



Eatough's Barn Ribchester
Design and Access Statement

1 Background

1.1 Introduction

This design statement has been prepared to support a full planning application for Eatough's Barn which is situated at the end of Fleet Street Lane, to the north-west of Ribchester.

This report seeks to demonstrate that the proposals have undergone a formal and thoughtful design process and that the resultant scheme is a response to site context, access, massing, orientation, materiality and architectural detail and that a sustainable approach has been adopted.

The statement also demonstrates that the proposed development has been assessed for compliance with prevailing national and local planning policy.

1.2 Application

The proposed planning application is for :-

'Proposed conversion of an agricultural building to a four bedroom residential dwelling with a shippon extension to the south and detached garage'.





1.3 Aim and Context

This statement demonstrates how the design has been informed through a rigorous process of assessment, evaluation and design and includes the following information:

- Information on the existing site and house.
- Planning policies and planning history of the site.
- Pre-Application Advice
- Design brief and the design process.
- Design proposal, including the impact on use, appearance and access.

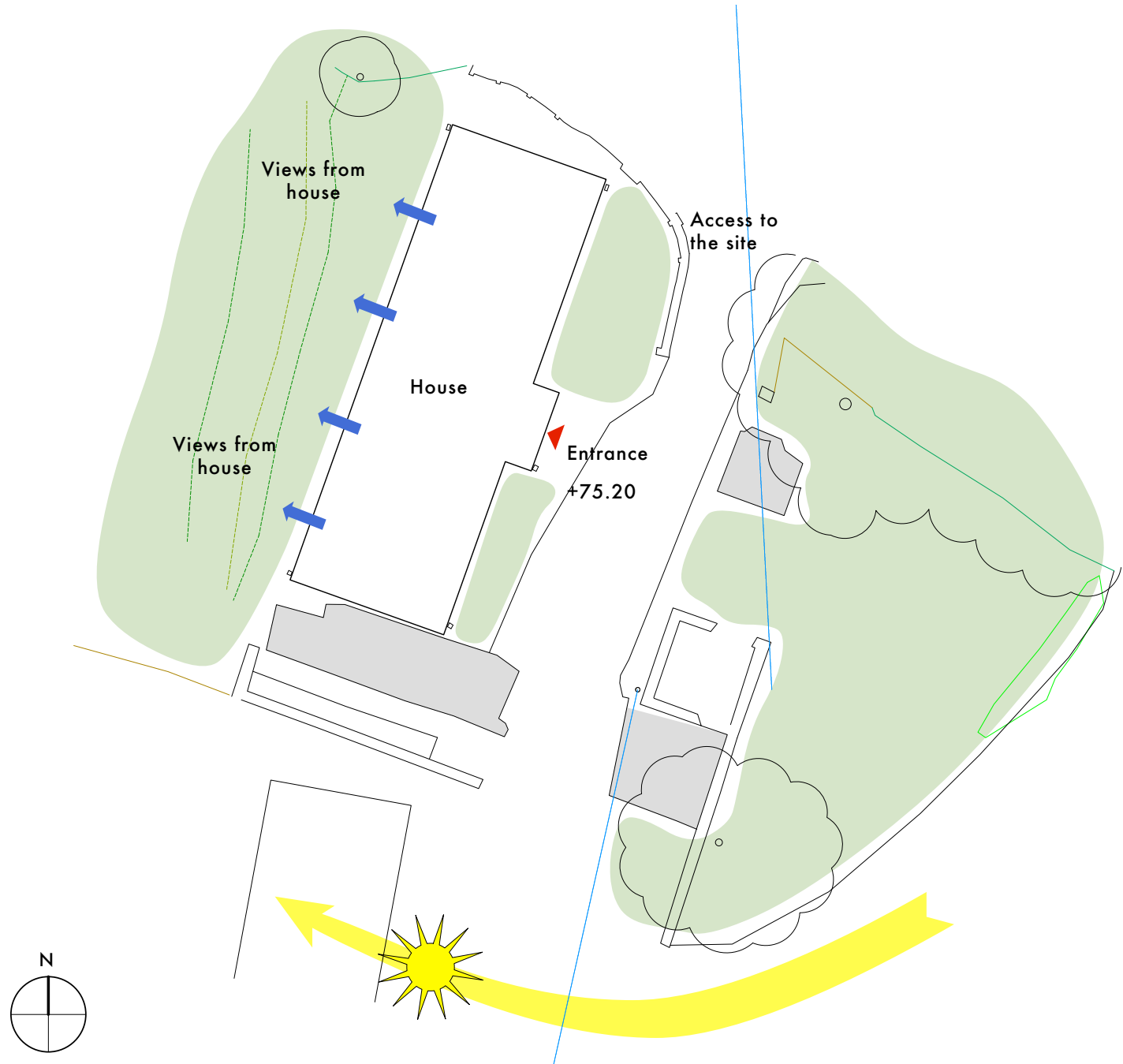
1.4 Stanton Andrews Architects

Charles Stanton and Neil Andrews established their architecture practice in late 2006. With projects across the north-west, Stanton Andrews have established a strong reputation for producing high quality and imaginative designs to suit the needs, desires, aspirations and budget of its clients. Stanton Andrews' portfolio includes new mixed use developments, one off projects as well as urban regeneration residential schemes. Their 'hands on' approach to the development of the proposals and design is at the core of much of the details and designs produced.

Consistently, projects have demonstrated a focused and considered appraisal of the existing arrangement, its site, and context; resulting in imaginative and elegant designs tailored to the specifics of each commission. This, combined with a sensibility for historical context and vernacular identities, has created a socially and environmentally responsive architecture.

Stanton Andrews Architects have received a number of awards for their work, including LABC awards in the categories of "Best change of use of an existing building or conversion" (2014) and "Best extension or alteration to an existing home" (2017) plus other nominations and commendations.





1.5 Existing Site

- The property is a detached barn, constructed in natural stonework, with a pitched natural slate roof.
- The existing barn has been largely rebuilt reusing existing materials
- Site is situated at the end of Fleet Street Lane
- Existing gated entrance from Fleet Street Lane to north.
- Neighbouring property to south.
- Existing property appears to have been significantly reconstructed before, with little consideration to the appearance.
- East facing entrance with wagon door
- Original shippon to south removed

Existing areas:

Site	2,169 m ²
Barn	163 m ² (gross external footprint)



2 Planning

2.1 Policy

Whilst the site is in the open countryside, RVBC's local plan confirms that the site is not within an AONB, green belt, nor covered by other specific environmental policies. Planning policies ENV3 and G5 cover the site. However, it is debatable whether these are directly applicable to the proposals. The proposals have been mindful of the guidance offered in RVBC's published supplementary planning guide, 'Extensions and Alterations to Dwellings'.

2.2 Planning History

RVBC Planning reference: 3/2013/0409

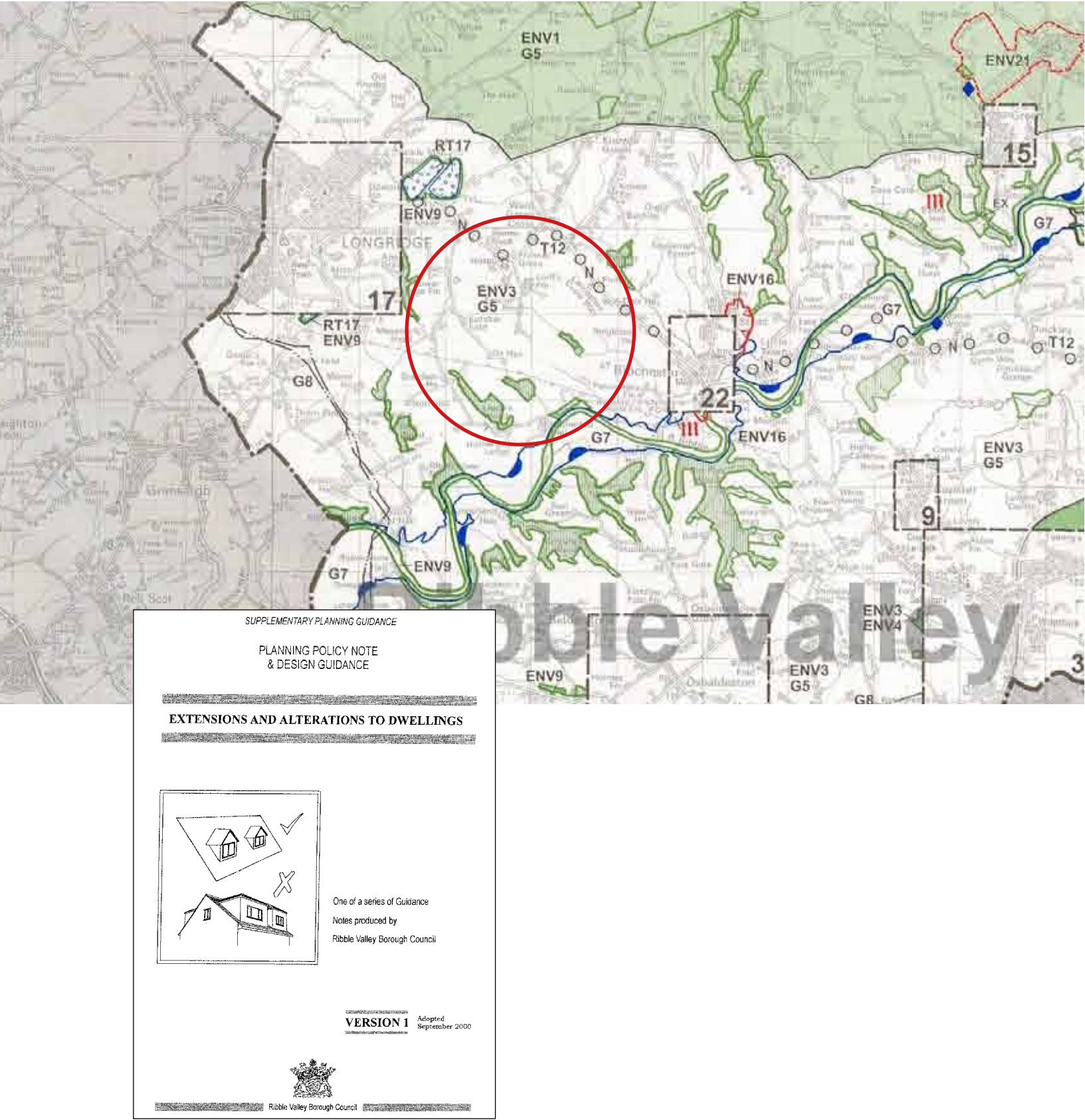
'Proposed change of use from barn to dwelling house. Proposed detached garage'.
Refused

RVBC Planning reference: 3/2015/0850

'Proposed change of use from barn to dwelling house, including alterations to elevations to reduce number and size of window and door openings'.
Approved with conditions

RVBC Planning reference: 3/2017/0021

'Proposed design alterations to previously approved application (no 3/2015/0850), Including alterations to site layout and garage'.
Approved with conditions





Section showing the double height space between waggon doors and new window, with bridge link across

2.4 Pre-application Advice

A pre-application enquiry was submitted to Ribble Valley planning department. On the 25/07/17 a meeting was held on site attended by Rob Midgley (applicant), Rachel Horton (RVBC planning officer), Neil Andrews and Jessica Lau (Architects).

Generally Ms Horton confirmed that they were supportive of the proposals stating that they considered them to be an improvement on the previous (approved) scheme. The following principles of the design were discussed and accepted :-

1. representing the north and east elevations (facing public areas) to provide a more traditional barn appearance.
2. reinstating the shippon to the south
3. large opening to the west elevation

Ms Horton queried the width of the western opening. Sketches were subsequently provided (on the 30.07.17) to demonstrate that the width of the opening was as a result of the desire to provide a generous full height space within the barn to show the character of the original building. No adverse comments to this submission were received.

The detached garage block is unchanged from the previous approved scheme.



Sketches explaining the rear window composition

3 Design

3.1 Design Brief

Mr and Mrs Midgley initially approached Stanton Andrews to consider the conversion of Eatough's Barn.

Their intention is to create a family home with four bedrooms, a large kitchen / dining area and lounge. An important aspect of the brief was to create a strong connection between the living spaces and the surrounding landscape, more specifically to emphasise the views to the west.

Externally the clients are keen to restore the former quality of the barn by taking the front elevation back to the traditional barn like appearance as well as reintroducing the shippon to the south and keeping the modern additions to the rear.

3.2 Design Process

The design proposal is the result of a detailed and iterative design process, during which a number of options were explored.

Throughout the process of creating conceptual extensions and alterations, a series of computer aided design and 3D modelling options were produced. These options were created as a visual and interactive aid of the project in its context, whereby a preferred option is produced.

The options provided a detailed analysis of the impact that the developments would have on the area and its relationships to the surroundings, both from a spatial and visual aspect. The proposal therefore aims to reflect and respond to the surrounding character and environment.

First floor



Ground floor



3.3 Layout

The proposed conversion will provide a four bedroom family home. The house has been designed in response to the brief and provides contemporary, usable living accommodation with a strong connection to its setting.

The layout of the proposed dwelling exploits the views from the site to the west of the valley. A connection to these views is established immediately on entering the barn via a direct sight line from the wagon doors on the east elevation through to the double height window to the west elevation. The main living spaces are orientated to the west and south, facing the views across the valley.

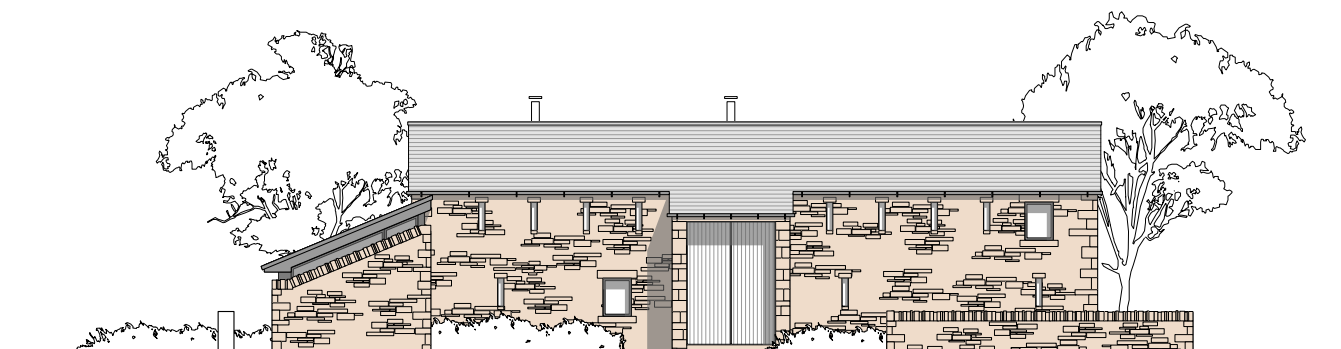
In order to maintain the open, agricultural feel of the barn, the first floor accommodation is restricted. The master bedroom suite is set to the south with two bedrooms to the north connected by a bridge link overlooking onto the double height space. The fourth bedroom is at ground floor level.

3.4 Appearance

The appearance of the proposal is to return to a traditional barn on the east elevation, with contemporary elements towards the west.

A shippon extension is to be reinstated to the south of the property and is to be constructed of natural stone and slate to remain in keeping with the local palette, particularly that of Eatough's Barn. The extension will act as a subservient addition to the original barn and is both distinct and sympathetic in design and materiality.

Alterations are made to the west elevation where a double height window has been introduced to increase the light within the heart of the plan and to maximise the views to the west. Roof lights has also been added to the rear elevation to help naturally ventilate the double height space.



East Elevation



South Elevation



West Elevation



North Elevation

3.5 Access and Parking

The existing access into the site is to be retained of Fleet Street Lane, with a new garage to the eastern boundary within the grounds of Eatough's Barn. The proposed garage is unchanged from the previously approved scheme (application ref.3/2017/0021).

3.6 Area Comparison

- External footprint (gross):

Existing footprint	163 m ²
Proposed footprint	214 m ²
Equating to a 31% increase in area.	

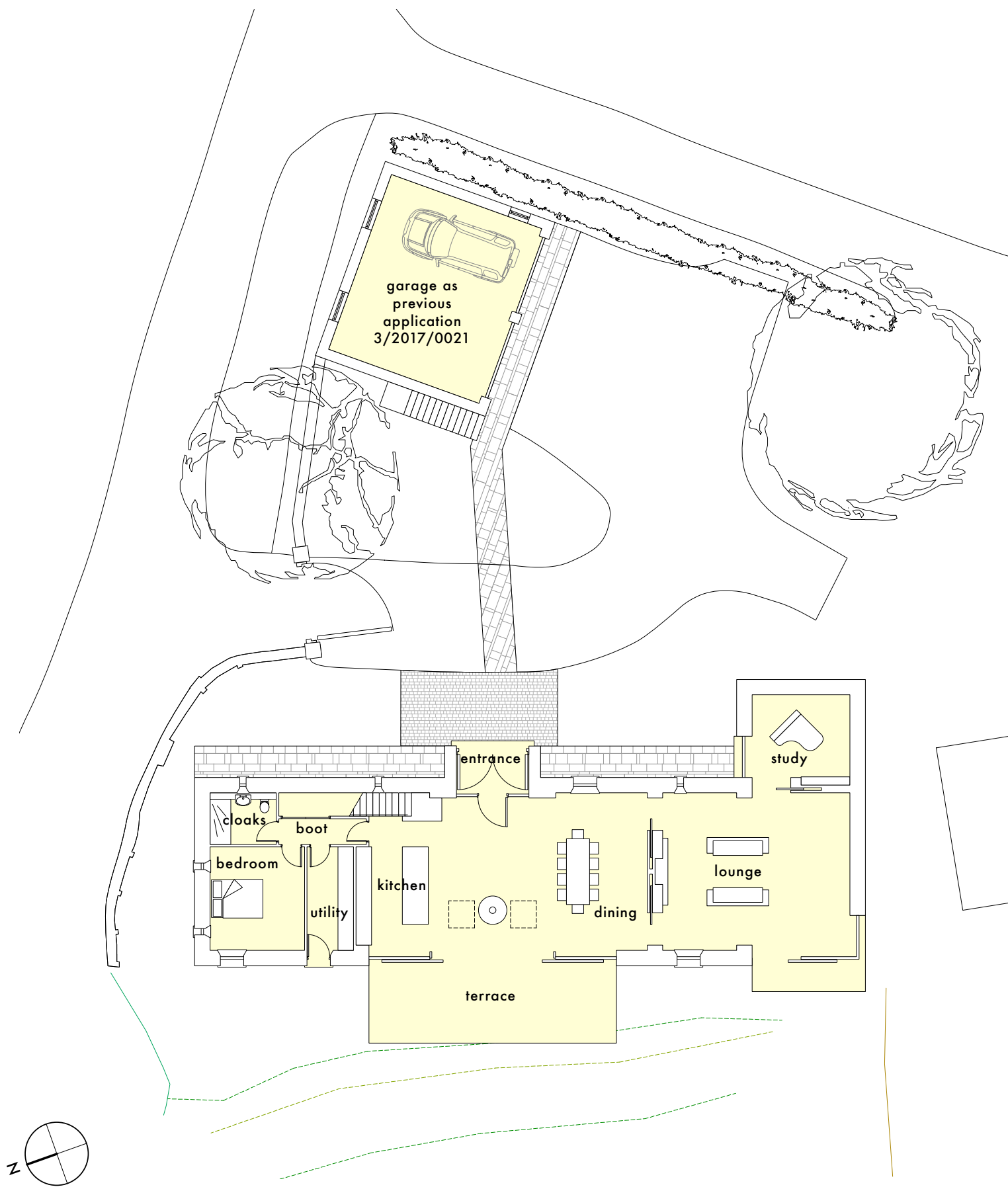
3.7 Ecology

A bat survey has been carried out on the site as part of the previously approved applications 3/2015/ 0850 and 3/2017/0021. This shows evidence of bat activity within the structure. It is concluded that the proposed development will require mitigation measure to be adopted to ensure that roosting bats are considered during the development.

3.8 Structural

A structural assessment has been undertaken and was accepted from the previous application 3/2015/0850.

Referring to the structure report, it is stated that *'there are no significant structural defects in the existing construction. All the external walls remain plumb and there is no evidence of vertical movement. The roof timbers are in good condition and the slate roof covering is essentially watertight.'*





4 Conclusion

It is the aspiration of the client to create a functional and usable family home that appreciates the surroundings.

A design has been developed that responds to the site context, orientation and setting, as well as a landscape to allow for better accessibility. The focus is on creating alterations internally and externally that satisfy the requirements of the client.

The proposal has created a beneficial impact on the usability of the space as well as enhancing the ecological and visual value of the site.

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