



**DE POL**

CHARTERED TOWN PLANNERS  
established 1986

**PLANNING STATEMENT**

**Countess Hey, Elmridge Lane  
Chipping**



## PLANNING STATEMENT

### Countess Hey, Elmridge Lane Chipping

**Site address:**

Countess Hey  
Elmridge Lane  
Chipping  
Lancashire

**Description of development:**

Residential conversion of vacant agricultural building, together with associated development.

**Client:**

Mr Gornall

**Date:**

February 2017



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**Appendix 1** : Copy of planning application 3/2016/0437



# Chapter 1

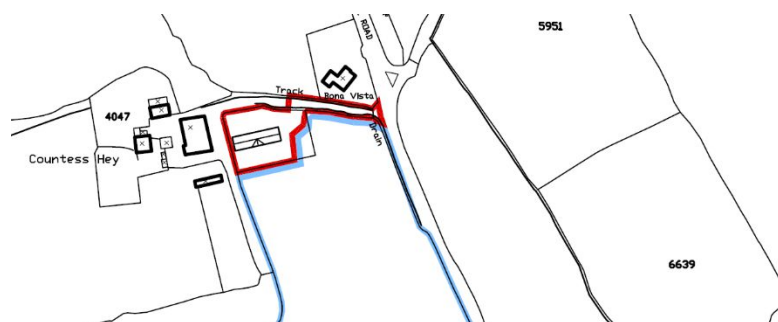
## Introduction

- 1.1. De Pol Associates Ltd are retained by Mr Gornall to pursue planning permission for the alteration to and conversion of a vacant agricultural building known as Countess Hey off Elmridge Lane, Chipping, into a single dwelling house. The application is a re-submission of a previous scheme which was refused in July 2016 (ref. 3/2016/0437).
  
- 1.2. This Planning Statement provides a description of the proposed development together with an appraisal of the planning merits of the scheme in the context of relevant planning policies / guidance. It should be read in conjunction with all accompanying drawings and technical reports, which includes:
  - Application Form
  - Location Plan
  - Proposed Site Plan
  - Existing Floor Plan and Elevations
  - Proposed Floor Plan and Elevations
  - Protected Species Survey
  - Structural Report
  
- 1.3. For reasons identified in this Statement it is considered that based on planning policy and material considerations the application proposals represent appropriate development and that full planning permission ought to be granted.

## Chapter 2

# Site Description and Planning History

- 2.1. The application site, which is known as Countess Hey, is sited to the west of Elmridge Lane, near Chipping. It extends to approximately 0.1 hectares (excluding the private driveway) and comprises a detached agricultural building and coarse unmanaged grassland.



- 2.2. The building is single storey and made up of three sections, comprising a central core and two identical sides. It is a blockwork building although some of the external walls are rendered. It has a pitched roof with a gable on the southern elevation and the roof covering comprises concrete roof tiles. There are window apertures and doors visible, together with two large openings to the front and rear elevations.



southern elevation

- 2.3. The site is accessed via a private drive which connects with Elmridge Lane to the east of the site. This private drive also serves the residential property to west of the application site, which comprises a former farmhouse and converted agricultural buildings. There is also an existing two storey dwelling built in the 1950s/60s sited to the north east of the site (Bonna Vista), although this is accessed directly off the main road rather than via the private drive.

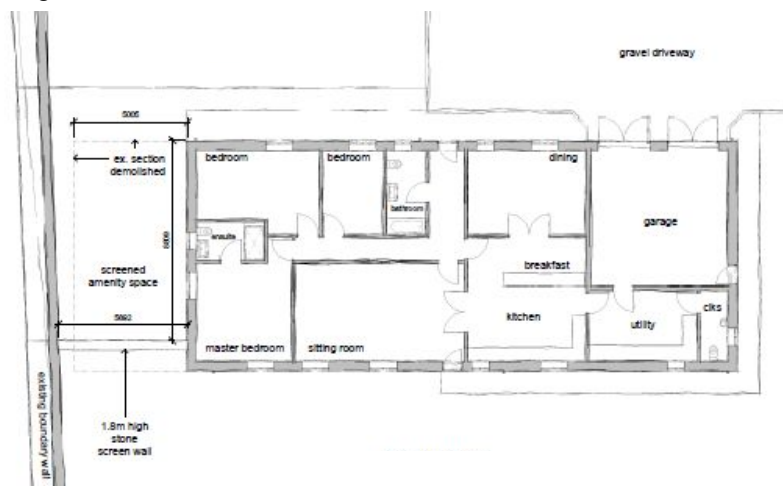


- 2.4. The site is bordered by hedgerows to the north, a boundary wall to the west and post and wire stockproof fencing to the southern and eastern boundaries. The site is sandwiched between the residential properties to the west and north east, with this wider development complex surrounded by countryside. However, there are further farm complexes and residential developments in the surrounding area.
  
- 2.5. The application site and a field to the south is owned by the applicant and was previously used in support of agricultural activity, although this use is now redundant and the application property has laid empty for a number of years.
  
- 2.6. A planning application was submitted by the owner in May 2016 (ref. 3/2016/0437) which sought planning permission to convert the existing building into a four bedroom dwelling. This application was refused under delegated powers in July 2016 and the scheme has been amended to address the Council's reasons for refusal. A copy of the previously submitted scheme and the Council's decision notice is attached at Appendix 1.

# Chapter 3

## Application Proposals

- 3.1. The application seeks full planning permission for the change of use of the existing building into a three bedroom bungalow with two bathrooms, two reception rooms, kitchen, utility area and integral double garage.



- 3.2. The proposal includes the demolition of approximately 5 metres of the western side of the existing building, where an external amenity area is to be created. This will be bounded to the south by a natural stone wall, which together with the existing boundary wall to the west will screen the amenity area. New openings will be created in the southern and northern elevations, which have been sensitively designed to reflect local characteristics with smaller random openings and natural stone heads & cills. The building will also be re-clad in reclaimed natural stone, whilst the existing gable in the roof to the southern elevation is to be removed and the roof replaced with natural blue/grey slates to match the adjacent converted farm buildings. There are no added porches or peripheral details, with the form of the building kept as simple as possible.
- 3.3. The domestic curtilage has been kept modest and the new access driveway will be finished with single size gravel material to ensure surface run off complies with SUDS requirements. Any collected surface water from roofs etc. will be drained by discharge into an appropriate soakaway. Foul drainage will be dealt with by independent sewage treatment plant (Klargester Biodisc or similar) installed in accordance with manufacturer's instructions.
- 3.4. The scheme proposes the planting of a hedgerow / indigenous landscaping along the southern boundary to provide additional screening.



## Chapter 4

# Planning Policy Context

- 4.1. Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires planning applications to be determined in accordance with the Development Plan unless material considerations indicate otherwise.
- 4.2. The Development Plan in this instance comprises the Ribble Valley Core Strategy 2008-2018, which was adopted in December 2014. The application site is located within the designated Area of Outstanding Natural Beauty (AONB).
- 4.3. A material policy consideration to be balanced against the Development Plan is the National Planning Policy Framework (NPPF). Published in March 2012 the NPPF sets out the Government's planning policies for England and must be given significant weight in the consideration of planning decisions.
- 4.4. The NPPF requires local planning authorities (LPA) to approach decision-taking in a positive way to encourage growth and it places a very clear presumption in favour of approving applications which comprise sustainable development. In this regard it specifically states:

*“Local planning authorities should approach decision-taking in a positive way to foster the delivery of sustainable development.” (para. 186)*

*“Local planning authorities should look for solutions rather than problems, and decision-takers at every level should seek to approve applications for sustainable development where possible.” (para 187)*

*“In assessing and determining development proposals, local planning authorities should apply the presumption in favour of sustainable development” (para 197)*
- 4.5. The Ministerial foreword to the NPPF also states that:

*“Development that is sustainable should go ahead, without delay – a presumption in favour of sustainable development that is the basis for every plan, and every decision. This framework sets out clearly what could make a proposed plan or development unsustainable”.*





## Chapter 5

# Planning Judgement

- 5.1 National Planning Policy Framework (NPPF) paragraph 55 confirms that new homes in isolated areas of the countryside are acceptable when the development comprises the re-use of redundant or disused buildings and would lead to an enhancement to the immediate setting. Furthermore, one of the identified appropriate forms of development within the Green Belt is the re-use of buildings provided they are of permanent and substantial construction (NPPF 90). Whilst the application site is not within the Green Belt this policy gives a clear indication of the Government's support for the positive re-use of existing buildings in the rural countryside.
- 5.2 This is further emphasised through the introduction of Part 3 Class Q of the Town and Country Planning (General Permitted Development) (England) Order. Class Q stipulates that that development comprising a change of use of a building and land from an agricultural building to a use falling within Class C3 (dwellinghouse), together with building operations reasonably necessary to convert the building, comprise permitted development.
- 5.3 The only reason why Class Q does not apply in this instance is due to the application building being sited within an Area of Outstanding Natural Beauty (AONB), where Class Q rights do not apply. However, this does not mean that the residential conversion of former agricultural buildings is unacceptable. It merely means that Government acknowledges that due to the additional sensitivity of AONB it is appropriate that such development is still required to secure planning permission.
- 5.4 There is no suggestion in NPPF 115 or 116, which specifically relate to AONB, that the residential conversion of existing agricultural buildings is unacceptable. The paragraphs do confirm that weight should be given to conserving landscape and scenic beauty within AONB and that planning permission should be refused for major developments in designated areas other than in exceptional circumstances. The residential conversion of an existing barn into a single dwelling cannot be considered major development and although the need to conserve the landscape and scenic beauty is an important factor when assessing the merits of an individual scheme, this does not suggest that the principle of NPPF paragraphs 55 and 90 do not apply. There is also no text or footnote to NPPF 55 and 90 suggesting that this policy does not apply to sites within AONB.
- 5.5 This is also reflected in the Council's adopted Development Plan. In particular Core Strategy policy DMG2 'Strategic Considerations' specifically states that where possible new development within the AONB should be accommodated through the re-use of existing



buildings. This is particularly relevant given that 75% of the Borough is designated as AONB and thus there is a clear position to secure the positive re-use of vacant buildings to reduce pressure for new build development. Moreover, Core Strategy policy DMH3 'Dwellings in the Open Countryside and AONB' specifically permits the conversion of buildings to dwellings within the AONB providing they are suitably located and their form and general design are in keeping with their surroundings; and the building is structurally sound and capable of conversion without the need for complete or substantial reconstruction.

5.6 Core Strategy policy DMH4 'The Conversion of Barns and Other Buildings to Dwellings' introduces the following additional criteria for the residential conversion of buildings, which appear to relate to any residential conversion irrespective of whether the site is within the AONB or not.

- The building is not isolated in the landscape, i.e. it is within a defined settlement or forms part of an already group of buildings, and
- There need be no unnecessary expenditure by public authorities and utilities on the provision of infrastructure, and
- There would be no materially damaging effect on the landscape qualities of the area or harm to nature conservations interests, and
- There would be no detrimental effect on the rural economy, and
- The proposals are consistent with the conservation of the natural beauty of the area, and
- That any existing nature conservation aspects of the existing structure are properly surveyed and where judged to be significant preserved or, if this is not possible, then any loss adequately mitigated.
- The building to converted must be structurally sound and capable of conversion for the proposed use without the need for extensive building or major alternation, which would adversely affect the character or appearance of the building;
- The building must be of a sufficient size to provide necessary living accommodation without the need for further extensions which would harm the character or appearance of the building.
- The character of the building and its materials are appropriate to its surroundings and the building and its materials are worthy of retention because of its intrinsic interest or potential or its contribution to its setting, and
- The building has a genuine history of use for agriculture or another rural enterprise.

5.7 There are other Core Strategy policies / key statements which relate to general development, including:



- Key Statement EN2 'Landscape' states that the landscape and character of those areas that contribute to the setting and character of the Forest of Bowland AONB will be protected and conserved and wherever possible enhanced. It states that as a principle the Council will expect development to be in keeping with the character of the landscape, reflecting local distinctiveness, vernacular style, scale, style, features and building materials.
- Policy DMG1 'General Considerations' identifies a number of considerations for all development, such as schemes being of a high standard of design; being sympathetic to existing and proposed land uses in terms of scale, massing, style, features and building materials; consideration given to impact on landscape character; potential traffic, car parking implications and safe access; the amenities and privacy of the surrounding area; biodiversity; and infrastructure.
- Policy DMG2 'Strategic Considerations' states that within the AONB the most important consideration will be the protection, conservation and enhancement of the landscape and character of the area, avoiding where possible habitat fragmentation. It states that where possible new development should be accommodated through the re-use of existing buildings, which in most cases is more appropriate than new build. It requires development to be in keeping with the character of the landscape and acknowledge the special qualities of the AONB, by virtue of its size, design, use of material, landscaping and siting.
- Policy DMG3 'Transport and Mobility' refers to the relationship of the site to the primary route network and the strategic road network; the provision of access by pedestrian, cyclists and those with reduced mobility; providing adequate car parking and servicing space within all development.
- Policy DME2 'Landscape and Townscape Protection' seeks to avoid significant harm to important landscapes or landscape features including woodlands, copses, hedgerows and individual trees
- Policy DME3 'Site and Species Protection and Conservation' seeks to avoid impact on wildlife species protected by law, priority habitats or species identified in the Lancashire biodiversity action plan.
- Policy DME6 'Water Management' states that development will not be permitted where it would be at an unacceptable risk of flooding or exacerbate flooding elsewhere.

5.8 The previous application to convert the subject building (ref. 3/2016/0437) was considered against the above Development Plan policy and was refused on the two following two specific grounds:



- i. The proposal was considered contrary to Core Strategy Policy DMH4 insofar as the existing building was not considered worthy of retention by virtue of its intrinsic interest, potential or contribution to its setting; and
- ii. The proposal was considered contrary to Key Statement EN2 and policies DMG1, DMG2 and DMH4, by virtue of its design, materials and external appearance failing to protect, enhance or conserve the character of the AONB Landscape or character of the area. The decision notice refers to the approval of the development resulting in the introduction an incongruous, discordant and unsympathetic form of development that would be of significant detriment to the visual amenities and character of the area, by virtue of its failure to reflect local distinctiveness, vernacular style, or features.

5.9 It is evident from the decision notice that with exception to the above two matters the Council accepted that the previous proposal was in general conformity with policy DMH3 and the other elements of DMH4. Furthermore, other than the two reasons for refusal the scheme was in general compliance with the Development Plan in other respects. This includes issues relating to access/highway impact, biodiversity, flood risk, preserving the amenities and privacy of neighbouring uses, car parking, infrastructure, impact on trees and hedgerows etc. There has been no change in circumstances since this previous decision to suggest that this is no longer the case and thus the key issues for consideration with this amended scheme are the two previous reasons for refusal. The remainder of this Statement therefore focusses on these two matters.

#### **Whether the building is worthy of retention**

- 5.10 The Council's first reason for refusing the previous scheme was that the proposal was considered contrary to the criterion in DMH4 which requires the existing building and its materials to be worthy of retention, by virtue of its intrinsic interest, potential or contribution to its setting.
- 5.11 This is not reflected in NPPF 55, which is more flexible in so far as it does not require the existing building to be worthy of retention but rather that the proposal would bring an enhancement to the immediate setting. The introduction of Class Q of the GPDO also demonstrates the Government's intention to be supportive of the residential conversion of agricultural buildings in the countryside. Given that policy DMH4 relates to any residential barn conversion, irrespective of whether it is sited within or outside an AONB, it is therefore more restrictive than National policy.



- 5.12 It is acknowledged that the Core Strategy was adopted post NPPF, however, the Core Strategy was prepared prior to the adoption of the NPPF and there is no indication in the Local Plan Inspector's recommendations report that this element of the policy was given consideration. Moreover, just because the Core Strategy was found to be in general compliance with the NPPF does not mean that the NPPF ceases to have any weight. Similarly, conflict with a policy of the Development Plan does not mean that permission ought to be refused, as the Plan needs to be considered as a whole and material considerations also need to be taken into account.
- 5.13 Ultimately just because the Council does not consider the existing building to be worthy of retention does not mean that a residential conversion should automatically be refused. If, on balance, the proposal would not have a material detrimental impact on the AONB, complies with other related policy requirements and would lead to an enhancement to the immediate setting, there is no conceivable reason to refuse permission solely because the existing building is not deemed worthy of retention. An enhancement to the immediate setting would be a material consideration which outweighs this element of policy DMH4. This is particularly the case considering the policy exceeds the requirements in National policy. Development Plan policy such as DMG2 'Strategic Considerations' also clearly seeks to support new development being accommodated through the re-use of existing buildings.
- 5.14 The remainder of this statement therefore focuses on whether the proposal would have a detrimental impact on the AONB and if it would lead to an enhancement to the immediate setting. In so doing it also addresses the Council's second reason for refusing the previous application and takes account of:
- Whether the design, materials and external appearance of the proposed building reflects local distinctiveness, vernacular style, and features.
  - Whether the proposals would adversely affect the character of the AONB Landscape or character of the area.
  - Whether there would be an enhancement to the immediate setting;

### **Design, Materials and External Appearance**

- 5.15 The fact that the previous application was refused due to the existing building not being worthy of retention indicates that the Council do not consider the existing building to have any intrinsic interest or have any contribution to its setting. The Council's most recent pre-application feedback dated 21<sup>st</sup> December 2016 refers to the existing building as a concrete blockwork building which has no visual merit or traditional features to warrant retention.

5.16 The proposed conversion therefore includes amendments to the character and appearance of the existing building to better reflect local distinctiveness, vernacular style, scale, style, features and building materials. This includes:

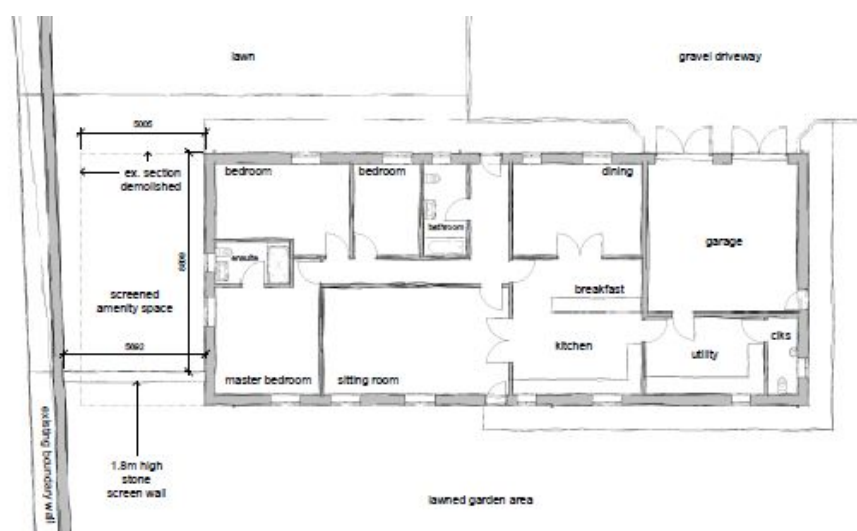
- Cladding the building with reclaimed natural stone common to the local area, together with replacing the roof material with natural blue/grey slates to match the adjacent converted farm buildings. New window and door opening will comprise natural stone heads and cills.
- Removing the existing gable to the southern elevation, creating a simpler roof shape reflective of the neighbouring converted farm buildings.
- New window and door openings being of a size and style akin to typical barn conversions in the area, which includes keeping openings reasonably small and random in size and location.
- The building's simplistic rectangular shape is retained although its size and mass would be reduced, which is expanded upon later in this Statement.

5.17 The appearance of the current building will therefore be amended in a manner where its materials and roof shape reflect local distinctiveness, vernacular style and features. Moreover, it would have the appearance of being part of the adjacent converted farmstead. In this regard it also differs significantly to the previous application.



### Character of the AONB Landscape and Locality

- 5.18 Core Strategy policies DMH3 and DMH4 give some indication of the issues to be considered when assessing whether a barn conversion would have a detrimental impact.
- 5.19 They refer to buildings not being isolated in the landscape, but instead forming part of an existing group of buildings. This is the case in this instance as the application site is a relatively modest plot sandwiched between a group of converted former agricultural buildings to the west and a two storey detached dwelling to the east. Given the Council's view on the appearance of the current building, the relationship of the plot with this neighbouring development and the screening afforded by existing trees, the site is not important in terms of its current contribution towards the setting and character of the AONB.
- 5.20 The policies refer to buildings being structurally sound and capable of conversion without the need for extensive building or major alternation which would adversely affect the character or appearance of the building. It was previously accepted that the existing building is structurally sound. Furthermore, and as previously highlighted, the proposed alterations to the building would be more in keeping with the local distinctiveness, vernacular style and features of the AONB and the immediate locality in terms of materials and roof shape etc. The conversion would have the appearance of being part of the adjacent converted farmstead.
- 5.21 The policies refer to buildings being of a sufficient size to provide necessary living accommodation without the need for further extensions which would harm the character or appearance of the building. The submitted plans demonstrate that the building is sufficient in size to accommodate a three bedroom bungalow with two bathrooms, two reception rooms and kitchen, together with integral double garage and utility area. Moreover, the proposed conversion would reduce the size and mass of the existing building by:
- Demolishing just over 5 metres of the western end of the building; and
  - Removing the gable on the southern elevation







- 5.22 The above alterations would reduce the overall footprint of the existing building by 61m<sup>2</sup> (approximately 21% reduction) and its volume by 221m<sup>3</sup> (approximately 20% reduction). This represents an improvement to the AONB and locality by reducing the amount of built development on the site.
- 5.23 Whilst the residential conversion will result in some domestication of the site, this is the case with any residential conversion and as already highlighted residential barn conversions are acceptable in principle within AONB. The proposal has also been sensitively designed to limit this impact by:
- Keeping the residential curtilage to a minimum;
  - Providing integral double garaging within the existing building to avoid pressure for detached garages and sheds;
  - Creation of a well screened external amenity space to the west of the building, which will be screened by a stone brick wall to the west and south, the existing building to the east and existing landscaping to the north;
  - Keeping openings to a minimum and of a size and style which is common for barn conversions of this nature.
- 5.24 In addition to the above additional screening can also be provided by replacing the current post and rail fence along the southern boundary with indigenous hedgerow / landscaping. This will further screen views of both the existing building and neighbouring development from local vantage points along Elmridge Lane to the south east. This is in addition to existing screening afforded by the adjacent development to the west and north east, together with the extensive tree planting to the north and east.
- 5.25 Ultimately views of the site are largely screened by the existing neighbouring development and landscaping. Those views which do exist show the existing building in the context of the adjacent built development. The impact on the character of the AONB landscape resulting from the conversion would therefore be limited, particularly given the additional landscaping offered as part of this application.
- 5.26 Taking the above factors into account the proposal would not have a material detrimental impact on the AONB character or the character of the local area. It is acknowledged that Core Strategy policy DMH4 refers to buildings being worthy of retention, but for reasons already explained it is considered that if the scheme would lead to an enhancement to the immediate setting then this would outweigh this policy requirement. This is addressed below.





### **Enhancement to immediate setting**

5.27 It is acknowledged that the proposal would bring some domestication of the site. This is not in itself automatically unacceptable otherwise no residential conversions would be considered appropriate in the AONB, which is clearly not the policy position. As already highlighted the proposed conversion has been sensitively designed to limit this impact, which is further reduced by the existing screening provided by adjacent development and existing landscaping. Consequently the detrimental impact on the AONB and character of the locality as a result of the proposed residential conversion would be minimal. Moreover, balanced against this are the following benefits to the AONB and locality:

- Reduction in the scale and mass of the existing built development on site, where the existing footprint would be reduced by 21% and the volume by 20%;
- Alterations to the appearance of the existing building, which the Council consider to have no visual merit or traditional features, to make it more in keeping with the locality in terms of materials and roof shape etc.;
- Providing indigenous planting along site boundaries which would provide further screening of the existing development from localised vantage points.
- Securing a positive reuse of a vacant building which could otherwise fall into dilapidation. This is in the context of a strategic Development Plan policy which seeks to focus development through the reuse of existing buildings to limit the need for new build.

5.28 On balance it is considered that the proposals would lead to an enhancement to the locality in line with NPPF 55.

### **Conclusion**

5.29 There is a clear steer in National planning policy to support the residential conversion of disused agricultural buildings in the rural area when they would lead to an enhancement to the immediate setting. The fact that the subject site is located within an AONB does not undermine this. The Council's adopted Core Strategy also confirms that the residential conversion of agricultural buildings is acceptable in the AONB subject to compliance with certain criteria.

5.30 Whilst one of these criteria is that the existing building is worthy of retention because of its intrinsic interest and contribution to its setting, this policy requirement must be balanced against material considerations. If on balance a scheme would comply with other related policy requirements, would not have a material detrimental impact on the AONB and would lead to an enhancement to the immediate setting, then there is no conceivable reason to refuse permission solely because the building may not be considered worthy of retention. An



enhancement to the immediate setting would be a material consideration which outweighs this element of policy.

5.31 In this instance the impact on the AONB would be minimal bearing in mind that:

- The site does not currently contribute to the character of the ANOB given that it comprises an existing building sandwiched between adjacent built development which is already in residential use and is well screened by existing landscaping.
- The proposal would not involve extensions to the existing building and would in fact reduce the amount of built development on site.
- The residential curtilage is kept to a minimum and the proposal would create a well screened external amenity space to the west of the building to further limit the impact in terms of domestication.
- The provision of an integral double garage within the existing building avoids pressure for detached garages and sheds.
- Openings are kept to a minimum and of a size and style which is common for barn conversions of this nature.

5.32 The proposals would also secure a number of benefits in terms of:

- Reducing the scale and mass of the existing built development on site, where the existing footprint would be reduced by 21% and the volume by 20%;
- Altering the appearance of the existing building, which the Council consider to have no visual merit or traditional features, to make it more in keeping with the locality in terms of materials and roof shape etc.;
- Providing indigenous planting along site boundaries which would provide further screening of the existing development from localised vantage points.
- Securing a positive reuse of a vacant building which could otherwise fall into dilapidation. This is in the context of a strategic Development Plan policy which seeks to focus development through the reuse of existing buildings to limit the need for new build.



- 5.33 It is therefore considered that the proposal would not have a detrimental impact on the AONB and would on balance enhance the immediate setting. The proposal also complies with other relevant development plan policies relating to matters such as access, biodiversity, flood risk, preserving the amenities and privacy of neighbours, car parking, infrastructure, impact on trees and hedgerows etc. This was confirmed when the previous application was considered.
- 5.34 Taking all matters into account the proposals represent appropriate development which ought to be supported, irrespective of whether the existing building is deemed worthy of retention.



## **Appendix 1**

Copy of previous planning application

RIBBLE VALLEY BOROUGH COUNCIL

Development Department

Council Offices, Church Walk, Clitheroe, Lancashire, BB7 2RA

Telephone: 01200 425111

Fax: 01200 414488

Planning Fax: 01200 414487

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Town and Country Planning Act 1990

REFUSAL OF PLANNING PERMISSION

**APPLICATION NO:** 3/2016/0437

**DECISION DATE:** 12 July 2016

**DATE RECEIVED:** 17/05/2016

**APPLICANT:**

Mr Hugh Gornall  
Crannifer Cottage  
Garstang Road  
Chipping  
Preston  
PR3 2QH

**AGENT:**

MCK Associates  
Burnaby Villa  
48 Watling Street Road  
Fulwood  
Preston  
PR2 8BP

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**DEVELOPMENT PROPOSED:** Change of use from former agricultural building to one dwelling

**AT:** Countess Hey Elmridge Lane Chipping PR3 2NY

Ribble Valley Borough Council hereby give notice in pursuance of the provisions of the Town and Country Planning Act 1990 that permission **has been refused** for the carrying out of the above development for the following reason(s):

- 1 The proposal is considered contrary to DMH4 of the Ribble Valley Core Strategy insofar that it is not considered that the building and its materials are worthy of retention by virtue of their intrinsic interest, potential or contribution to their setting.
- 2 The proposal is considered to be in direct conflict with Key Statement EN2 and Policies DMG1, DMG2 and DMH4 of the Ribble Valley Core Strategy by virtue of its design, materials and external appearance, which fail to protect, enhance or conserve the character of the AONB Landscape or character of the area. It is further considered that approval of the development would result in the introduction an incongruous, discordant and unsympathetic form of development that would be of significant detriment to the visual amenities and character of the area by virtue of its failure to reflect local distinctiveness, vernacular style, or features.

**Note(s)**

- 1 For rights of appeal in respect of any reason(s) attached to the decision see the attached notes. P.T.O.

**RIBBLE VALLEY BOROUGH COUNCIL  
REFUSAL OF PLANNING PERMISSION CONTINUED**

**APPLICATION NO: 3/2016/0437**

**DECISION DATE: 12 July 2016**

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- 2        The Local Planning Authority operates a pre-planning application advice service which applicants are encouraged to use. The proposal does not comprise sustainable development and there were no amendments to the scheme, or conditions that could reasonably have been imposed, which could have made the development acceptable and it was therefore not possible to approve the application.

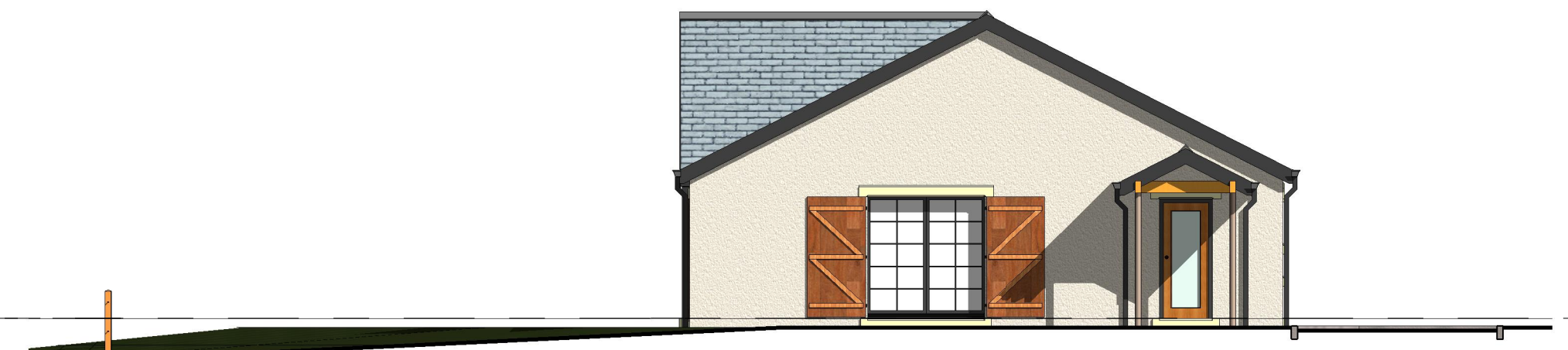
**JOHN HEAP  
DIRECTOR OF COMMUNITY SERVICES**



general notes:  
do not scale the drawing.  
all dimensions to be checked on site prior to commencement of work and any discrepancy shall be immediately reported and resolved prior to work commencing. this drawing is to be read in conjunction with all relevant drawings and specifications relating to the job whether or not indicated on the drawing. copyright reserved to mck associates ltd. and this drawing may not be used or reproduced without prior written consent.



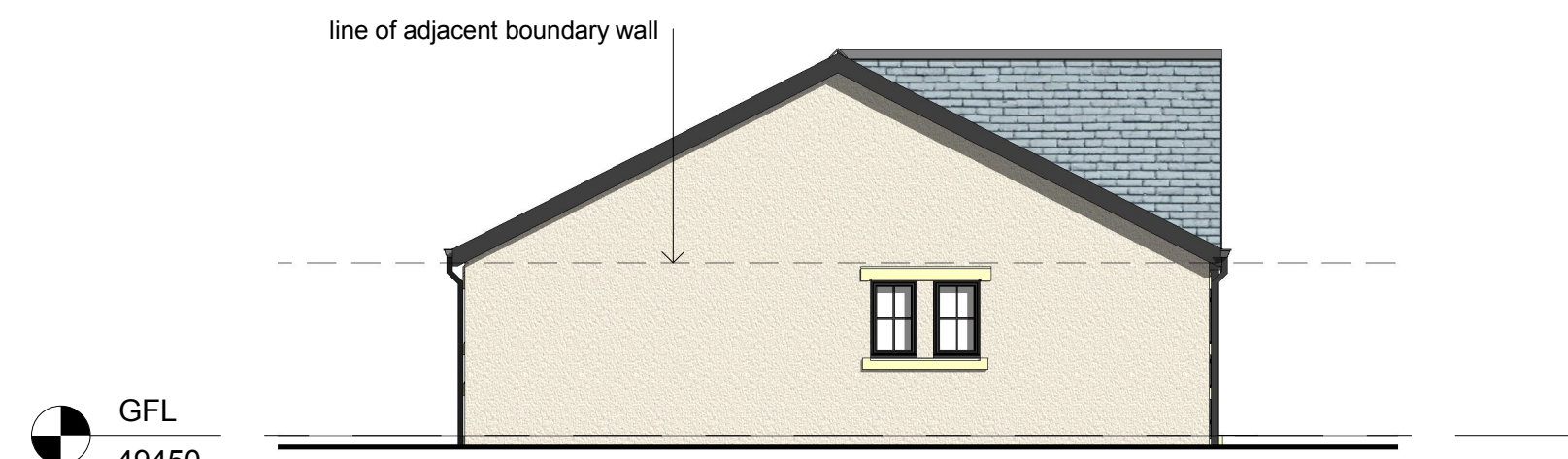
south elevation



east elevation



north elevation



west elevation

**Materials Specification**

Roof - recently re-covered in grey 'slate-look' roof tiles with matching ridges. Inspect roof for damage and repair as necessary.

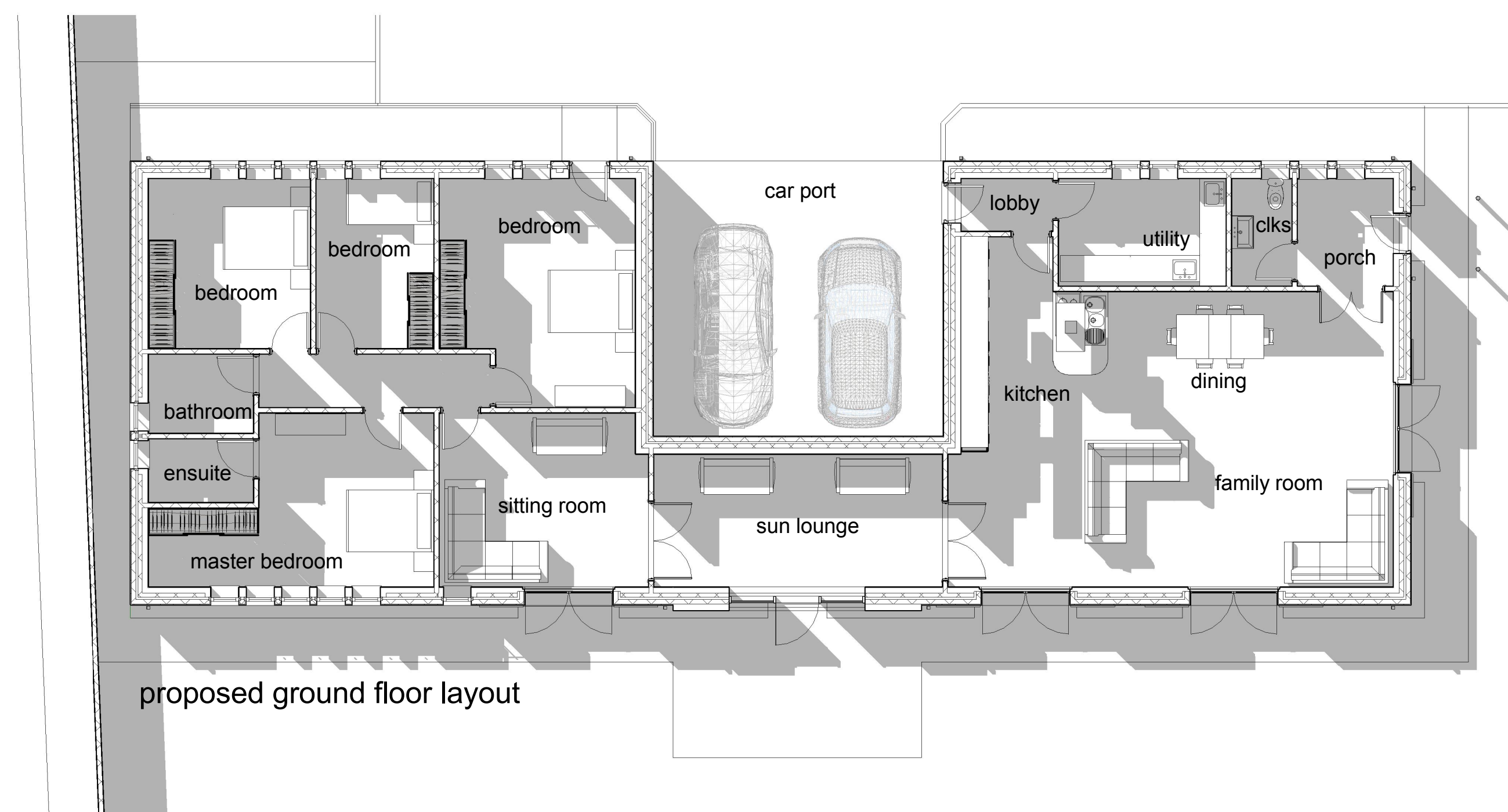
Walls - Central south facing gable to be re-clad with vernacular sandstone facings with matching quoins.

Heads and cills to be have natural stone features, and remaining walls to be finished with rough-cast self-coloured render.

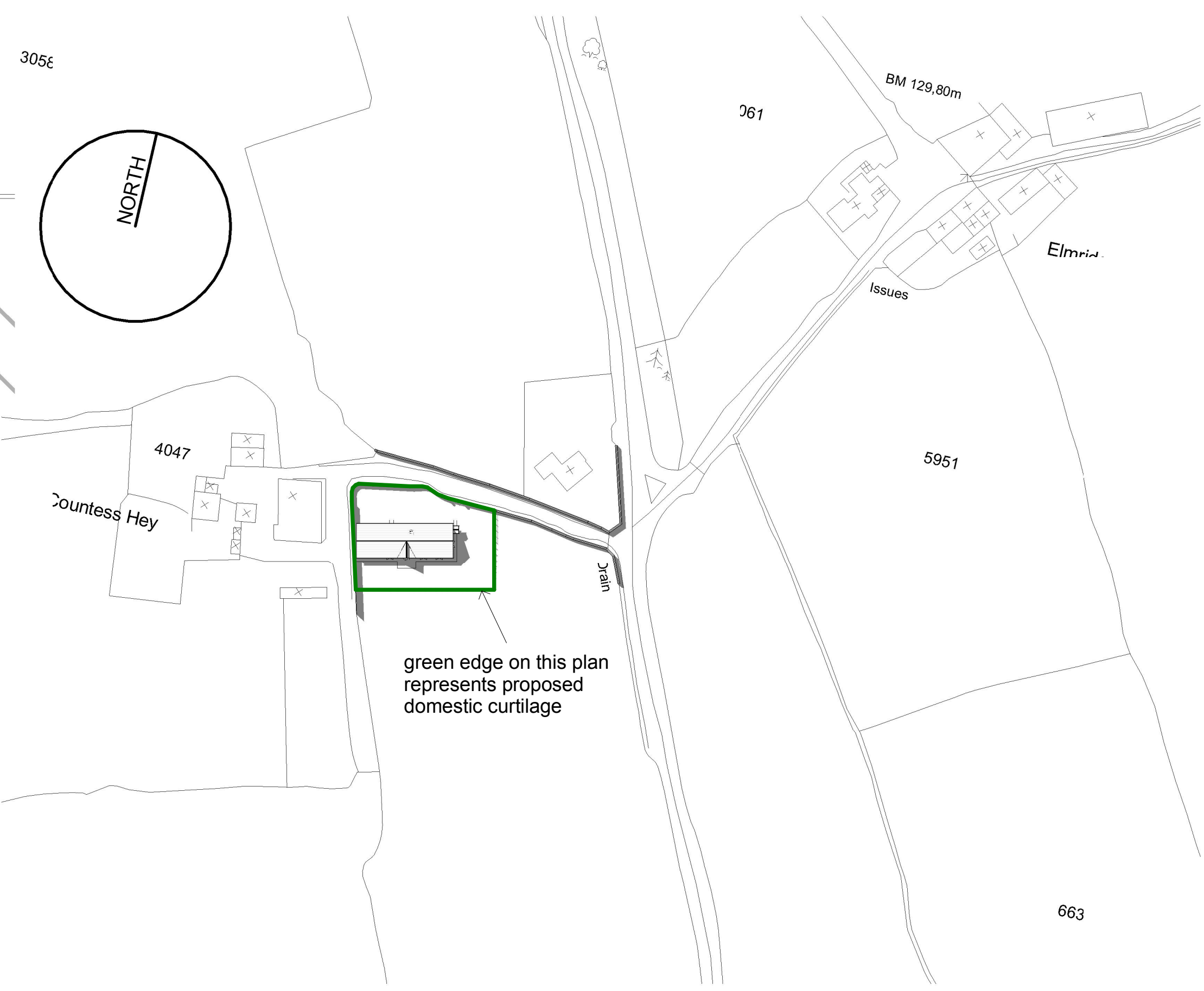
Door and window frames to be grey coloured, either painted softwood or powder coated aluminium.

Fascias, soffits etc. to be grey coloured pvc, with black rainwater goods generally.

NOTE - LEVELS INDICATED ARE BASED ON A LOCAL GRID, NOT ORDNANCE SURVEY LEVELS



proposed ground floor layout



location plan - 1:1250

Rev.	Date	By	Description

Client:  
**Mr. H. Gornall**

**mck associates limited**  
architecture | building surveying | urban design  
burnaby villa ■ 48 waiting street road ■ fulwood ■ preston ■ pr2 8bp  
tel: 01772 774510 fax: 01772 774511 email: mck@mckassociates.co.uk

Project:  
**Proposed Barn Conversion to dwelling  
Countess Hey Barn, Loud Bridge Road,  
Thornley, Chipping**

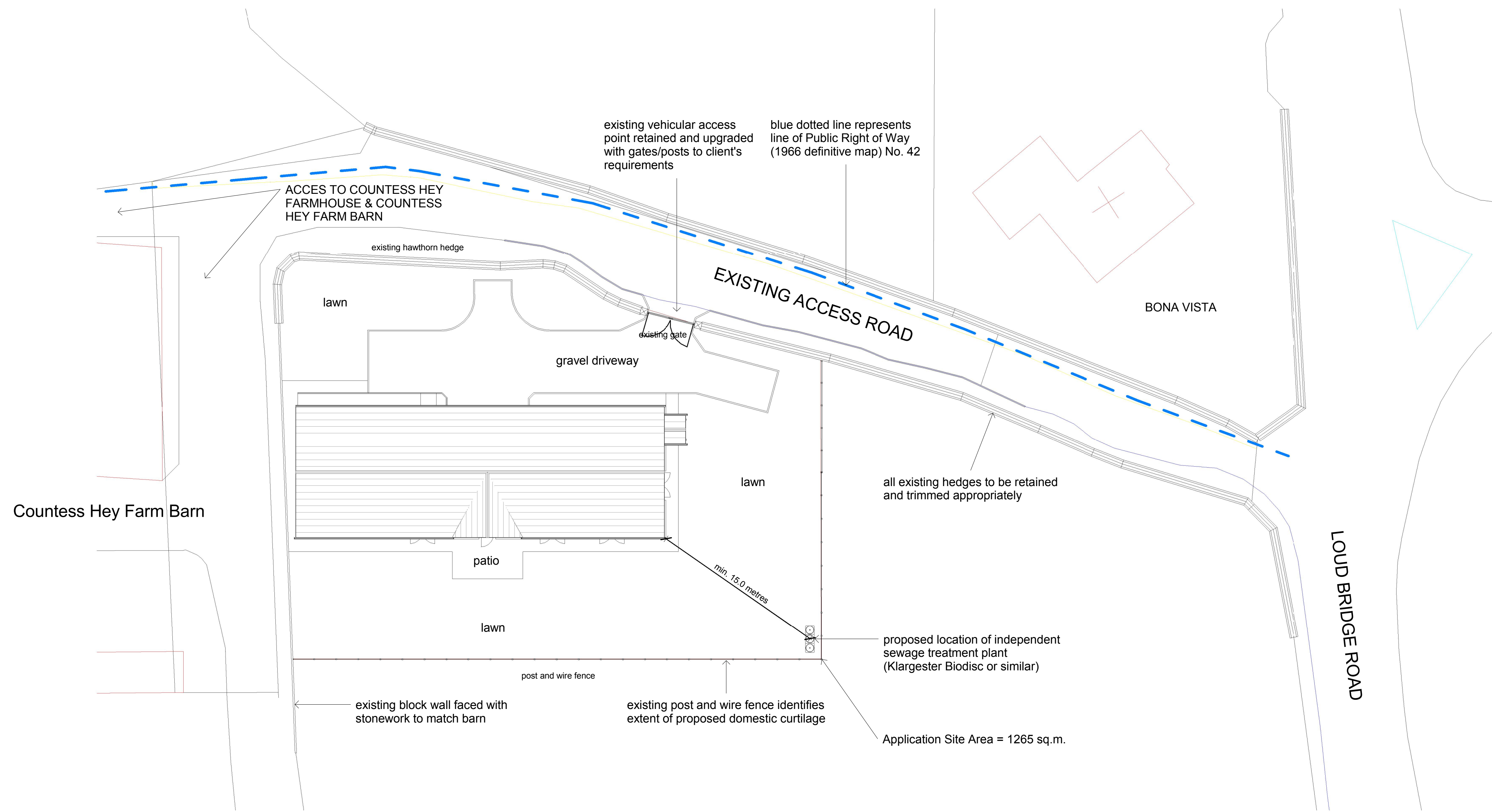
Drawing Title:  
**Proposed Conversion to Dwelling**

Drawn	Checked	Scale	Date
PS		1:100 (A1)	March 2016
Job No:	Drawing No:	Rev:	
16-023	2000	A	

A1 PLANNING



general notes:  
 do not scale the drawing.  
 all dimensions to be checked on site prior to commencement of work and any discrepancy shall be immediately reported and resolved prior to work commencing. this drawing is to be read in conjunction with all relevant drawings and specifications relating to the job whether or not indicated on the drawing. copyright reserved to mck associates ltd. and this drawing may not be used or reproduced without prior written consent.



Rev.	Date	By	Description

Client:  
**Mr. H. Gornall**

**mck associates limited**  
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Project:  
**Proposed Barn Conversion to dwelling**  
 Countess Hey Barn, Loud Bridge Road,  
 Thornley, Chipping

Drawing Title:  
**Site Layout as Proposed**

Drawn:	Checked:	Scale:	1:200 (A1)	Date:	March 2016
PS					
Job No:	16-023	Drawing No:	2001	Rev:	

A1 PLANNING