to the roof and walls. The building is still used today for the purpose of storing a motor vehicle, while the adjoining, original farm storage buildings are still used for general storage purposes.

The Sawley Conservation Area appraisal makes no particular mention of this garage or the adjoining original farm storage buildings. The garage is not listed, and neither are the adjoining storage buildings. Neither the garage or the adjoining buildings are identified within the Sawley Conservation Area Appraisal as Buildings of Townscape Merit.

The Sawley Conservation Area Appraisal does however mention areas of special interest from which the Sawley Conservation Area Appraisal derives from. These include "The Long Buildings" which are located nearby, and whose frontages face in the direction of the garage in question. However, the garage is only visible above first floor level from these properties, and even then it is partially shielded by various aspects of vegetation. At ground level in front of "The Long Building" the garage is shielded by garages belonging to the individual properties within the "Long Building."

The Sawley Conservation Area Appraisal also derives from the scenic views at various points around the village, in particular from along the banks of the river Ribble. Particular important viewpoints are marked on the Sawley Conservation Area Appraisal map. The garage cannot be seen from any of these important viewpoints around the village or any public footpaths along the banks of the river Ribble.

The garage is also mostly shielded from the main road through Sawley by the properties of Cowper Place, but also the neighbouring Glenn Burn property. The Ribble Way Long Distance Footpath follows along this road. Fig. 6 shows how limited the view of the garage is from the main road.



Fig. 7. View of the garage from the main road through Sawley

Part B: Design Concept

Although the Sawley Conservation Area Appraisal makes no particular mention of this garage it repeatedly refers to the common traditional construction of buildings throughout the village. The more traditional 18th – 19th century buildings throughout the village which make a positive contribution towards the character of the conservation area are constructed mainly of gritstone rubble or sandstone walls under a stone, or slate pitched roof. The current garage is poorly constructed and simply clad with heavily weathered corrugated metal sheeting. This is very out of keeping with the majority of the more traditional construction throughout the village.

As already described in the Design & Access statement provided as part of this application, the proposal aims to demolish the existing garage and construct a new garage which will aim to make a more positive contribution towards the character of the conservation area.

The proposal aims to use more traditional finishing materials such as random stone external walls and a natural slate roof. The proposed garage will closely reflect the construction of the traditional adjoining stone built storage buildings. This includes the stone colour, mortar colours and roof finish. The proposal also aims to reinstate openings of the existing garage, while still closely reflecting the design of the adjoining, original storage buildings. The single window to the North elevation of the existing garage is proposed to be reinstated to the new garage. The Sawley Conservation Area Appraisal notes that uPVC windows are seen as having a negative effect on the area and so the proposed window will be a timber framed unit with stone head and sill to maintain the traditional appearance as much as possible.

The Sawley Conservation Area Appraisal aims to control the installation of rooflights, however, as the existing garage roof has two glazed roof panels, and due to the lack of an electrical supply to the garage, natural light in the proposed garage will be highly sought-after. The proposal therefore proposes a single pitched slate roof with a pitch matching that of the adjoining traditional buildings containing two conservation rooflights.

The proposal does include for a timber effect roller shutter garage door, as seen on other garages within the village, rather than the hinged doors currently present on the existing garage. This is due to the additional space requirements for operating the hinged doors. It is the intention for the proposed roller door to be as sympathetic to the traditional design approach as possible.

Part C: Impact of the Proposed Development

Whilst the existing garage is not listed, nor is it specifically noted as having any positive influence on the conservation area, it is acknowledged that its replacement is an opportunity to make a positive improvement on the conservation area. It would be easy to consider the existing garage as having a rather negative effect on the conservation area due to its crude and poor construction.

The proposed garage design aims to address the threats to the conservation area by proposing traditional materials wherever possible. While some elements of the proposal do involve works which the Conservation Area Appraisal aims to control, they have been designed to be as sympathetic as possible to the proposed building, the conservation area, and the surrounding neighbouring buildings.

Although the proposal is mostly shielded from public view and important viewpoints around the village, it is overlooked by neighbouring properties, including some listed buildings, and it is therefore felt important that the proposal aims to make a positive influence on the conservation area of the village. It is the intention to replace a building that is highly unsympathetic to the conservation aspect of the village with a new building which aims to have a positive impact on the locality and is as sympathetic as possible to the surrounding/adjoining traditional buildings. This should improve the aesthetic appearance of the garage from any place from where it can be viewed, either by the public or other village residents.

