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Our Ref: PGW/16E/B13942/09LET

Your Ref:

Date: 9th May 2016

Peter Hitchen Design
Marathon House
The Sidings Business Park
Whalley
BB7 9SE

320160335P

Dear Sirs,

RE: PROPOSED BARN CONVERSION, FOXFIELDS FARM, HURST GREEN
STRUCTURAL APPRAISAL

We would confirm having attended the above property and have carried out a visual inspection as you instructed.

The survey was instigated to determine the general structural condition of the property and its suitability or otherwise for conversion to habitable accommodation. It was not within the scope of our brief to prepare a detailed schedule/specification of remedial works or to supervise such works. We did not have the opportunity to monitor the condition of the property over a period of time, nor was it within our brief to undertake any works to expose the foundations of the barn. At the time of our inspection the barn was utilised as a store.

This report deals essentially with the structural aspects of the property. It is not a Building Surveyors Report which would cover in detail such items as serviceability, damp-proof course, gutters, roof finishes, electrical goods and the like, which represent the fabric of the building.

The barn is attached to the adjacent right hand farmhouse and also to adjacent left hand office accommodation. The barn incorporates solid stone random coursed walls with a duo pitched slated roof. The position of the front and rear walls are such that they project from the walls to the right hand farmhouse.

DIRECTOR: **P. G. Wright** B.Sc. (Hons) C.Eng. M.I.Struct.E.
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REGISTERED IN ENGLAND No.: 2903487

FOXFIELDS FARM, HURST GREEN

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The exterior of the barn has been examined and the following observations recorded.

The front elevation incorporates a large arched opening to the left hand side and window openings at ground and first floor with stone heads, cills and jambs. The wall was noted to be in general in a fair and reasonable condition, the wall was noted to be reasonably plumb within acceptable tolerance and the coursing generally level. There was generally no evidence of any significant distress having affected the wall.

The wall to the rear elevation incorporates large door openings to both the left and right hand sides together with window openings at ground and first floor all incorporating stone heads, cills and jambs. The pointing was noted to be reasonably satisfactory and the wall generally being noted to be in a fair and reasonable condition. The topography of the ground was such that the rear wall retains the adjacent ground by in the region of 600mm.

The roof was noted to have recently been re-slatted and was to a satisfactory alignment.

The interior of the barn has been examined and the following observations recorded.

The barn is presently a single height space. To the left hand adjoining office a partition wall has been constructed to the underside of the roof. The front wall has, in the past, been repaired however raking cracks were evident progressing from each side of the arch progressing upwards towards the roof. The cracking did appear to be historic in nature. The rear wall incorporates plaster likely as a result of the retained element of the external wall. The wall was noted to be in a reasonable condition and free from distress.

The roof is exposed and incorporates timber purlins supported on a central queen post truss. The truss from our visual inspection did appear to be in reasonable condition however there was evidence of some insect infestation.

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We have not inspected the woodwork or any part of the structure which is inaccessible therefore we cannot report that such part is free from defect. We have not checked member sizes for compliance with Building Regulations 2000 or Codes of Practice.

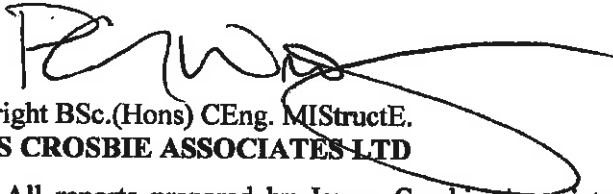
In conclusion from the findings from our inspection of the barn we would advise that the general structural condition of the barn is satisfactory and in our opinion the barn is suitable for conversion to habitable accommodation without significant remedial works. It was noted that there were historic cracks internally adjacent to either side of the arch and we consider that it would be beneficial for the cracks to be infilled with epoxy mortar or possibly crack stitched depending on the alignment of the stone coursing. The roof appeared to have been re-slatted and there was evidence of some insect infestation and it would be prudent that structural timbers are inspected by a preservation specialist and for any insect infestation to be eradicated.

To the rear elevation the external ground is supported by the rear wall and it may be prudent to avoid the potential damp penetration from the adjacent ground that the ground is locally lowered.

This report is our opinion of the conditions as existing at the time of inspection, we have not inspected the foundation or tested drains.

We trust that this correspondence is of assistance.

Yours faithfully



**P G Wright BSc.(Hons) CEng. MStructE.
JAMES CROSBIE ASSOCIATES LTD**

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