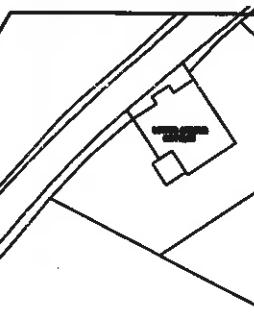


PLANNING NOTES

The proposed development consists of two story extension a family living area/bedroom ensuite. To the rear single storey utility room link porch. All new walls to be constructed in stone work with stone quoins or rendered walls built in block work with stone details which include stone lintols jambs and cills. The pitched roofs to be covered in welsh blue slate. Windows and single doors to be made of hardwood timber to match existing frames and Velux conservation roof light set flush with roof not to project. Bi fold doors to be in aluminum dark gray finish. Materials to be used in this development are recycled natural slate and local stone from the area to ensure the proposal blends into its surroundings and match the existing building.



TREE 1



TREE 2

All trees and bushes plotted on site to be retained with the exception of tree 1 and 2 in close proximity to new extension to be removed. New foundation will be taken to a depth below the old tree root lines so as not to have any affect on the new extension foundations. Mixed boundary consist of shrubs, mixed hedge row and timber post and wired fence to perimeter with gaps in the hedge. Stone wall to rear of property adjacent to access road.

Do not scale from this drawing unless for Planning purposes.
 Written dimensions only shall be taken from this drawing.
 All dimensions are approximate and must be checked on site by the Contractor prior to the commencement of any foundation or building works on site and where applicable, all dimensions and details are to be read in conjunction with any specialist contractors' drawings any discrepancy between drawings is to be brought to the attention of 'VCMM LIMITED' prior to the commencement of any foundation or building works.
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Revision	Date	Description
REV 1	08.11.16	PHOTO OF TREES 1 & 2 TO BE REMOVED

Client
Mr & Mrs M FARADAY

Drawing Title
**EXTENSION TO HOUSE
 ARBOUR FARM,
 CHIPPING ROAD, THORNLEY,
 PRESTON. PR3 2TE.
 BEDROOM ENSUITE FAMILY
 ROOM AND UTILITY ROOM**

Drawing Title
**SITE LOCATION PLAN
 & TREE SURVEY**

Date
NOVEMBER 2017

Scale
1/1250 1/500

Drawn
 Checked

Drawing No
MF 01.02R

