

PROVISIONAL OUTLINE SCHEDULE OF WORKS AND METHOD STATEMENT:

SCOPE OF WORKS:
Localised dismantling and subsequent rebuilding of the west facing gable end elevation of the building including the tying in of the rebuilt stonework to the presumed inner leaf of stonework. Repointing works to be carried out throughout the areas of wall which are to remain undisturbed. Only areas of unsound mortar are to be repointed.

PURPOSE OF THE WORKS:
The works are being carried out in order to repair and correct an area of wall bowing which has occurred to the west facing elevation of the building as a result of structural movement in order to restore structural cohesion and unity. The undisturbed areas of the wall are to be repointed to prevent further water ingress which is currently an ongoing problem at this particular location of the building. Only unsound areas of mortar are to be repointed.

METHOD STATEMENT FOR PROPOSED DISMANTLING AND REBUILDING WORKS TO THE WEST GABLE END:

The following method statement has been written in support of the localised dismantling and subsequent rebuilding of the existing west facing gable wall to the Hark To Bounty Inn, Town End, Slaiburn.

The contractor will be instructed to carry out the works in accordance with this method statement which is to be monitored and reviewed regularly, through site visits, to check for compliance with the method statement and to allow for any corrective action to be identified and implemented if required.

The affected gable end wall of the building is to be rebuilt following the commencement of further intrusive investigations regarding the condition of the wall and its construction. The approximate extent of the rebuilding work is highlighted on drawing 5124-03 to the proposed west facing elevation. At present, approximately 30% of the gable end wall will be require rebuilding and this is to be confirmed by the Structural Engineer, however this is expected to be the worst case. As per Structural Engineers report ref: W/15/110/P2/P/GW/LAW dated 13th November 2015, it is suggested that the use of steel plates in order to tie the out leaf of stonework to the inner leaf would be uncertain as the plates would be retaining an element of potentially weak walling against a void and would not be considered as a suitable means of remediation. Therefore the rebuilding of the affected area is required.

STRUCTURAL STABILITY:
Prior to any dismantling work taking place, the main contractor is to install a means of temporary support to the existing roof structure, first floor structure and staircase to allow for the structural repairs to take place without affecting the structural integrity of these building elements. The contractor is to ensure that the structural stability of the wall and other elements of the building i.e. roof and floors, is maintained throughout the entire duration of the works. Any defects and evidence of movement that occur during the duration of the works are to be reported immediately to Sunderland Peacock and Associates Ltd.

SCAFFOLDING:
Appropriate scaffolding is to be erected externally and internally if deemed to be required to allow for the works to take place. Extreme care must be taken when the scaffolding is erected, altered, adjusted and dismantled in order to protect the existing historic fabric from any damage caused by the scaffolding poles and boards. The design of the scaffolding is to be agreed with Sunderland Peacock and Associates Ltd prior to erection to ensure no conflict between site operations, the running of the lin and access to its car park. All scaffolding is to be designed so as to be free standing and under no circumstances should the scaffolding be fixed back to the fabric of the building. Under no circumstances will putlog scaffolding or any other mechanically fixed scaffolding be considered as acceptable in this instance. All scaffolding tubes and poles must finish at least 50mm away from the external walls of the building and be fitted with plastic end caps so as not to cause any damage to the existing wall fabric. All scaffolding, both externally and internally, is to be sited on timber pads.

DISMANTLING:
All dismantling and rebuilding work is to be carried out by experienced and competent workers / masons to ensure a high standard of working processes and workmanship throughout the works.

Dismantling is to be carried out at the localised area of structural movement and bowing only. All vertical and sound areas of walling are to remain in situ and disturbance of these areas is not to take place / be as minimal as possible throughout the duration of the works.

Each stone is to be carefully cut out and removed from its existing position within the wall through the use of hand tools to avoid significant damage to each stone. Under no circumstances will the use of mechanical methods of removal be considered acceptable for use during the works. Once removed, each stone is to be cleaned down with a cham brush to remove any dust and mortar from its surface to prevent any potential damage to the stone. Under no circumstances are wire brushes to be used for the cleaning of the stones.

All removed stones are to be carefully stacked onto a pallet and securely stored away to prevent potential damage and theft.

The existing first floor window to the landing is to be carefully removed from the window opening and is to be safely and securely stored on site to prevent potential damage and theft.

The internal dry-lining to the gable end wall is to be carefully removed (inc. timber studs, plasterboard and wall finishes) and correctly disposed of.

REBUILDING:
The dismantled section of walling is to be rebuilt using the retained stonework in the order that the stonework was dismantled. All stones are to be laid onto a clean surface and rebuilding is to take place on vertical areas of existing walling. Steel ties to be inserted during rebuilding in order to tie the rebuilt wall back to the inner stonework and is to be carried out in accordance with structural engineers recommendations.

All rebuilding is to be carried out using a traditional 3:1 mix (sharp stone, coursed sand/diffing aggregates: 3.5 Natural Hydraulic lime). Mix will be applied throughout complete with stipple/brushed finish. Joint/mortar thickness to be well-proportioned.

Internal wall linings are to be made good to match the existing.

Existing gable window is to be reinstated and fixed back into its original position.

REPOINTING METHOD STATEMENT:

The west facing gable end is to be repointed externally whilst it is also to be repointed internally at first floor level only. Only areas of unsound mortar are to be repointed.

All repointing work is to be carried out during a period of suitable weather so as to avoid periods of high and low temperatures. This will ensure that the new mortar dries correctly.

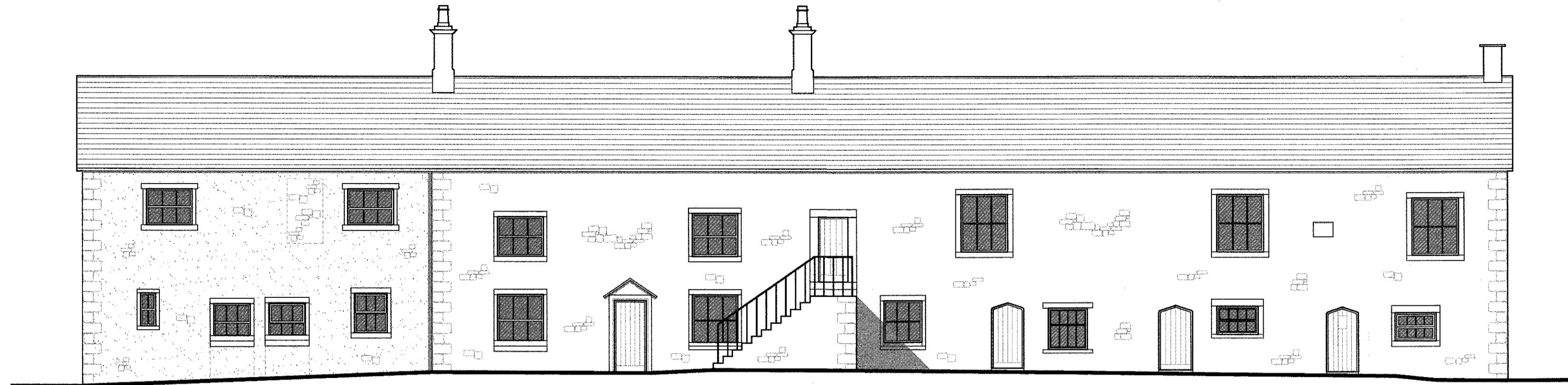
Existing mortar to be carefully raked out to a minimum depth of 25mm or twice the width of the joint (whichever is greater). Raking out of existing mortar joints is to be strictly done by hand using the correct hand tools i.e. a mason's chisel. Under no circumstances should mechanical methods of removal be used in order to prevent damage to the stonework.

The exposed joints are to be carefully cleared with compressed air to remove any remaining debris and to ensure that it is not washed down the wall. The affected area is to be rinsed down and washed with clean water to ensure that the wall is damp. This will encourage a good bond between the stonework and the new mortar.

The repointing of the affected stone joints is to be carried out using the following mortar specification. All repointing is to be carried out using a traditional 3:1 mix (sharp stone, coursed sand/diffing aggregates: 3.5 Natural Hydraulic lime). Mix will be applied throughout complete with stipple/brushed finish. Joint/mortar thickness to be well-proportioned.

All repointing is to take place at the top of the affected areas moving downwards to prevent any dripping water from washing out the new mortar. The new mortar is to be applied and compressed within the joint using a pointing key with a suitable width for the joint sizes. The entire joint must be filled with the new mortar until it is over filled. The new mortar should then be allowed to set before cutting back any excess mortar to create a slight recess between the stones. The surface of the joint is to receive a stippled finish by using a cham brush to stipple the surface of the joint.

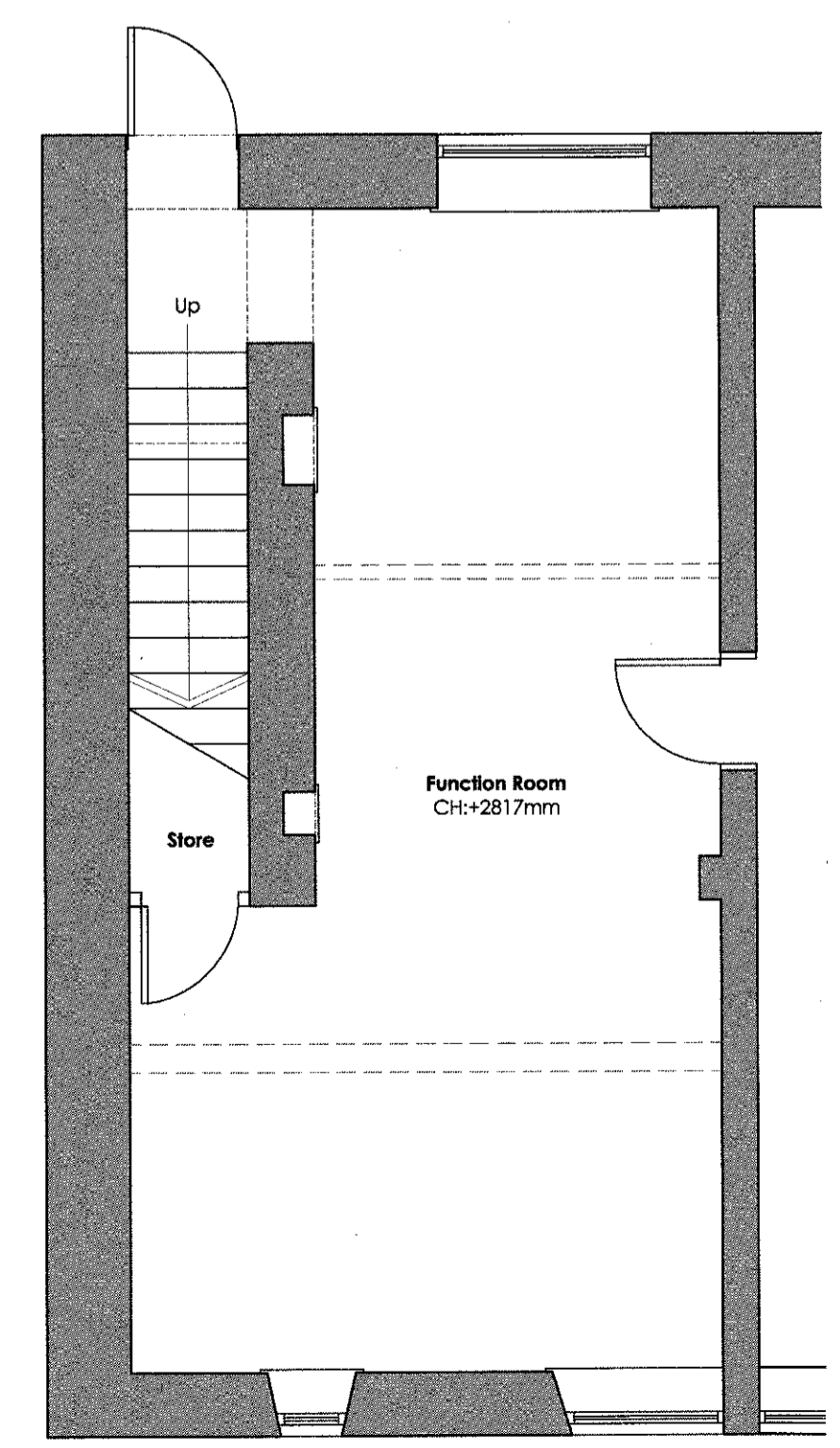
The curing of the completed repointing is to be managed to prevent it from drying too quickly. This is to be carried out by protecting the repointing with suitable sheeting and applying water using a hand or pump action spray to dampen the repointing and the surrounding stone to ensure that it does not cure too fast. This process should be carried out for a minimum period of one week after the repointing has occurred.



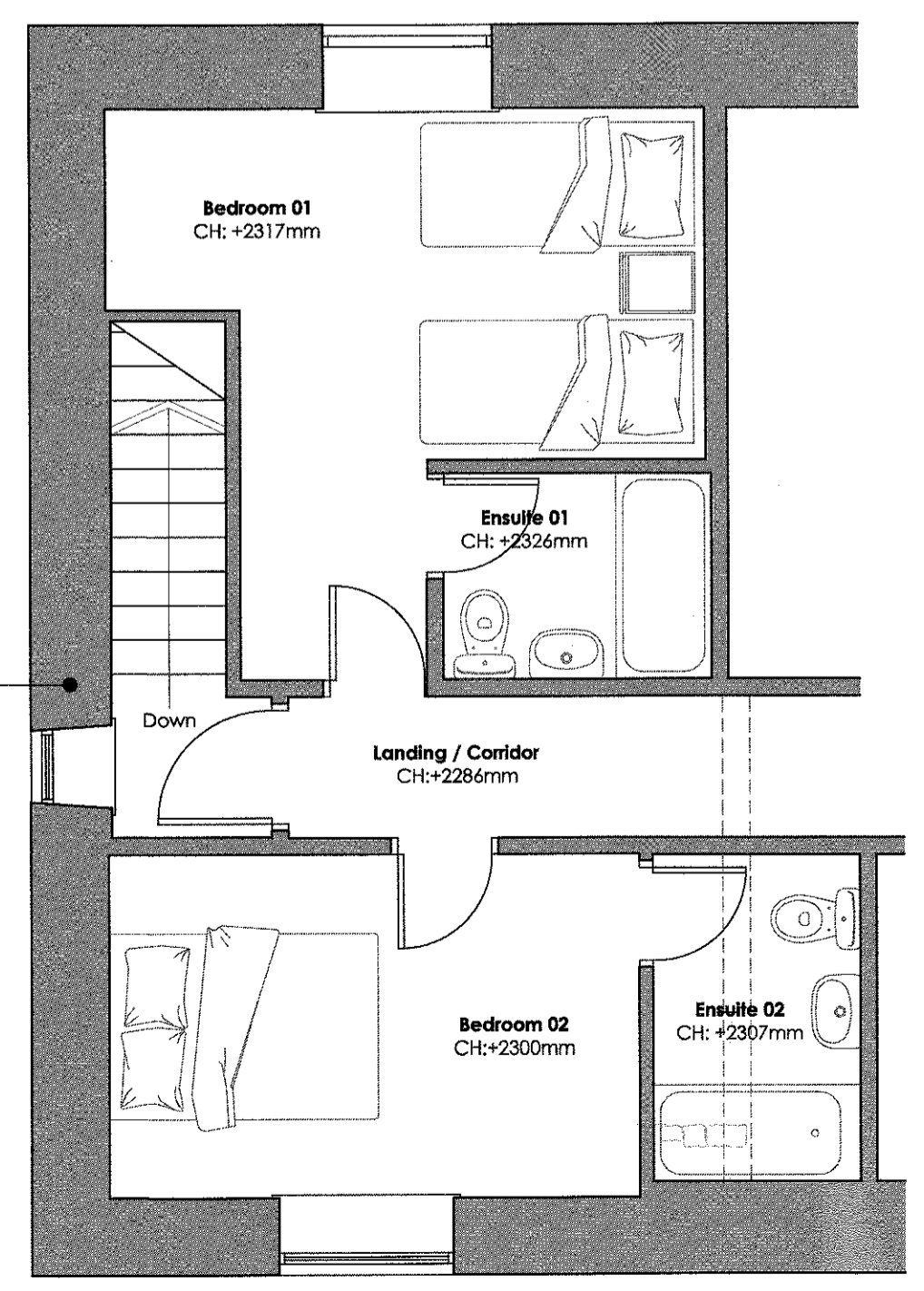
Existing South Facing Elevation
Scale 1:100



Existing North Facing Elevation
Scale 1:100



Existing Part Ground Floor Plan
Scale 1:50



Existing Part First Floor Plan
Scale 1:50



Existing West Facing Elevation
Scale 1:100

Approximate area / extent of localised rebuilding work - Approximately 30% of the wall has been recommended to be rebuilt at present. All to be carried out upon the commencement of further intrusive investigations into the condition of the wall and its construction.

Repointing works to take place throughout the remainder of the elevation. Only unsound areas of mortar are to be repointed.

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A MF - Revised in accordance with client comments 06/07/2016
no. by chg. revision date

Client
Slaiburn Estate

Job title
Proposed Structural Works To
Hark To Bounty
Townend
Slaiburn
Nr Clitheroe
Lancashire
BB7 3EP

Drawing title
Proposed Plans and Elevations

Scale	Date	Drawn
AS shown@A1	June 2016	MF

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