

1No. LED externally illuminated fascia sign to be installed - subject to separate application.

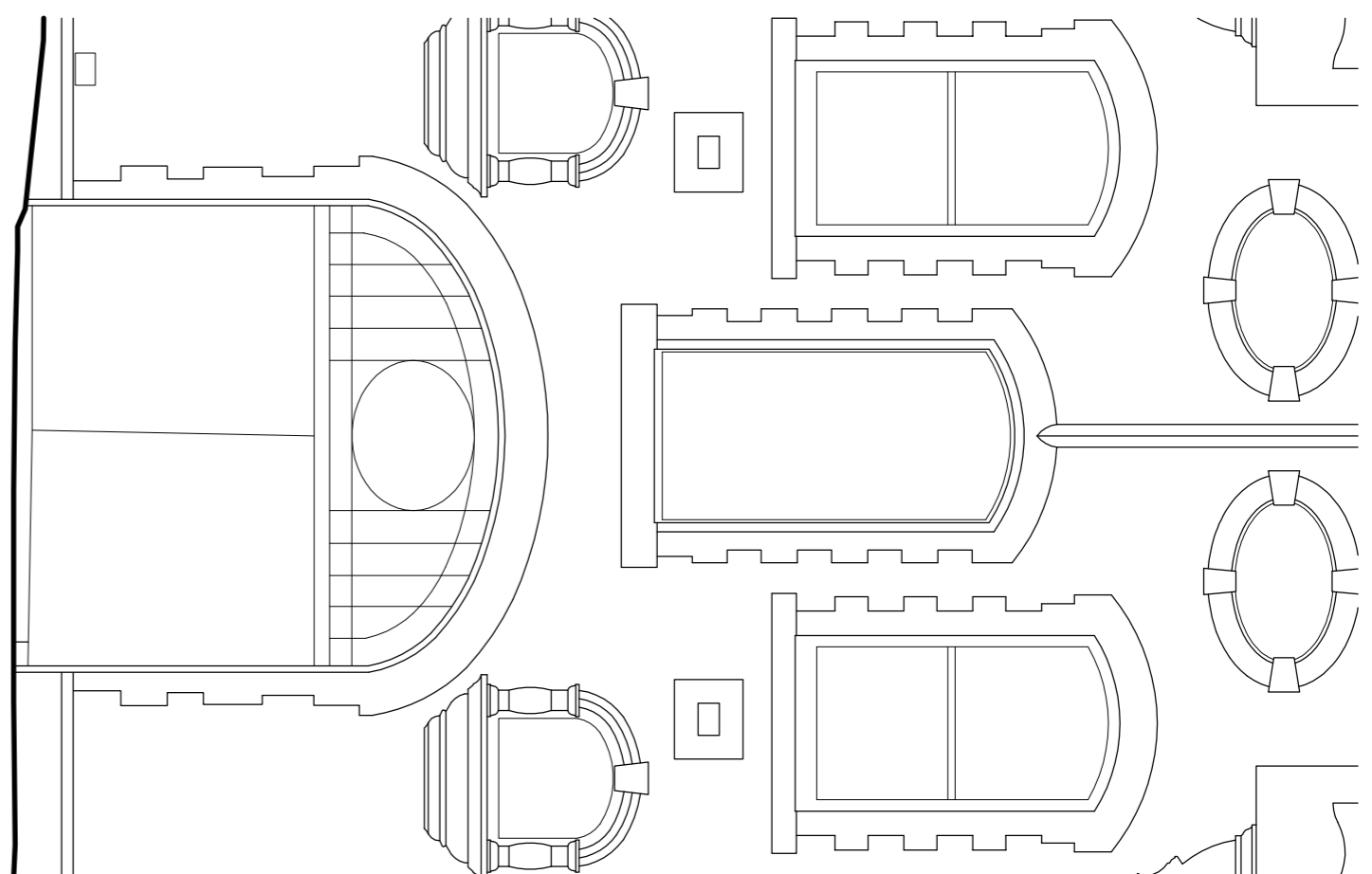
1No. Non-illuminated logo sign to be installed above customer entrance door - subject to separate application

Proposed new timber customer door to be installed and decorated in RAL 7043 Traffic Grey to match shop front. Door handle to be full height, tubular PFC in RAL 9010 White. Principal entrance door to provide level access with a minimum effective clear opening width of 1050mm

Existing timber shopfront to be retained and redecorated in RAL 7043 Traffic Grey

1No. LED externally illuminated hanging board type projecting sign - subject to separate application.

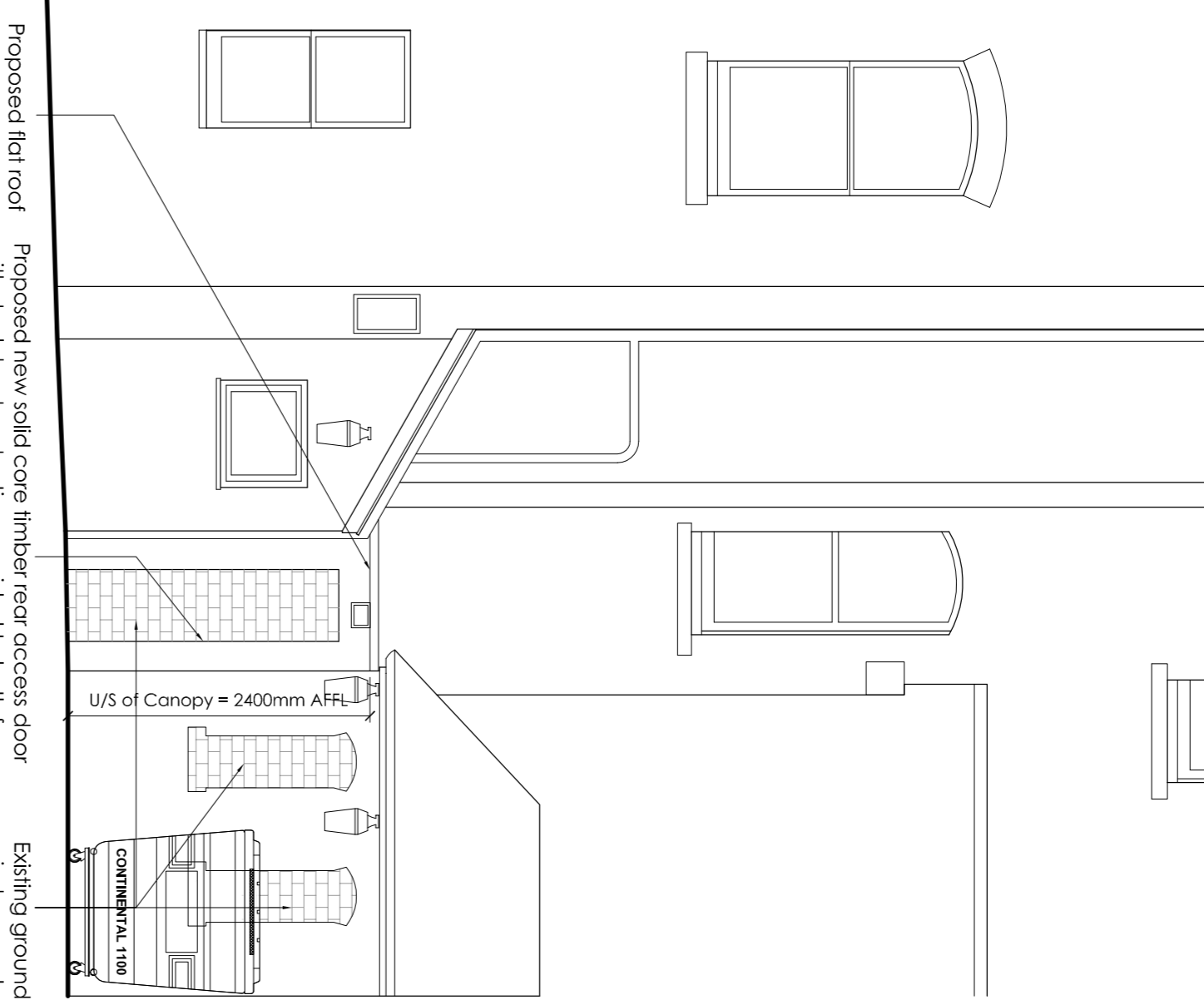
Proposed Elevation A



Proposed new solid core timber rear access door to be built on existing support beam. Roof to be built to allow for magnetic lock and door closer to be installed. Staff access controls to be installed externally. New LED security light required above rear access door to illuminate rear yard.

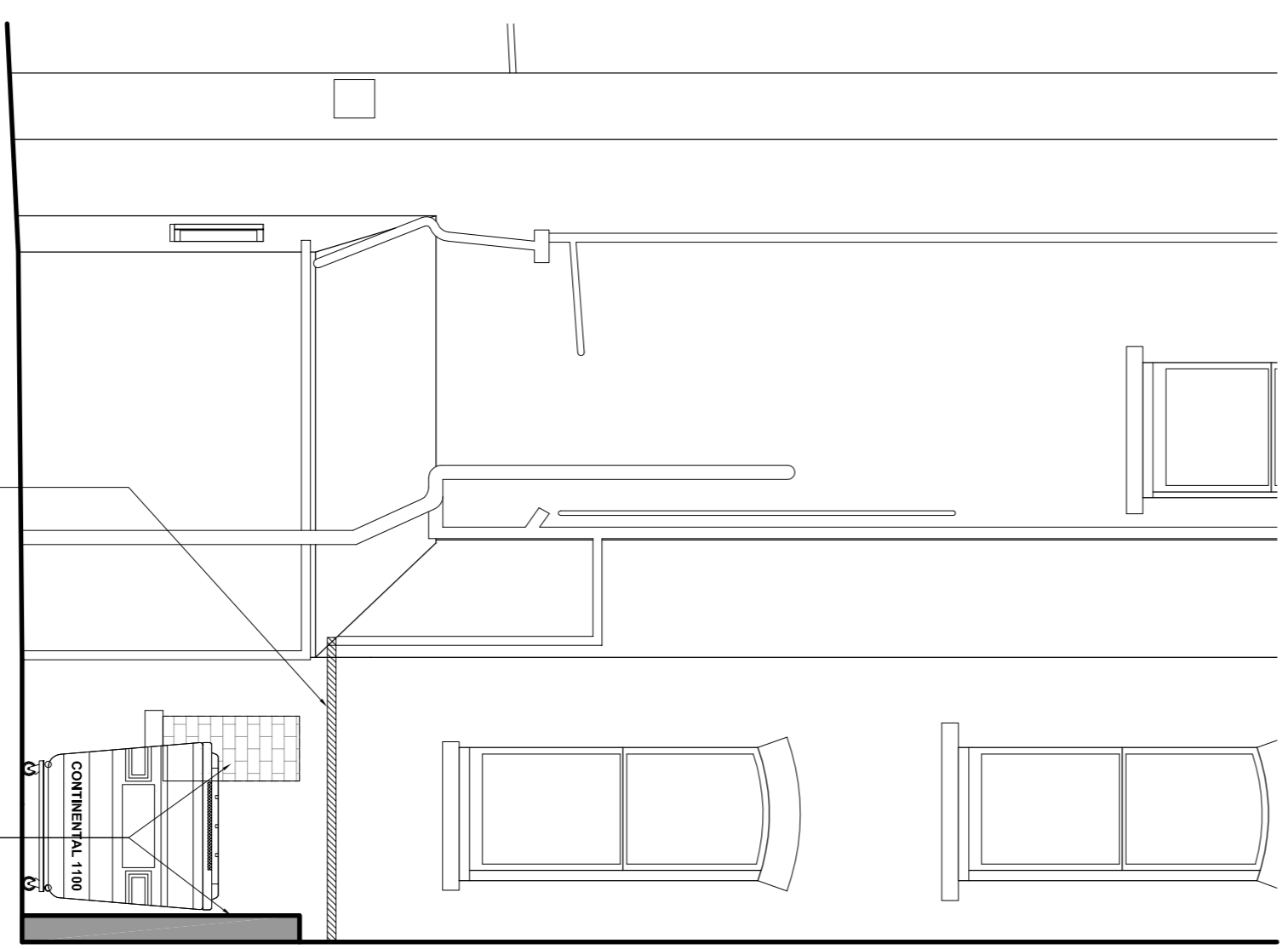
Existing ground floor windows and door to rear unit to be blocked up with external finishes to match existing

Proposed Elevation B



Existing ground floor windows and door to rear unit to be removed and blocked up with external finishes to match existing

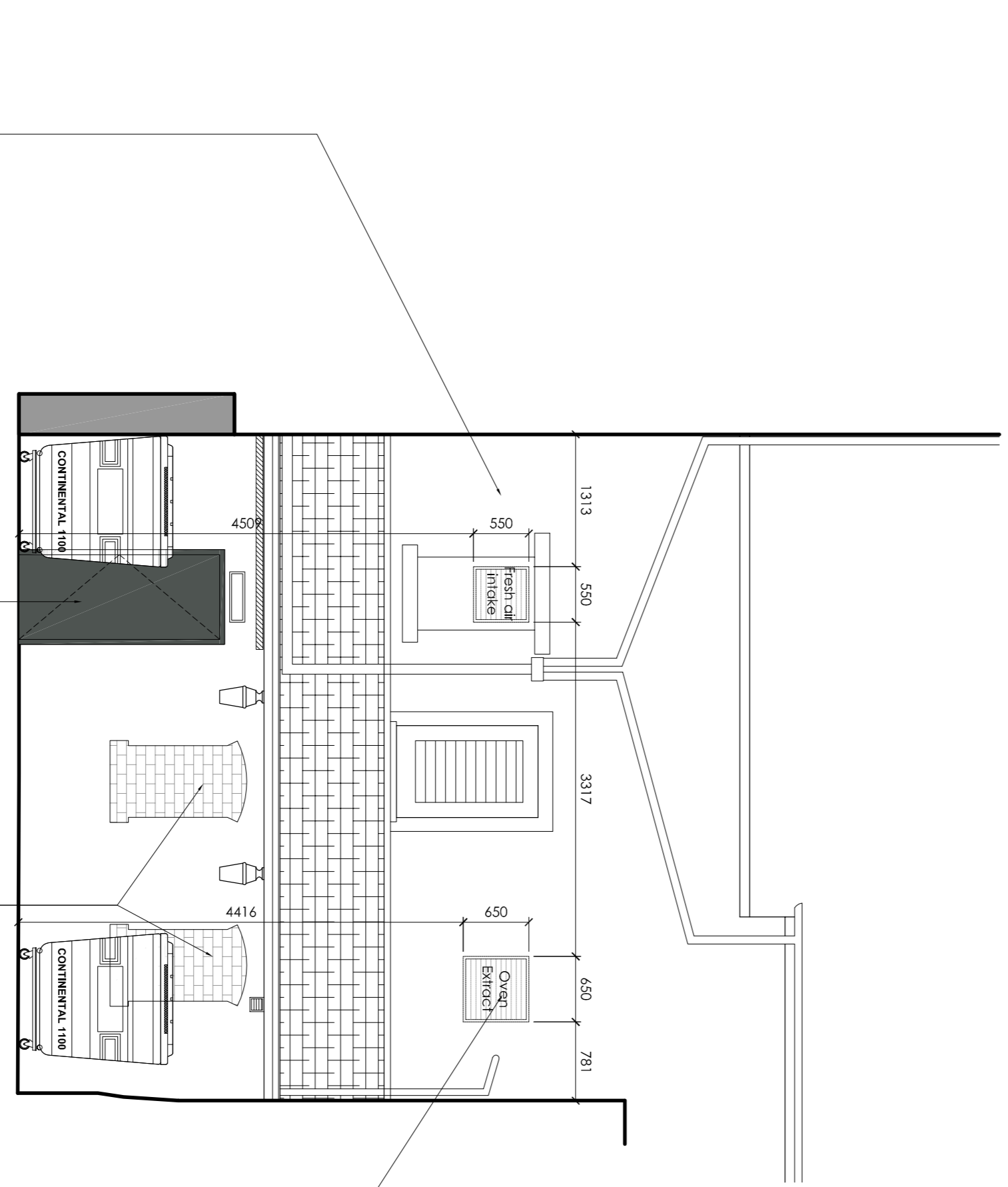
Proposed Elevation C



Proposed flat roof to be built on existing support beam. Roof to be built to Landlords design and detail

Existing ground floor openings to rear to be blocked up with external finishes to match existing

Proposed Elevation D



Proposed 400mm dia. Fresh air intake to penetrate through rear wall and terminate horizontally in PFC finished aluminium cover wall grille at high level (finished in RAL 7043 Traffic Grey). Staff access controls to be installed on oven rear access door to illuminate rear yard.

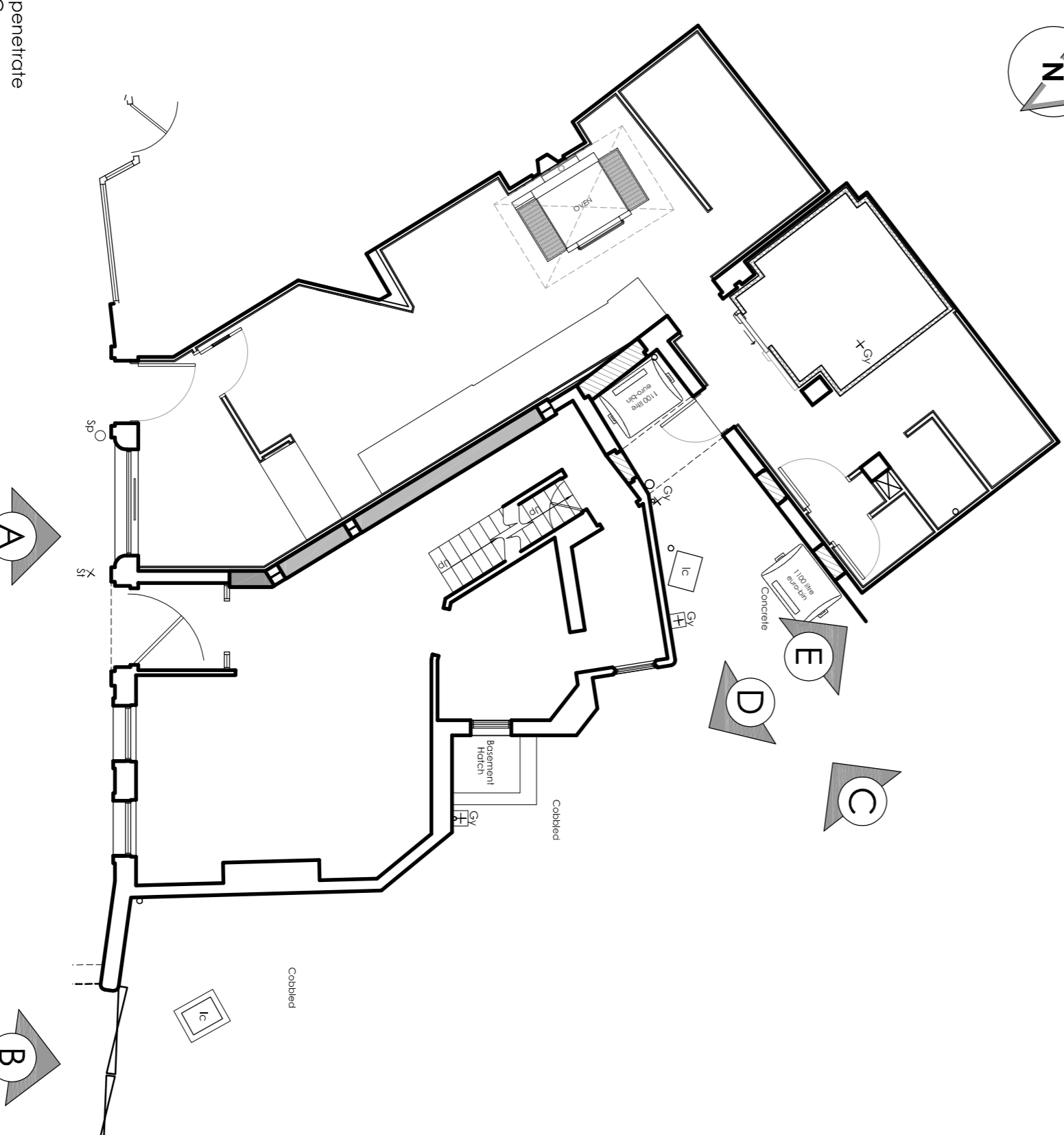
Proposed new solid core timber rear access door with steel sheet protection provided to both faces and finished in RAL 7043 Traffic Grey. Head rail of door to be min 75mm deep (or packed to achieve 75mm) to allow for magnetic lock and door closer to be installed. Staff access controls to be installed externally. New LED security light required above rear access door to illuminate rear yard.

Existing ground floor windows to rear of unit to be blocked up with external finishes to match existing

Proposed 500mm dia. Oven extract duct work to penetrate through rear wall and terminate horizontally in PFC finished aluminium cover wall grille at high level (finished in RAL 7043 Traffic Grey). Staff access controls to be installed on oven rear access door to illuminate rear yard.

Proposed Elevation E

Key Plan (NTS)



NOTES

- All dimensions and levels are to be checked on site.
- Any discrepancies are to be reported to the architect before any work commences.
- The drawing shall not be scaled to ascertain any dimensions. Work to be fixed dimensions only.
- The drawing shall not be reproduced without express written permission from AEW.
- Proposed new work and materials shall be produced using all reasonable endeavours. AEW cannot be responsible for the accuracy or code discrepancy of data supplied by the client.
- Consultation Party: AEW drawing no. 18001_127_01_02_P01_AEW New AEW dated 05/06/2017/1.

DESIGN HAZARD IDENTIFICATION

- Asbestos survey report required prior to commencement.
- Proposed work subject to Building Control approval of the structure and access arrangements.
- Where only 1 no. lift is to be provided, no more than 500kg and 2000mm x 1000mm shall be permitted to be on the premises at any one time. (In accordance with table 1, Regulation 21 of the Workplace (Health, Safety and Welfare) Regulations 1992)
- Refer to Particular A1 report reference BM22313 for oven specification.
- Refer to Cable Jumps, Noise Assessment Report reference 17/0329/RI for oven extract system and fresh air supply system noise attenuation details.
- Conducted to complete all required structural alterations, acoustic / fire lining between store and upper floor to commencement of shopfit project.

REV	DATE	DESCRIPTION	BY	CHECKED
A	31/07/2017	TS	JJS	
		Amended to include flat Roof Canopy.		
	13/07/2017	SJB	JJS	
		Initial Issue		
REV	DATE	DESCRIPTION	BY	CHECKED
S2		Purpose of Issue		
		For Approval		

client	Private Client
project	Former The White Horse York Street, Clitheroe BB7 2DH
store	P.001.1295

drawing title	Proposed Elevations
date	11/07/2017
drawn	SJB
checked	JJS