

320160358P

**spa**  
ARCHITECTS  
SURVEYORS

**HERITAGE STATEMENT**

**SUNDERLAND PEACOCK**

**ARCHITECTS  
SURVEYORS**

**PROPOSED CHANGE OF USE AND EXTERNAL ALTERATIONS TO EASTHAM HOUSE,  
NEW MARKET STREET, CLITHEROE**



**Job Ref: 5077**

**Date: May 2016**

SUNDERLAND PEACOCK & ASSOCIATES LTD.  
HAZELMERE, PIMLICO ROAD, CLITHEROE,  
LANCASHIRE, BB7 2AG  
T 01200 423178 F 01200 427328  
E [info@sunderlandpeacock.com](mailto:info@sunderlandpeacock.com)  
[www.sunderlandpeacock.com](http://www.sunderlandpeacock.com)

## **INTRODUCTION**

This Heritage Statement has been prepared by Sunderland Peacock and Associates Ltd. It has been prepared on the behalf of the applicant, Mr Dandelion. It has been prepared as part of an application for planning permission which seeks permission for the change of use of Eastham House for its existing office use to a place of worship for the "Religious Society of Friends" or "Quakers" as well as external alterations of the property to allow for the provision of disabled access into the building. The building is within Character Area 1 (Clitheroe's Historic Core) of the Clitheroe Conservation Area which is classified as a designated heritage asset. Eastham House is not a designated heritage asset but is identified as a building of "townscape merit" within the Clitheroe Conservation Area map.

The aim of this Heritage Statement is to assess any potential impact that the proposals may have on the property and the Conservation Area (designated heritage asset) in order to ensure that its significance remains intact. It is produced in response to policies set out in Paragraph 128 of the National Planning Policy Framework, 2012 as it states;

*"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including the contribution made by their setting. The level of detail should be proportionate to the assets importance and no more than is sufficient to understand the potential impact of the proposal on their significance."*

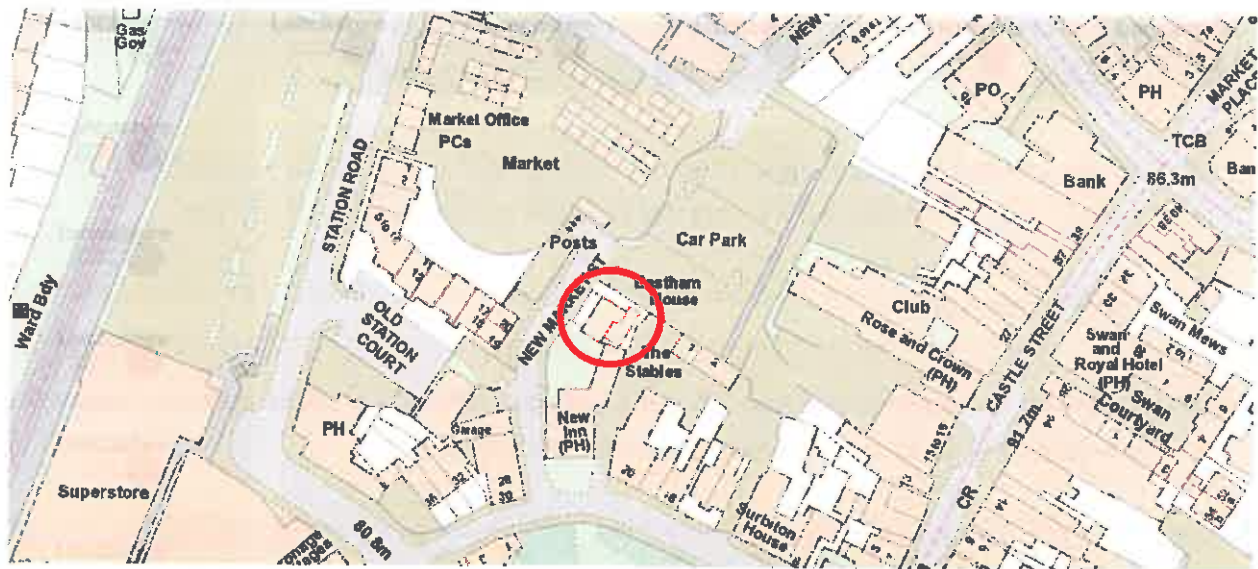
This document is to be read in conjunction with all planning drawings and any further supporting documentation.

## **THE AUTHOR**

Matthew Fish, the author, is an Associate Member of the Chartered Institute of Architectural Technologists (ACIAT) and also holds a Masters Degree in the field of Building Conservation and Regeneration.

## **SITE LOCATION**

Eastham House is located within the town of Clitheroe, which is located within the local government district of the Ribble Valley. Clitheroe is approximately 11 miles north of the town of Blackburn and approximately 9 miles west of the town of Colne. Eastham house is located on the east side of New Market Street and is directly accessible from the B6243 Parson Lane.



**PL01 showing the location of Eastham House within Cliftheroe Town Centre.**

## **SITE DESCRIPTION**

The site to which Eastham house is located is fairly regular in shape with the property taking up the majority of the site. A small courtyard / external circulation space is located to the north east and south west of the site therefore providing access to the rear of the property and the external staircase leading to a first floor flat. A small garden area is located to the front of the property. The site is flanked to the west by New Market Street, to the north by a public car park and to the south and east by surrounding properties.

## **BUILDING DESCRIPTION**

Eastham House is an example of a late 18<sup>th</sup> century / early 19<sup>th</sup> century detached townhouse which is currently comprised of unused cellar (stair/ladder access through hatch), ground floor commercial offices and first floor residential apartment. The existing plan form still shows evidence of its original plan layout and was potentially a double piled dwelling. This was likely to include four rooms on plan; however this has since been distorted due to past development.

In terms of construction, Eastham House is a traditional vernacular building meaning that it would have been constructed from locally sourced materials that were available at that time using traditional construction techniques. Its design will have been based on the needs of the occupants as well as the current architectural trends at that time. Eastham House is likely to have been constructed from solid stone with an external render finish. The roof structure is likely to be comprised of traditional timber roof construction consisting of timber purlins and rafters and battened out to

receive a natural slate roof covering. The rear annexes are also expected to be of similar wall construction also with timber roof structures but with a stone flag finish.

Internally, the ground floor consisted of office spaces, WC's, a kitchen, conservatory area and an informal sitting area. A first floor flat is located above with external access to the rear.

### **HISTORICAL BACKGROUND**

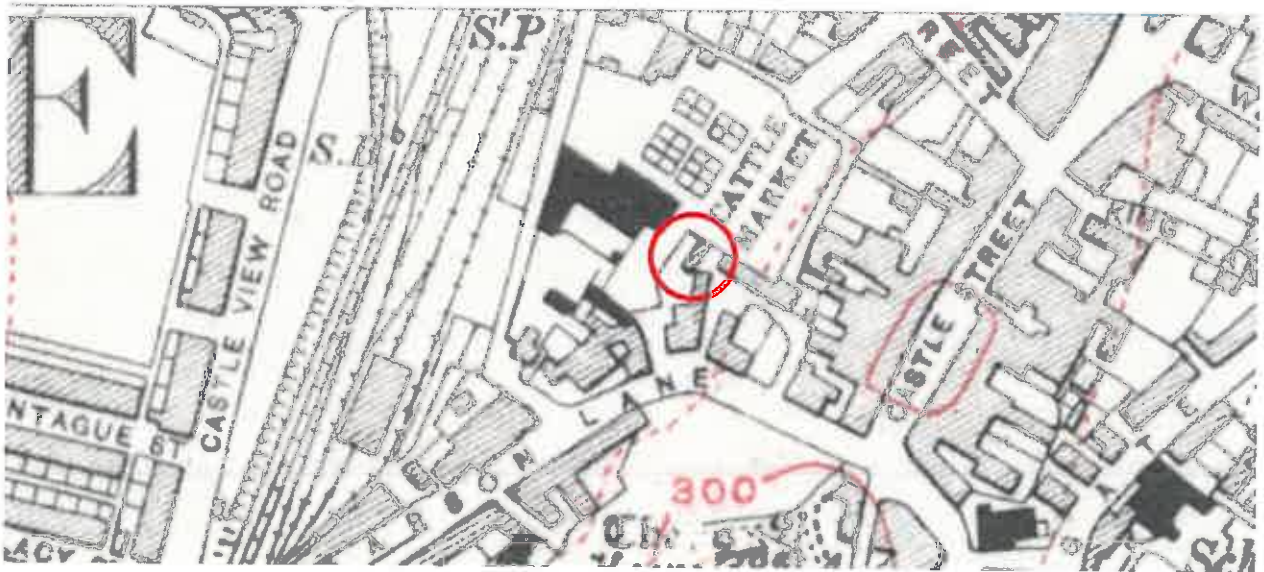
Eastham House is an example of a late 18<sup>th</sup> century / early 19<sup>th</sup> century townhouse and was built at some point prior to 1844. Its exact date of construction is unknown.



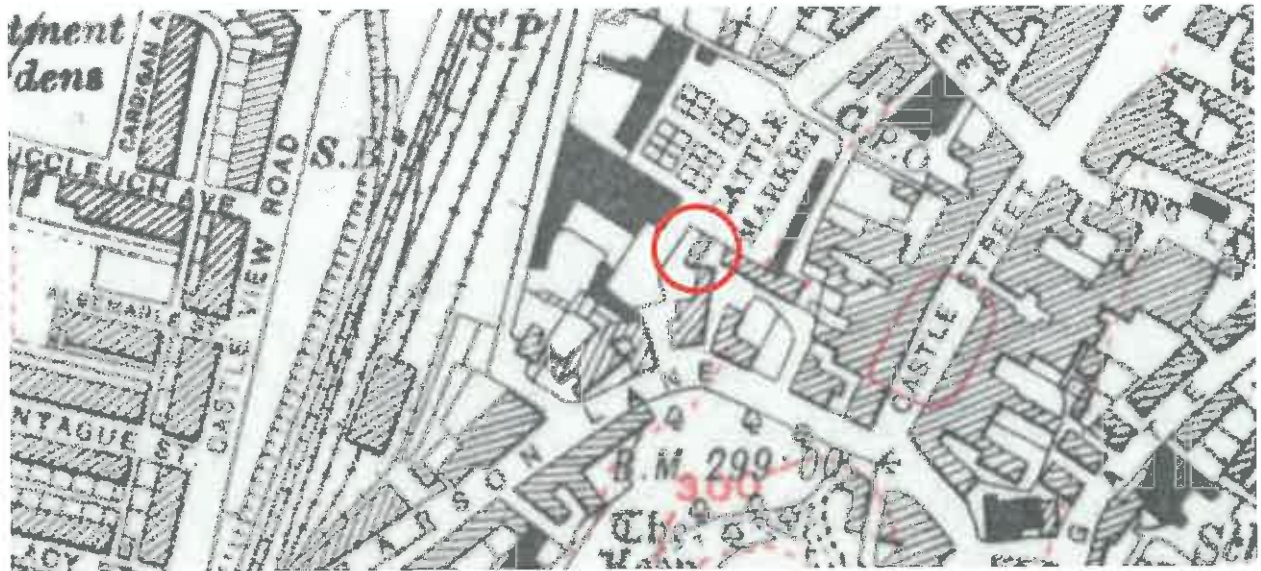
**PL00: Historic OS map from 1844 showing the location of Eastham House.**



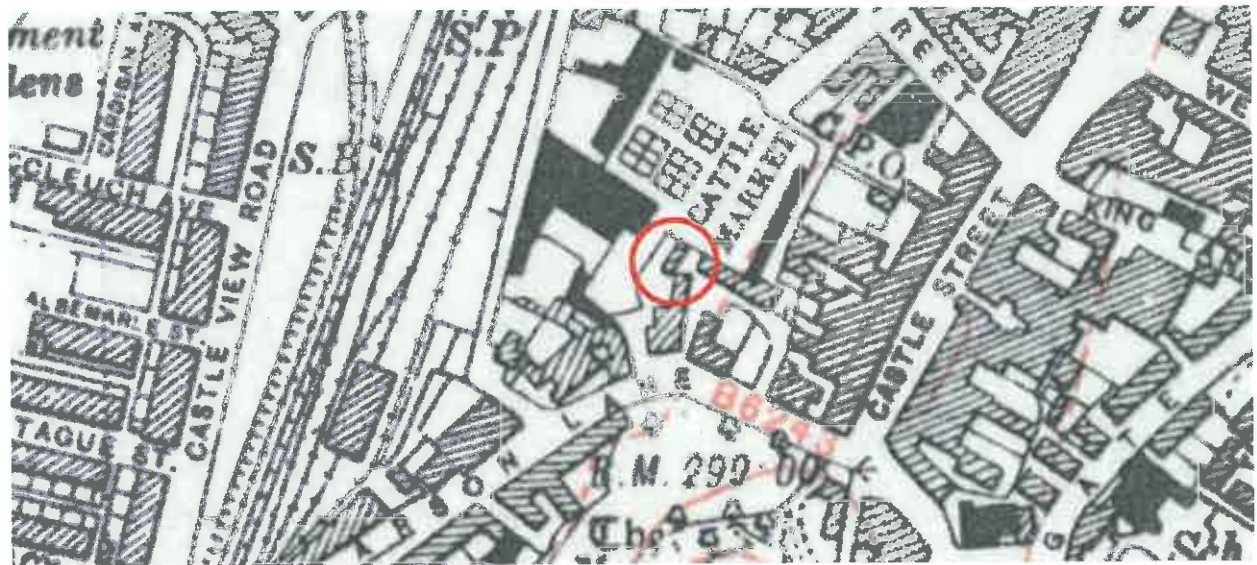
**PL00: Historic OS map from 1884 showing the location of Eastham House.**



**PL00: Historic OS map from 1910 showing the location of Eastham House.**



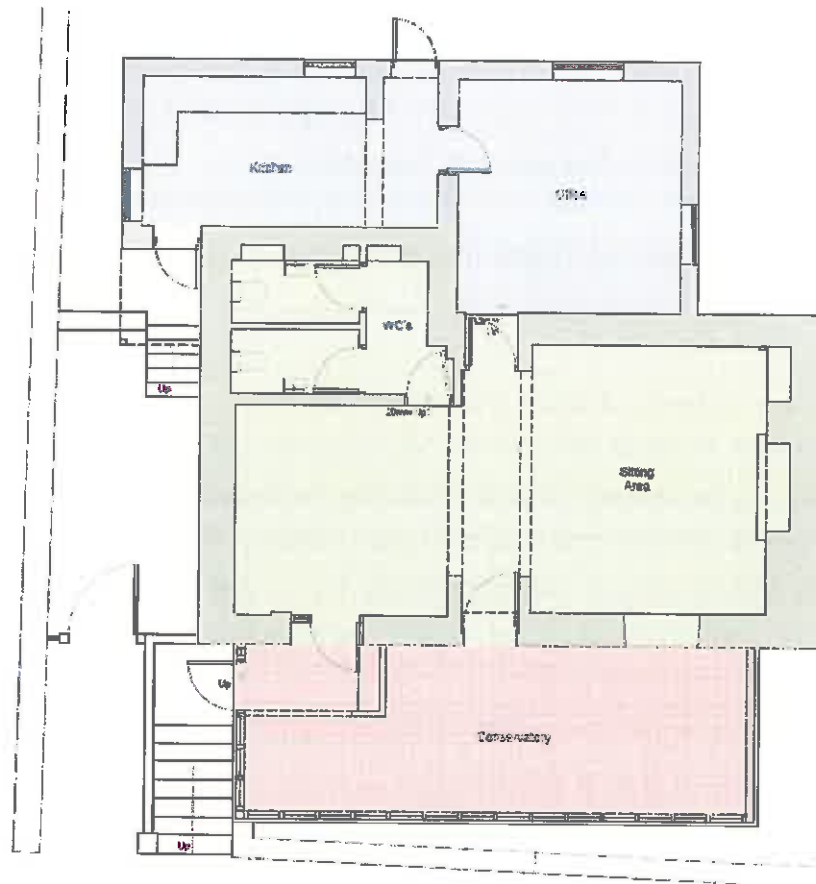
**PL00: Historic OS map from 1929 showing the location of Eastham House.**



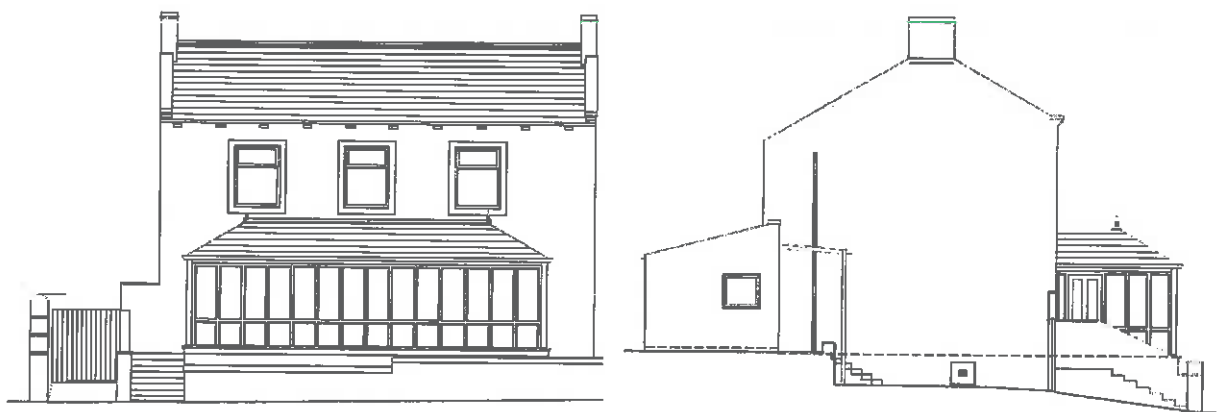
**PL00: Historic OS map from 1938 showing the location of Eastham House.**

From an analysis of the historic OS maps, the map of 1844 shows Eastham House to be an 'L' shaped building however this changes to a rectangular shaped building from the late 18<sup>th</sup> century and is consistent through to the map of 1938 suggesting that very little development has taken place to Eastham house during this time.

## DEVELOPMENT AND PHASING



**PL00 Showing the existing ground floor plan of the property and development phasing.**



**PL00 Showing the existing front (west) and side (north) elevations**

**Original Extent of Eastham House – constructed prior to 1844**

**Rear Extensions to Eastham House – constructed 1987/1988**

**Front Conservatory Extension – constructed 1989**

## HERITAGE ASSET DESIGNATIONS

Eastham House is located within Character Area 1 of the Clitheroe Conservation Area which is a designated heritage asset under section 69 of the Planning (Listed Buildings and Conservation Areas) Act 1990. The Clitheroe Conservation Area was designated in 1973 and extended in 1979 whilst also being provided with Outstanding Conservation Area status.

The Special interest that justifies the designation of the Clitheroe Conservation Area derives from the following:

- Clitheroe Castle, a Scheduled Ancient Monument;
- The relatively intact medieval layout of the original settlement;
- The Castle Grounds which is included on the English Heritage Register of Parks and Gardens;
- The architectural and historic interest of the area's buildings, 88 of which are listed;
- Church Street, the best area of Clitheroe's historic townscape;
- Historic late 19th century townscape along King Street including Police Station (1886), former Post Office (1879) and Victoria Buildings;
- Planned grid pattern of typical late 19th century terraced housing (Railway Terrace, Waddington Road, St Mary's Street and Brennand Street);
- Good examples of late 19th century terraced houses in Eshton Terrace;
- The prevalent use of local building stone;
- The distinctive skyline, especially as viewed from the Bashall Eaves area of the Borough;
- Open space beside Mearley Brook at the rear of SS Michael and John's Church;
- The Market Place;
- Traditional 19th century shopfronts;
- Views of Pendle Hill and distant fells to the west;
- Panoramic views from Clitheroe Castle;
- A pleasing historic townscape enhanced by the town's changes of level and curves in the old streets and areas of historic stone floorscape;
- Stone paved pedestrian alleys off Moor Lane and Church Street;
- Individual trees and groups of trees in the area's three significant open spaces.

Eastham House is not a Designated Heritage Asset (i.e. listed building) but is defined as a building of Townscape Merit within the Clitheroe Conservation Area Map. However a number of listed buildings are present within close proximity with the closest being included within the following list entry.

*PARSON LANE 1. 5295 (North Side) New Inn SD 7441 1/203 II GV 2. C18 or early C19. 2 storeys, rendered, with Welsh slate roof and stone coped gable ends. Stacks at ends. Eaves cornice and*

*rusticated quoins. 3 windows above 2, stone surrounds. Centre door of 4 panels with ornamental rectangular fanlight in reeded surround with paterae and moulded cornice. Nos 16 to 20 (even), New Inn, Nos 28 to 36 (even) form a group.*

## **PLANNING HISTORY**

The following applications related to the planning history of Eastham House and consist of the following applications;

- Application No: 3/2011/0603  
Decision Date: 01/08/2011  
Proposals: Fell 1 no. Cupressocyparis Leylandii tree  
Decision: Approved with conditions
  
- Application No: 3/2002/0479  
Decision Date: 12/07/2002  
Proposals: Change of use from restaurant to graphic design company  
Decision: Approved with conditions
  
- Application No: 3/1989/0508  
Decision Date: 05/10/1989  
Proposals: Lounge / Conservatory Extension  
Decision: Approved with conditions
  
- Application No: 3/1988/0705  
Decision Date: 07/11/1988  
Proposals: two storey extension to rear  
Decision: Approved with conditions
  
- Application No: 3/1987/0159  
Decision Date: 06/03/1987  
Proposals: Lounge / Conservatory Extension  
Decision: Approved with conditions
  
- Application No: 3/1987/0371  
Decision Date: 15/06/1987  
Proposals: Change of use from dwelling to restaurant  
Decision: Permission granted

- Application No: 3/1987/0601  
Decision Date: Unknown  
Proposals: Change of use from dwelling to restaurant and new external stair leading to first floor flat.  
Decision: Permission granted
- Application No: 3/1975/0026  
Decision Date: 03/04/1975  
Proposals: Conversion of dwelling into 2no dwellings / flats.  
Decision: Approved with conditions

## PROPOSED WORKS

The proposals in relation to this planning application relate to the following;

- The change of use of the building from office space to a place of worship.

- **Existing Stepped Access / Landing**

Existing wall to the top of the landing to be broken out and landing raised and extended as indicated on the proposed drawing (additional step formed to the top of the flight of stairs. New wall constructed and finished to match the existing.

- **Floor Finish into Toilet Lobby**

Existing 20mm step up into Toilet Lobby to be levelled out either through the choice of floor finish used or a self-levelling compound laid in the adjacent areas, prior to installing a new floor finish/ relaying the existing floor finish.

- **Door into Toilet Lobby (DG4)**

Existing opening broken out and widened for new door to achieve a 775mm **CLEAR** opening. If existing wall is loadbearing 150 x 100mm pc concrete lintel installed over opening, finishes to be made good on completion.

- **Toilets**

Existing assumed non-loadbearing walls to be broken out and removed from site, if walls are loadbearing the Architect is to be informed to enable a suitable means of support to be specified. New walls to toilets formed in 100 x 50mm timber stud partitions, 100mm Rockwool RW3 slabs in between, 12.5mm plasterboard skim finish.

- **External Steps up to the Kitchen**

2 no steps added to the existing stairs (to match the existing) to accommodate the altered levels within the site.

- **New Ramp adjacent to Platform Lift**

New 4.5m long ramp formed at 1:15 rise, complete with level landing to top where the access to the platform lift is situated. Handrail to be fixed to existing wall.

- **New Platform Lift**

Platform lift by specialist manufacturer to provide wheelchair access from the lower level to the ground floor level at Eastham House, exact details of platform lift to be agreed with client prior to ordering.

- **Existing External Door into Lobby (DG1)**

The existing frame is to be modified to enable a larger door to be fitted as shown on the proposed plans (the door is to achieve a min 775mm **CLEAR** opening – but will ideally be wider as shown on the proposed plans.)

- **Existing Internal Door into Lobby (DG2)**

The existing door and frame are to be modified/ new door and frame made to swing the opposite way and provide a wider access for disabled users as shown in the proposed plans. (The door is to achieve a min 775mm **CLEAR** opening – but will ideally be wider as shown on the proposed plans.)

- **Existing Internal Door between Office and Kitchen (DG3)**

Existing opening to be broken out and 150 x 100mm pc concrete fitted lintels over openings as required. Make good on completion.

Opening widened to enable a 838mm door to be accommodated, to achieve a 775mm clear opening.

- Section of external wall housing Ginger Pumpkin Signage adjacent to the position of the new platform lift to be broken out and removed from site. Finishes to be made good on completion.

- **New Door/ Wall between Meeting Area and Office**

New wall to form Landing area constructed in 100 x 50mm timber stud partitions, 100mm Rockwool RW3 slabs in between, 12.5mm plasterboard skim finish. New door to be fitted with a min 775mm **CLEAR** opening – ideally wider as shown on the proposed plans.

- **Ramp between Meeting Area and Office**

New internal ramp to be formed in timber, existing floor broken out/ modified to suit. Low wall approx. 0.9m high to be installed alongside ramp as indicated on the drawings, constructed from timber studwork with plaster skim finish and timber capping. Timber handrail fixed to existing wall/ new low wall.

## **PLANNING POLICY**

National and local planning policy will be used within the decision making process and the proposals should be seen as being in accordance with the following planning policies.

### **Local Planning Policy – Ribble Valley Borough Council Adopted Core Strategy**

#### **Policy DME4: Protecting Heritage Assets:**

**10.15.** *In considering development proposals the council will make presumption favour of the conservation and enhancement of heritage assets and there settings.*

#### **1. Conservation Areas**

*Proposals within, or affecting views into and out of, or affecting the setting of a conservation area will be required to conserve and where appropriate enhance its character and appearance and those elements which contribute towards its significance. This should include considerations as to whether it conserves and enhances the special architectural and historical character to the area as set out in the relevant conservation area appraisal. Development which makes a positive contribution and conserves and enhances the character, appearance and significance of the area in terms of its location, scale, size, design and materials and existing buildings, structures, trees and open spaces will be supported.*

*In the conservation areas there will be presumption in favour of the conservation and enhancement of elements that make a positive contribution to the character or appearance of the conservation area.*

#### **2. Listed Buildings and Other Buildings of Significant Heritage Interest.**

*Alterations or extensions to listed buildings or other buildings of local heritage interest, or development proposals on sites within their setting which cause harm to the significance of the heritage asset will not be supported.*

*Any proposals involving the demolition or loss of important historic fabric from listed buildings will be refused unless it can be demonstrated that exceptional circumstances exist.*

Local planning policy dictates that any proposed works should conserve and enhance the character and appearance of the conservation area and that any proposed works to designated and non-designated heritage assets should not cause harm to their significance.

In terms of the proposed works, all internal works will have no impact on the character and appearance of the conservation area. The proposed internal works will also have very little effect on the existing building fabric and are minimal in nature. The proposed internal works are not significant or invasive when compared to the internal works that have taken place in the past.

The external works, which involve the forming of new ramped access and alterations to the existing steps are again minimal in nature and are only as required so that sufficient disabled access can be provided to the building in accordance with that of its proposed change of use to a place of worship. The effect of the external works should be considered negligible in terms of their effect on the character and appearance of the building and conservation area especially given the significant alterations that the property has previously undergone over time.

### **National Planning Policy Framework**

*17. Conserve heritage assets in a manner appropriate to their significance, so they can be enjoyed for their contribution to the quality of life of this and future generations.*

*131. In determining planning applications, local planning authorities should take account of:*

- *The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation.*
- *The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- *The desirability of the new development making a positive contribution to local character and distinctiveness.*

*132. When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the assets conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of a designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II\* listed buildings, grade I and II\* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.*

*134. Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.*

*135. The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that affect directly or indirectly non designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.*

The building is to undergo the proposed alterations so that it may adopt a new use as a place of worship, which therefore allows for the building to be retained, maintained and used so that it will carry on its existence and provide its contribution to the character and appearance of the conservation area. The proposed works should also be seen "as less than substantial harm" due to the very minimal nature of the works and also due to the fact they are not as significant as the work that have been carried out previously regarding this building. The public benefits that the proposed change of use and alterations provide outweigh this minimal impact and should be considered as favourable. The proposals will also allow for the building to be upgraded providing a means of access into and around the building, something that is not currently afforded by the property and is essential should the building be made for use by members of the public.

## **HERITAGE VALUES**

An assessment of the heritage values associated with the property will be carried out in order to determine its potential significance. It will assess if any of these heritage values and therefore the buildings significance could be affected by the works that are proposed as part of this application for listed buildings consent.

## **EVIDENTIAL VALUE**

The English Heritage Document "Conservation Principles, Policies and Guidance" (2008) states that "Evidential value derives from the potential of a place to yield evidence about past human activity"

Eastham house is evidence of the late 18<sup>th</sup> century / early 19<sup>th</sup> century town houses that were constructed throughout Clitheroe at that time as well as living conditions and standards that existed at the time. Further evidential value can be attributed to its assumed vernacular construction and style. However its overall evidential value has been greatly diminished over time due to the amount of past internal and external alterations which have allowed the building to change its use and also therefore diminishing this value even further as a result of the loss of the buildings original function. For these reasons it can only be attributed with a low evidential value.

## **HISTORICAL VALUE**

The English Heritage Document "Conservation Principles, Policies and Guidance" (2008) states that "Historical value derives from the ways in which past people, events and aspects of life can be connected through a place to the present"

The historical value of Eastham house is mainly derived from its past function as a dwelling, and provides small evidence of the historical development of the town and also contributes to the historic character and appearance of the local area. However, the original function as a two storey dwelling has now been lost. No known associations with past people and events can currently be determined and therefore can only be attributed with marginal historic value.

## **COMMUNAL VALUE**

The English Heritage Document "Conservation Principles, Policies and Guidance" (2008) states that "Communal value derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory"

The communal value of the property has changed over time. Its original use as a dwelling offered virtually no communal value however its use has since then changed to that of a restaurant where its communal value would have significantly increased. Since its past use as a restaurant the building has been in private commercial use and again offered no communal value. However the proposed change of use to a place of worship will allow for an improvement to its currently non-existent communal value.

## **AESTHETIC VALUE**

The English Heritage Document "Conservation Principles, Policies and Guidance" (2008) states that "Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place"

The aesthetic value of the property is derived from its external appearance and what is remaining of the original dwelling and its associated features. However it should be made clear that the aesthetic value of the property has been significantly affected due to the number of past internal and external alterations which have occurred and have caused a distortion to the aesthetic appearance of the building through external alterations of differing appearance, style, scale and massing. The past internal alterations will have undoubtedly caused the loss of various important internal features i.e. the staircase, amongst other important features and elements of the building.

Due to this, the building can only be considered to have a diminished and therefore low aesthetic value.

## **STATEMENT OF SIGNIFICANCE**

From an assessment of the heritage value associated with Eastham House, it is possible to make an informed statement as to the significance of the building.

Eastham house is a late 18<sup>th</sup> century / early 19<sup>th</sup> century, two storey townhouse located within Clitheroe Town Centre and also the Clitheroe Conservation Area. Eastham house has undergone various changes of use as well as a number of internal and external alterations as a result i.e. stair removal, extensions etc. The building does possess number of heritage values but not to the extent that they might have been had the property been maintained in its original form. All of the heritage values that Eastham House has been assessed against appear to be quite low and in some cases virtually non-existent, with nothing of any real outstanding value.

Its strongest value is likely to be that of its aesthetic value, however even this has been greatly diminished as a result of past alterations and extensions. Eastham house however still provides an aspect of positive contribution to the historical and architectural character and appearance of the local area and also the sider conservation area. The property also continues to maintain a presence within the streetscape of the New Market Street area.

## **CONCLUSION**

An assessment of heritage significance has determined that Eastham House does possess heritage value and therefore a level of significance. However, this is only deemed to be a low level of value due to the reasons that have been previously described within this document.

The proposed works seek to upgrade the building in accordance with its new use as that of a place of worship in that disable access will be required into and around the building for use by the general public. The proposed works will be minimally invasive and therefore will have very little impact on the character and appearance of both Eastham House and the Conservation area which is outweighed by the public benefit of the proposals.