

stanton andrews
architects

Heritage/Justification Statement

11 Castle Street
Clitheroe



BAYFIELDS
opticians

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Note: To assist the understanding of drawings scale bars are provided for reference where possible

Heritage Assets

1.0 Identification & assessment of relevant heritage assets

1.1 This heritage statement has been prepared to support a listed planning application for the modest internal alterations required to ensure that the public are able to access the first floor and to comply with BRegs requirements.

The building is a Grade II listed and was added to the statutory National Heritage list on the 30th September 1976.

The heritage statement will assess the alterations to be undertaken and their historic significance, architectural/aesthetic significance.

1.3 Listing Statement

11 Castle Street as previously stated was listed in 1976 the listing description is given below:

CASTLE STREET 1. 5295 (North-West Side) ————— No
11 SD 7441 1/3 II GV

2. C18 origins. Gable end to road rendered, side elevation in coursed stone. Coped gable ends with kneelers, rusticated quoins. 1 window on 2 storeys, stone surrounds. Attractive mid to late C19 shop front with carved brackets and fascia, 2 windows and centre door, at either end a small pediment on trusses decorated with vine leaves.

Nos 3 to 19 (odd) and the Starkie Arms Hotel form a group, Nos 3 to 7 being buildings of local interest only.

1.4 Clitheroe Conservation Area

11 Castle Street is located at the south west end of one of the principal medieval streets in the centre of Clitheroe.

The property is included within the Clitheroe Conservation Area which covers the historic core of the town, originally designated in October 1973. The designation derives from its noticeable collection of 18th and 19th century buildings, many of which are listed for their architectural features and historic importance.

It is mentioned in the Clitheroe Conservation Area Appraisal:-

Good examples of reasonably complete historic shopfronts are 11 Castle Street, 31 Castle Street and 24 Wellgate. In Moor Lane there are examples of two-storey shopfronts; no.17 Moor Lane is a particularly good example, listed grade II.

1.5 Building Condition

The building currently has a ground floor sales area and test room. This will be freshened up to improve the experience for clients as they will have more private space for confidential consultations and viewing of spectacles.

Access to the upper floors is currently via the test room. There is no public access to the upper floors, the first floor is used as a staff room/office and store room. The top floor has been abandoned as water ingress through the roof/flashings/failed gutters has made the space unusable.

It is intended that the first floor will be accessed by the public via a new flight of stairs to the half landing. The floor will be arranged to create another test room and to provide a protected stairway to ensure that the escape route from the second floor complies with BRegs requirements.

After the roofing works have been undertaken the second floor is to become a store room with access for staff only.

1.6 Planning History

There have been a number of applications most noticeably in the early 90's probably at a time when there were some modest internal alterations were undertaken.

3/1992/0632 Removal of skylights (LBA)

Application submitted by previous tenant.

3/1990/0451 Refurbishment of shop front (LBA)

3/1990/0393 Section 53 Determination

Main Fascia sign (non-illuminated)

Applications submitted by Boots Opticians



Development Proposals

2.0 Assessment of effect of development proposals

2.1 External

A program of repairs is to be undertaken to the render and roof/gutter and flashings. As these works will NOT be undertaken in any manner which would affect its character as a building of special architectural or historic interest, listed building consent is not required within the terms outlined in the Planning (Listed Buildings and Conservation Areas) Act 1990.

2.2 Internal

The ground floor internal partitions which we believe to have been installed in the late 1980's are to be replaced.

The staircase from ground to first floor which may also date from the late 1980's, is to be altered so that the lower flight discharges towards the door rather than within an office. The BRegs requirements for a property of this arrangement require the stairs to discharge to within 3m of the exit. This is not possible but the proposed seems a suitable compromise. It also allows customers to access the first floor without passing through the test room.

The stair from first to second floor is of earlier construction but cannot remain in place if the ground to first floor stair is to be altered. In addition that stair, which is in very poor condition is at an angle of more than 45 deg, far too steep to be used as a stair even for storage.

3.0 Summary

The proposed alterations will not change the use of the building or affect its character as a building of special architectural or historic interest.

The works are limited to those required to allow the public to access the ground and first floor whilst bringing the redundant second floor back into use.

Ensuring an historic property complies with current BRegs requirements is always a challenge, in this instance the changes are limited to the most critical of requirements; health and safety in the event of a fire.

It is therefore concluded that the works preserve the character and significance of the listed building and thus are in accordance to relevant Local Plan policies and Core strategy policies.

4.0 Bayfields

Bayfields Optician Group was set up in 2004, with a current turnover of £5.4m the practice has eleven branches, is in the process of buying two more and expects to have 30 branches by 2019.

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We do not simply sell glasses and contact lenses; we give the best possible solutions for unique lifestyles, enabling our eye care clients to enjoy the world they see. We give peace of mind."

Royston Bayfield, Managing Director and Optometrist

Internal Photos



Ground floor plasterboard partition wall to be removed



Top of stair flight to be retained in place



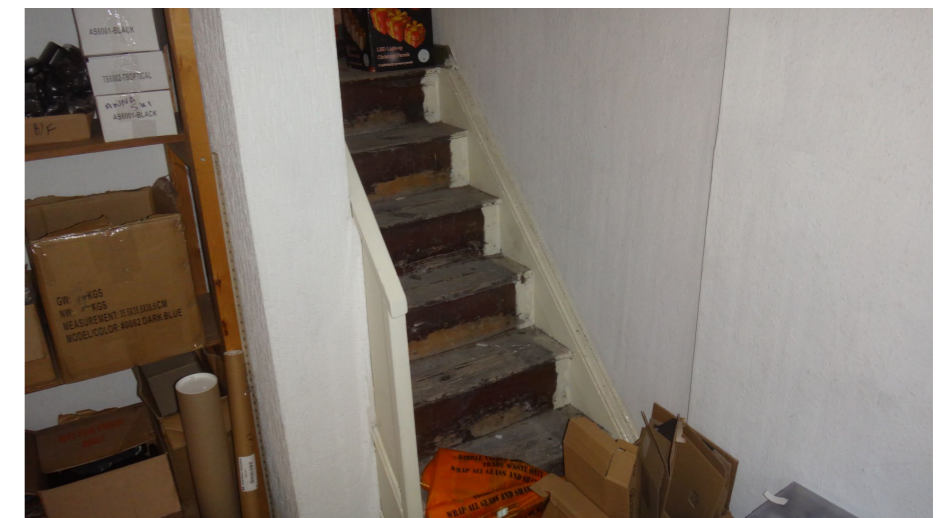
Top flight of stair from first to second floors



Doorway within test room currently allowing access to stair to first floor.



Bottom flight of stair to be replaced with new flight to extended half landing



Bottom flight of stair from first to second floor

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