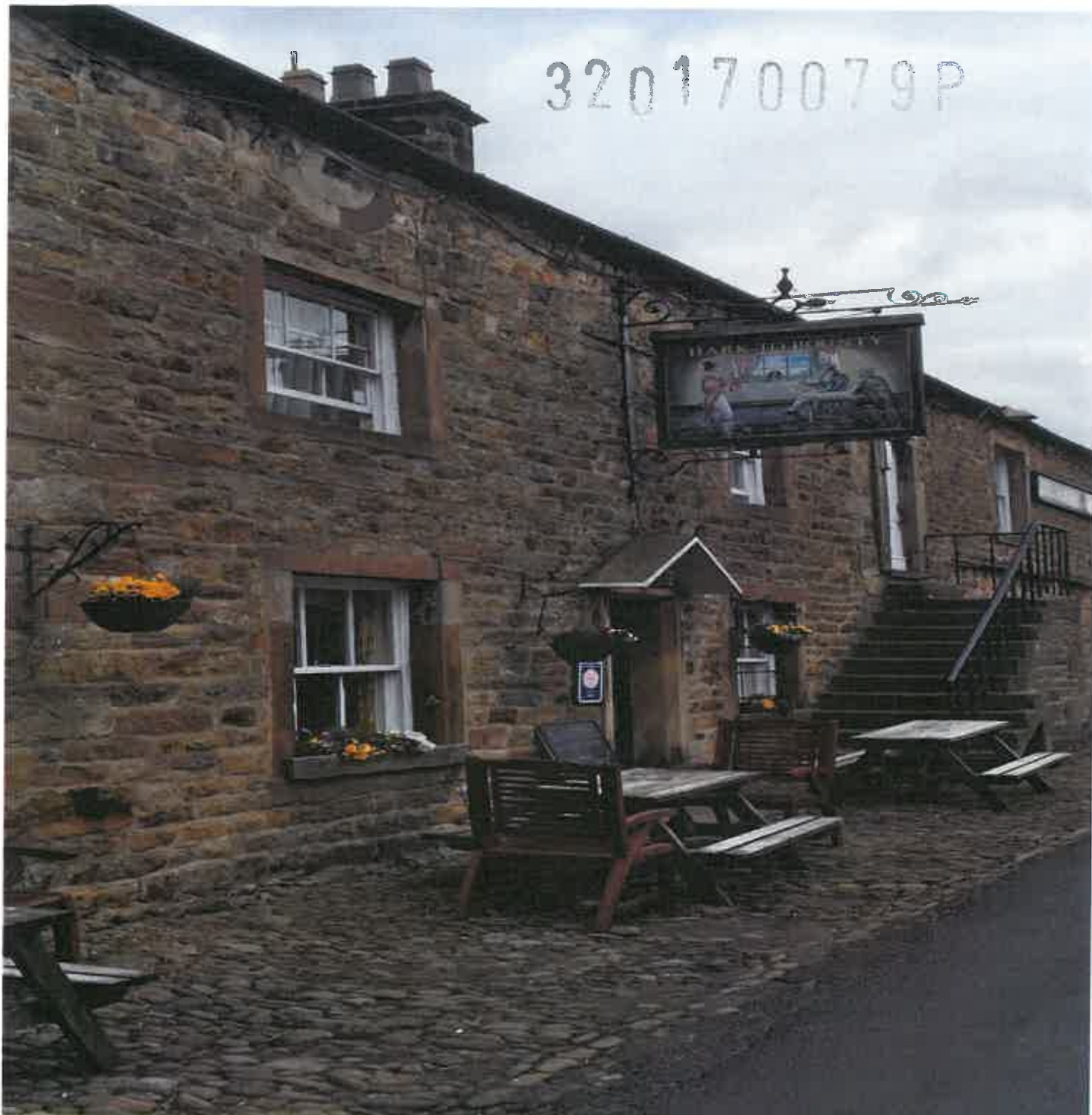


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HERITAGE STATEMENT

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SUNDERLAND PEACOCK ARCHITECTS
SURVEYORS

FOR PROPOSED STRUCTURAL WORKS TO
THE HARK TO BOUNTY INN, TOWN END, SLAIDBURN,
LANCASHIRE, BB7 3EP

REF: 5124 Version 1.03 Date July 2016

INTRODUCTION

This Heritage Statement has been prepared by Sunderland Peacock and Associated Ltd. It has been prepared on the behalf of the applicant, The Slaidburn Estate. It has been prepared as part of an application for listed building consent and planning approval which seeks permission to dismantle and rebuild an area of the west facing gable end of the building with associated repointing and internal works. The Hark to Bounty Inn is a Grade II listed building. It is located within the Slaidburn Village Conservation Area (CA) and the Forest of Bowland Area of Outstanding Natural Beauty (AONB)

The aim of this Heritage Statement is to assess any potential impact that the proposals may have on the designated heritage assets in order to ensure that its significance remains intact. It is produced in response to policies set out in Paragraph 128 of the National Planning Policy Framework, 2012 as it states;

"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including the contribution made by their setting. The level of detail should be proportionate to the assets importance and no more than is sufficient to understand the potential impact of the proposal on their significance."

This document is to be read in conjunction with all planning drawings and any further supporting documentation.

THE AUTHOR

Matthew Fish, the author, is an Associate Member of the Chartered Institute of Architectural Technologists (ACIAT) and also holds a Masters Degree in the field of Building Conservation and Regeneration.

SITE LOCATION

The Hark to Bounty Inn is located within the centre of the village of Slaidburn, Lancashire, in the administrative district of the Ribble Valley. Slaidburn is located approximately 11km to the north of the town of Clitheroe and 25km south east of the city of Lancaster. The site is located on the north side of 'Town End' within the centre of the village. The site can be accessed via the B6478 Church Street.



PL01 showing location of the Hark to Bounty Inn.

SITE DESCRIPTION

The site to which the building is located is fairly regular in shape with the building occupying the south east corner of the site. To the west of the site is a stone / gravel car park. To the north of the site is a grassed area that is used as an external seating area.

Croasdale Brook flanks the site to the north with the road flanking the site to the south. Residential buildings are located to the east and west. A large number of trees are also present to the north.

BUILDING DESCRIPTION

The Hark to Bounty is a building comprised of different sections which are of early 17th century and late 18th century origin. In terms of its plan form, it is of a rectangular shape that is orientated in an east to west direction. A rear annex is located just off centre, giving the plan a rough 'T' shape. Externally the inn is a traditional vernacular building meaning that it would have been constructed from locally sourced materials that were available at that time using traditional construction techniques. The inn is a two storey building constructed from stone with a timber roof structure comprised of trusses and purlins and a natural slate roof covering. The existing windows are a mixture of timber framed glazed sliding sash and casement windows with a white paint finish. The doors are also in timber.

#PHOTOGRAPHIC RECORD

To follow, are a number of photographs which highlight the external and internal appearance and features of the west side of the building.



PL02 (left) showing the front elevation of the west side of the building. PL03 (right) showing the rear elevation of the west side of the building.



PL04 and PL05 showing the west facing gable end of the building.



PL06 (left) showing the internal elevation of the west gable end at ground floor level. PL07 (right) showing the same but at the staircase location.



PL08 showing the west gable wall within the front guest room.

HISTORICAL BACKGROUND, DEVELOPMENT AND PHASING

The following is an extract from 'Lancashires Historic Pubs' (Thomas, 2010) which provides some historical background to The Hark to Bounty.

"The Hark to Bounty was known as The Dog until 1875; then it acquired its unusual name and reputation. At that date the village squire, who was also the parson..., made history. The Revd Henry Wigglesworth was Master of the Hunt, with a pack of hounds; one day out hunting he and his party called at the pub for refreshments. While they were drinking, their hounds outside were noisily demanding action. Loudest of all was the squire's favourite hound, which caused him to say 'Hark to Bounty'.

The hanging sign on the front of the pub illustrates the Hark to Bounty story; close to the sign are outside stone steps leading to an upper floor, a not unusual feature of a building dating from the thirteenth century. But in this case they were used for a most unusual purpose, as from about 1250 the upper floor was the courtroom of the Court of Bowland, an important centre for the administration of the justice of the areas. It was visited by travelling justices, being the only courtroom between York and Lancaster and was still in use up to 1937. Its records remain in the county archives at Preston and at Clitheroe Castle.

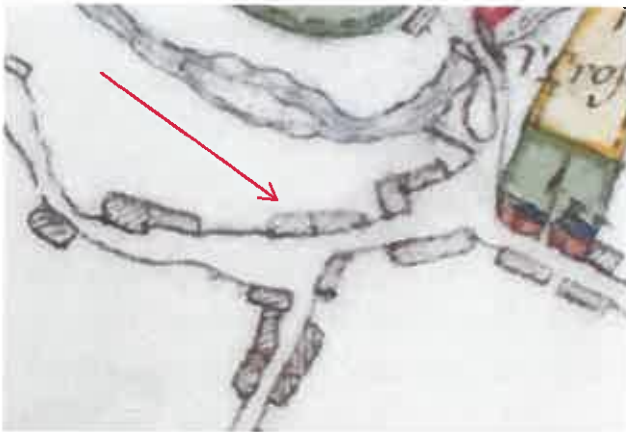
Remarkably, much of the courtroom furniture, such as the high-backed oak benches, the dock and witness box, have survived. The room is enormous and stretches over the three downstairs lounge areas and the restaurant which seats sixty diners. Up to 120 people can be accommodated for functions in the courtroom and there are nine bedrooms with private facilities."



PL09 showing The Hark to Bounty at some point from 1875 as the name of the building has clearly changed at this point in time.

The Hark to Bounty is also briefly described within "The Buildings of England: Yorkshire West Riding – Leeds, Bradford and the North" By Peter Leach and Nikolaus Pevsner (2009) and is as follows:

"At the junction of the streets the Hark to Bounty Inn, Mainly 19th century in appearance but incorporating some 17th century fabric, including three Tudor-arched doorways in the r. part of the front. Large first floor room, used for meetings of the court of the Forest of Bowland after the Moot Hall was demolished c. 1870, with a panelled partition at one end tenoned into a tie beam."



This particular map dates from 1765 and is taken from "A survey with maps of lands lying in several townships in the counties of York and Lancaster belonging to Edward Parker Esq. by P. R. Lang. 2 clear structures are located at the location of the Hark to Bounty within this Map and could be the middle and right hand sections of the existing building. However, due to the lack of detail to the map, this cannot be confirmed.

Map of 1776



The Slaidburn Tithe Map from 1838 shows the Hark to Bounty in a similar arrangement to that which exists today. The steps to the front of the building can also be clearly seen.

Tithe Map of 1838



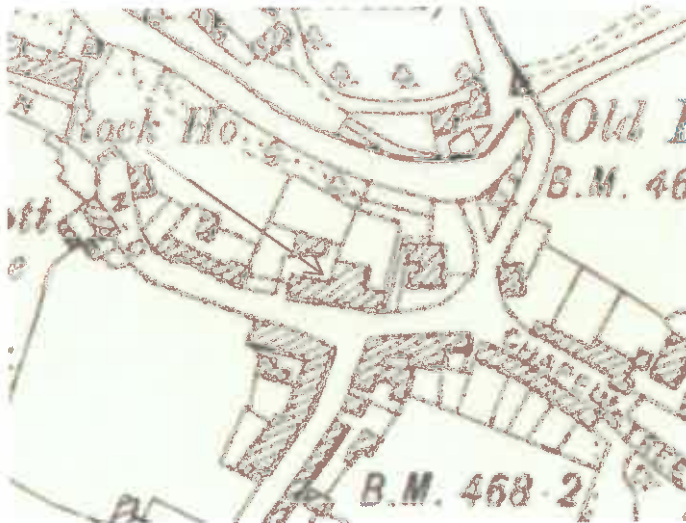
This particular OS map from 1847 shows the Hark to Bounty in a similar layout to that shown in the tithe map. The plan form is of a similar arrangement with the exceptions of some minor differences which are likely to be small annexes or extensions which are no longer in existence. As the map was created in 1847, it is likely to consist of all of the sections of the building which are in existence today.

OS Map 1847



OS Map 1892

The OS map from 1892 shows that the plan form of the building has changed slightly since the time of the previous map. This could have occurred as a result of the demolition of various sections of the building or that the building was simply drawn onto the map without acknowledging any other additions. However it is reminiscent of the plan form of the building that is currently in existence today.



OS Map 1907

The final map from 1907 shows a similar plan form to that of the previous map. It indicated that the plan form of the building does not appear to have altered since the previous map and is likely to be the same as that which exists today.



PL14 (left) showing the abutment between the 17th century building and the 18th century addition. This is identifiable through the difference in material finishes and the slight setting back of the 18th century addition. The quoin stones to the 17th century building indicate its original extent. PL15 (right) showing a clear division between the two different sections of the 17th century buildings and can be identified through the slightly different external finishes and the stonework which has been used to tie the two walls together (to the left of the first floor door).



PL16 (left) showing clear dichotomy in the stone work between the ground floor and first floor of the 17th century building. This would suggest that the first floor has been rebuilt. PL17 (right) showing quoin stones that are partially obscured by the stone steps. This would suggest that this was one the original extent of the building i.e. the gable, or a doorway was one located here prior to the construction of the steps.



PL16 showing the rear elevation of the west area of the building. The once existing entrance to the garage and possibly even the stables can clearly be identified through the area of infill to the right at ground floor level with the stone head / lintel located above.

HERITAGE ASSET DESIGNATIONS

The Hark to Bounty Inn is a Grade II listed building, the listing description for which is as follows:

Public house, probably early C17th and late C18th. Sandstone rubble with slate roof. The earliest part, to the right, has 3 chamfered doorways with Tudor-arched heads. Each has a chamfered window surround to its right, the left-hand one having its sill lowered. A continuous drip course terminates beyond the right-hand door. To the left is a 6-pane sash with plain stone surround. Further left is a flight of external stone steps, with a stepped mounting block attached. On the 1st floor is a door with plain stone surround and 5 windows with plain stone surrounds and 6-pane sashes. The right-hand gable has a blocked doorway (now a window) with chamfered surround and Tudor-arched head. On the 1st floor are the remains of a rebated and chamfered surround to a 6-pane sash. Above is a chamfered attic window. Adjoining to the left (west) is the C18th portion, of 2 storeys with attic. It is of 2 bays, having plain stone surrounds to the door and windows. The latter are 6-pane sashes, the ground-floor surrounds being heightened. The attic windows, now blocked, have shallow oval surrounds. At the far left are the former stables, now part of the public house. They have paired door surrounds, now containing 6-pane sashes, a small window to their left, a 6-pane sash in

plain stone surround to the right and 2 similar windows on the 1st floor. Interior: On the 1st floor at the east end is a large room open to the roof, having 4 trusses with ties, light collars and queen struts. At the east end, dividing it from a further room beyond, is a 5th truss of slightly steeper pitch, having a king post from tie to ridge and 2 braces from tie to principals. Beneath, with the muntins tenoned into the tie, is a wooden screen of vertical panels with deeply moulded borders.

The Hark to Bounty Inn is also located within the Slaidburn Conservation Area, from which its special interest is derived from the following;

- River Hodder and Croasdale Brook;
- Medieval unplanned, nucleated settlement;
- Historic layout and street pattern of Town End, Chapel Street and Church Street;
- Architectural and historic interest of the conservation area's buildings, including 39 listed buildings;
- Remarkable surviving historic appearance with almost complete absence of 20th century alterations and accretions;
- Prevalent use of local building stone and almost exclusive use of timber joinery for windows and doors;
- Rural setting of the village;
- Popular village green beside the River Hodder;
- Two particularly fine ensembles of historic buildings: St Andrew's Church, Brennand's School and Church Stile Farm in Church Street and The Hark to Bounty, King's Youth Hostel and Waterloo Building in the centre of the village;
- War Memorial, Chapel Street;
- Trees, both in the surrounding landscape and beside the road;
- Areas of historic floorscape;
- Local details such as wells, carriage entrances, stone steps and other reminders of the village's agricultural history;
- Remnants of former medieval corn mill and mill pond (Mill House) beside Croasdale Brook.

PLANNING HISTORY

The following consists of a number of past planning applications submitted with regards to the Hark to Bounty Inn, which have been determined from an online search of the Ribbles Valley Borough Council online planning application database as well as through a visit to the council offices.

- Application No: P / I / BO / 1709
Decision Date: 17/09/1971

Proposals: Proposed new lavatory accommodation with internal alterations and new windows.
Decision: Approved.

- Application No: P / I / BO / 1650
Decision Date: 21/09/1971
Proposals: Conversion into shop
Decision: Approved.
- Application No: 3/74/0921
Decision Date: 02/12/1974
Proposals: Proposed structural alterations and extension to provide additional dining room accommodation:
Decision: Approved.
- Application No: 3/75/1314
Decision Date: 13/02/1976
Proposals: Proposed internal alterations to form additional residential accommodation and 5no. new windows.
Decision: Approved.
- Application No: 3/77/0438
Decision Date: 26/05/1977
Proposals: Proposed fire escape.
Decision: Approved.
- Application No: 3/78/1153
Decision Date: 24/01/1979
Proposals: Proposed single storey extension for kitchen / preparation accommodation.
Decision: Approved.
- Application No: 3/82/0643
Decision Date: 03/01/1983
Proposals: Installation of bathrooms to bedrooms no.2 and no. 4.
Decision: Approved.
- Application No: 3/2001/0219
Decision Date: -
Proposals: Alterations to doorway between bar lounge and dining room

Decision: Approved with conditions.

- Application No: 3/2015/0638

Decision Date: -

Proposals: Selective trimming and pruning of cypress trees

Decision: Approved with conditions.

PROPOSED WORKS

The works which are proposed as part of this application consist of essential repairs to the west facing gable end of the building.

The current issues which are affecting this particular elevation consist of structural movement, particularly at first floor level. As identified within the structural engineers reports (refs: W/15/110/PGW/LAW and W/15/110/P2/PGW/LAW) the gable end wall is currently bowing / bulging outwards as a result of past structural movement. Works are required in order to stabilise the wall and prevent any future movement. Water ingress at first floor level is also an issue and repointing works are to be carried out as a result in order to prevent any future ingress.

At the present time, it is proposed that further intrusive investigations be carried out on the opening up of the wall in order to determine its exact condition. As per Structural Engineers report ref: W/15/110/P2/PGW/LAW dated 13th November 2015, it is suggested that the use of steel plates in order to tie the out leaf of stonework to the inner leaf would be uncertain as the plates would be restraining an element of potentially weak walling against a void and would not be considered as a suitable means of remediation. Therefore the rebuilding of the affected area is required. At present, approximately 30% of the gable end wall will be require rebuilding and is to be confirmed by the Structural Engineer; however this is expected to be the worst case.

The course of action and full extent of these works are highlighted on Sunderland Peacock and Associates Ltd Drawing 5214 – 03 and are to be carried out in accordance with the Structural Engineers Recommendations.

IMPACT OF THE PROPOSED WORKS

As already described, the use of steel ties and plates to tie the bowing area of walling back to the inner stonework is not considered feasible due to circumstances of the walls current condition and construction, as per the Structural Engineers recommendations. Therefore due to this, the more invasive method of rebuilding is the only option that can be implemented in order to restore

structural cohesion and unity to the west gable end of the building. However the impact will be lessened through using the existing stonework to rebuild the wall and ensuring that rebuilding is limited to the specific area where it is required in order to prevent any potential disturbance and harm to the remaining wall fabric that is to remain in situ.

HERITAGE VALUES

An assessment of the heritage values associated with the property will be carried out in order to determine its potential significance. It will assess if any of these heritage values and therefore the buildings significance could be affected by the works that are proposed as part of this application for listed buildings consent.

EVIDENTIAL VALUE

The English Heritage Document "Conservation Principles, Policies and Guidance" (2008) states that "Evidential value derives from the potential of a place to yield evidence about past human activity"

The evidential value of the building is relatively high for a number of reasons. The building is of a vernacular style meaning that it would have been constructed from locally sourced materials that were available at that time using traditional construction techniques. It is evidence of past construction techniques skills and trades which would have been used as part of its construction. The structural engineers report suggests that the west gable elevation is of double skin construction consisting of an outer and inner leaf of stone walling. This was a common construction practice at that time and is commonly seen within the area. It has further evidential value through its past use as an inn, a use which is continued to this day through the pub / restaurant which currently occupies the building. The inn is likely to have serviced travellers and traders who moved through Bowland, from village to village and further afield and provides a connection to these activities. This is further reinforced through its past use as a court. This is a usual use for this type of building, however, it is a use that is now no longer required and its courtroom is now redundant however, the original courtroom furniture is still in place within the court. The loss of this use and also due to past alterations has detracted from the buildings evidential value somewhat.

HISTORICAL VALUE

The English Heritage Document "Conservation Principles, Policies and Guidance" (2008) states that "Historical value derives from the ways in which past people, events and aspects of life can be connected through a place to the present"

The historical value of the property is mostly derived from its potential age and its past and current use as an inn and also its past use as a court. It is evidence of the requirements of the village and its occupants and also of the wider administrative body that would have operated within the forest of Bowland at that time in terms of the provision of justice and punishment for its lawbreakers.

The Hark to Bounty Inn is located in an area, both locally and in a wider context, that contains buildings of a similar use and also of a similar style and construction. These buildings are remnant of past times and provide a sense of place and history for the area and provide an understanding of what rural village life was like in the past.

No known and comprehensive details and connections to past people and events can currently be determined.

COMMUNAL VALUE

The English Heritage Document "Conservation Principles, Policies and Guidance" (2008) states that "Communal value derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory"

The inn has a high communal value just not for the local inhabitants of the village but also for visitors and tourists to the area. The Hark to Bounty is likely to serve as a popular local focal point for the village through its use as a restaurant and pub as is the case throughout many Lancashire villages.

AESTHETIC VALUE

The English Heritage Document "Conservation Principles, Policies and Guidance" (2008) states that "Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place"

The building is a vernacular building that is constructed from locally available materials and built to suit the needs and functions required of it from the occupants. Its appearance and form harmonises with that of the neighbouring buildings and other nearby buildings within the village.

Even though the building does contain features of architectural interest, both internal and external, its main aesthetic value is derived from its contribution to the village streetscape and the conservation area. It is also encapsulated within views along Town End and Church Street. It should be noted that even though it possesses few features of interest, its vernacular construction indicates that it is a building built for a practical purpose and not in a polite architectural style.

Past alterations and openings have affected the appearance of the building and may be considered to be unsightly and detract from the overall appearance of the building however these changes show the historical development of the building in relation to changes in demand and function.

STATEMENT OF SIGNIFICANCE

The Hark to Bounty Inn does contain some heritage values within its own right and makes an important contribution to the local setting and also the conservation area. It is these heritage values which ultimately determine the significance of the building which is the aim of this document.

The building is a good example of an 18th and 19th century building and is representative of the local vernacular style and contains some features of architectural interest. It is a Grade II listed building and is located within the Slaidburn Conservation Area. It is also recognised as a focal building by Ribbles Valley Borough Council.

The building does possess evidential, historic, communal and aesthetic value on a local and wider scale. The most significant of which may be considered to be the following;

- Evidence of 17th and 18th century construction.
- Historical uses as an inn and law court.
- Aesthetic contribution towards the conservation area and streetscape.
- Value given by the local community, visitors and tourists as well as being focal building, an identity which the building has so far managed to sustain.

In terms of overall significance, the significance of the building can be attributed to the above points and the works carried out as part of this application should be carried out so as to preserve and enhance this significance thus ensuring its survival by maintaining its current use which will be facilitated through the carrying out of these essential repairs.

