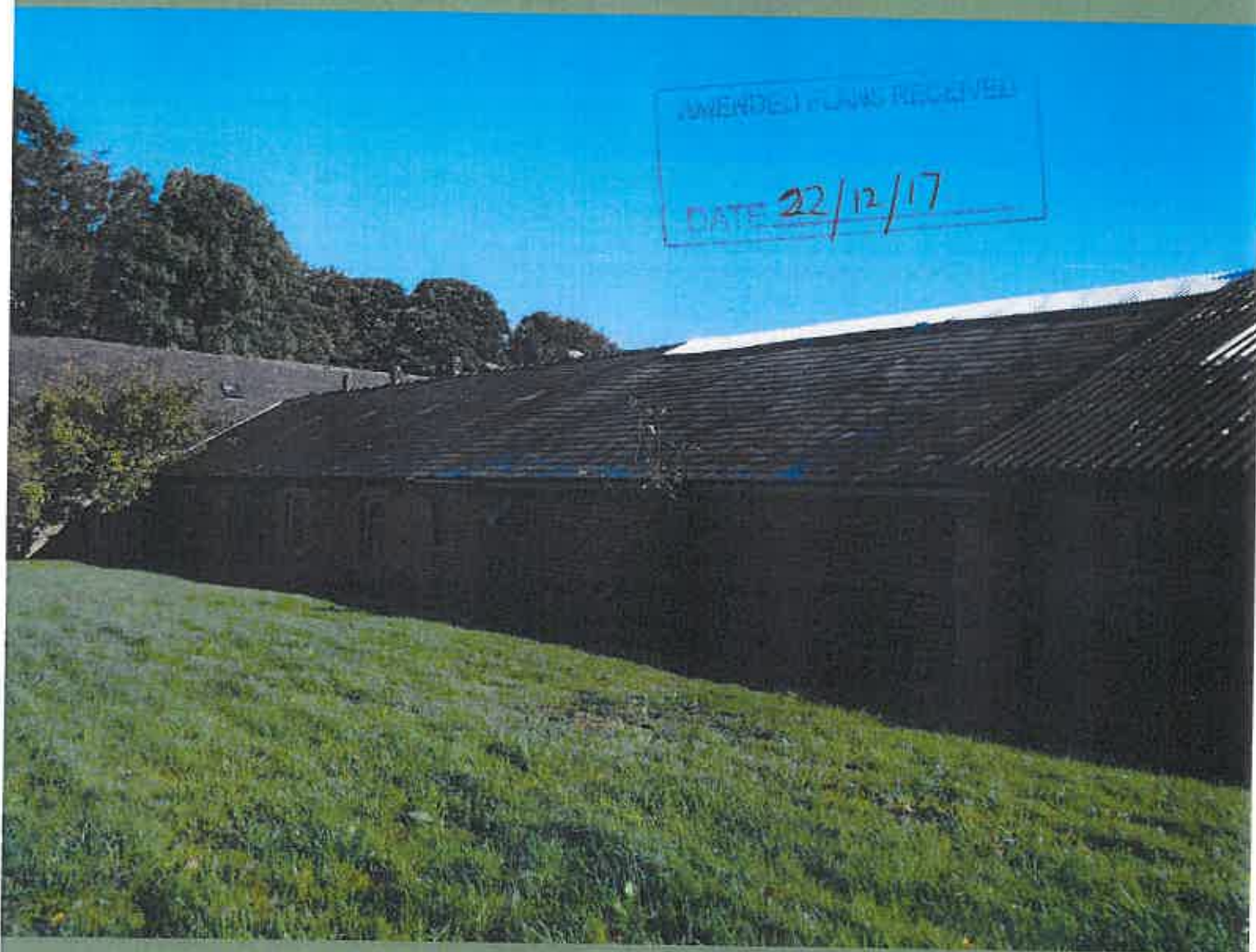


3/2017/0968

DESIGN, ACCESS AND HERITAGE STATEMENT

PROPOSED DEMOLITION OF REDUNDANT AGRICULTURAL BUILDING PROPOSED
CONVERSION OF EXISTING AGRICULTURAL BUILDING ADJOINING EXISTING OFFICES AT
OLD SAWLEY GRANGE, GIBBURN ROAD, SAWLEY, CLITHEROE, LANCASHIRE BB7 4LH
REF: 5417 VERSION 1.02 DATE: DECEMBER 2017



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SUNDERLAND PEACOCK ARCHITECTS
SURVEYORS

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1.0 INTRODUCTION

1.1 Overview

The adjoining agricultural building at Old Sawley Grange is the focus of this heritage statement, a building which is now obsolete and is no longer used in an agricultural capacity. The building adjoins the Grade II listed Old Sawley Grange which is a designated heritage asset. The building is not located within a conservation area or the Forest of Bowland Area of Outstanding Natural Beauty (AONB).

1.2 Purpose

Sunderland Peacock and Associates Ltd have been commissioned to produce this document as part of a forthcoming application for planning approval and listed building consent for the demolition of an existing agricultural building and the conversion of an adjoining agricultural building at Old Sawley Grange into offices.

The purpose of this document is to provide the Local Planning Authority with the necessary and appropriate information that will inform the proposals. An assessment of the heritage values of the affected heritage assets will be included in order to determine their overall significance. A heritage impact assessment has also been included in order to assess the potential implications on the affected heritage assets.

It is produced in response to policies set out in Paragraph 128 of the National Planning Policy Framework, 2012 as it states;

*"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including the contribution made by their setting. The level of detail should be proportionate to the assets importance and no more than is sufficient to understand the potential impact of the proposal on their significance."*¹

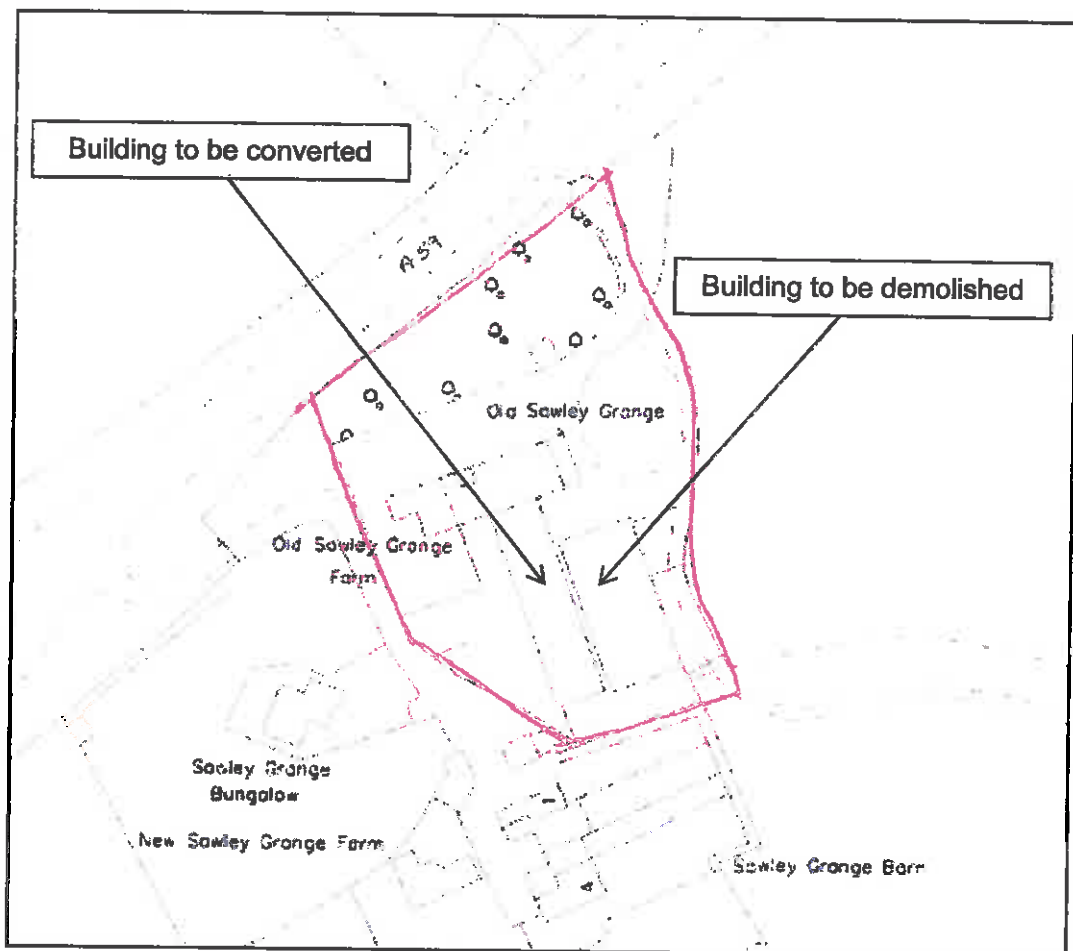
This document has been commissioned by Richard Turner and Son, who is the applicant in this case. This document is for the sole purpose for which it has been commissioned and is to be read in conjunction with all other application and supporting documents.

¹ Department for Communities and Local Government (2012) National Planning Policy Framework

2.0 LOCATION AND DESCRIPTIONS

2.1 Site Location

The building proposed for conversion adjoins the south of old Sawley Grange. The building is located on the south east side of the A59. It is located 1.7km to the east of the village of Sawley and approximately 5km to the north east of the town of Clitheroe.



PL01: Site Plan

3.0 HERITAGE ASSET DESIGNATIONS

3.1 Designations

Old Sawley Grange is a grade II listed building and is listed under the Planning (Listed Buildings and Conservation Areas) Act 1990; however the building was listed in 1984 and predates the 1990 Act. List entry number 1317280. The list entry for the building is as follows;

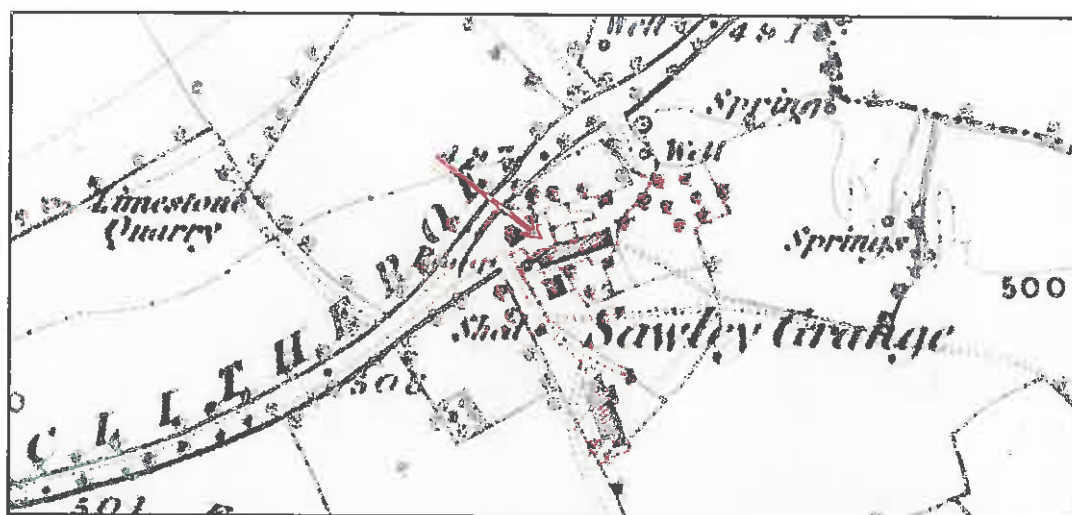
"House, c.1800 and mid C19th, with remains of aisled building probably c.1500. Rubble, rendered at rear, with stone slate roof. Windows have plain stone surrounds. The ground-floor window is sashed with no glazing bars. On the 1st floor are 2 windows, the left-hand one being of 3 lights with square mullions. At the right is a taller extension of one bay, which has a door with plain stone surround at its left. Chimney on gable at right (west) and between house and barn. The barn has a slate roof. Towards the right is a wide entrance with concrete lintel. At the left are doors and windows with plain reveals. Interior has remains of aisled building, probably a barn. On the ground floor the right-hand front aisle post is exposed. The left-hand rear room has an exposed aisle post and aisle tie, and supports a main joist spanning the former nave. On the 1st floor the right-hand truss is partly visible through wallpaper. Both aisle posts have jowled heads, the front one retaining its orace to the tie beam. The left-hand front aisle post is exposed, together with part of the front aisle plate. The principals of the left-hand truss remain in the loft space, with a short king post rising from a collar. The right-hand truss has been altered above tie beam level. Inside the barn 2 complete aisled trusses are visible. One is in the dividing wall between house and barn. The 2nd is to the left of the wide entrance. Between them the aisle plates and purlins have been removed. A redundant brace to an aisle plate suggests that the aisled construction once continued further east. Presumably the building was part of a grange of Sawley Abbey. Alterations beginning shortly (1985) may reveal more of the timber structure." ²

4.0 HISTORICAL AND ARCHAEOLOGICAL CONTEXT

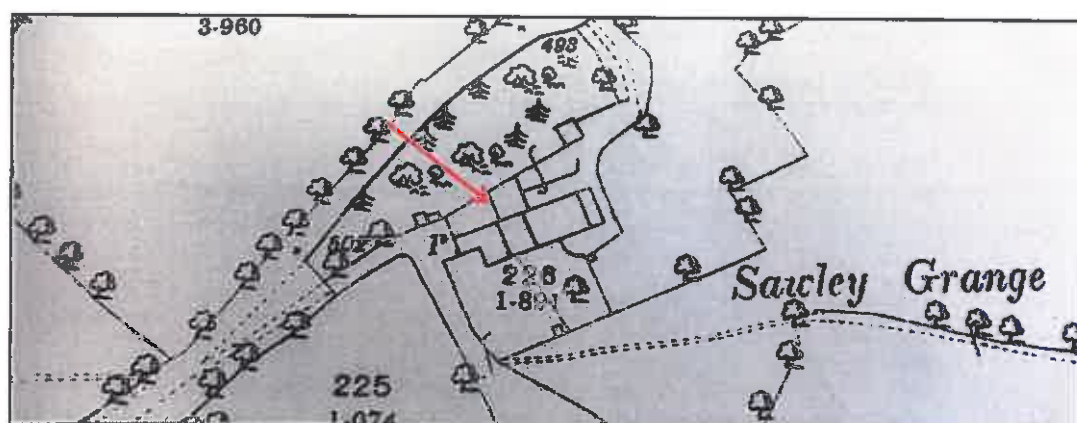
4.1 Background

The following historic OS maps show the development of the site through the period from 1849 to 1907. In terms of Old Sawley Grange, the listed building (already converted) is extent from at least 1849, but is likely to be of late 18th / early 19th century origins as per the list entry. The rear building that is proposed for conversion was constructed at some time between 1907 and 1954, making it early to mid-20th Century in origin, with limited, if any, significance. The building also appears to be of two separate phases of construction; however the exact dating of the second phase of construction cannot be confirmed but is expected to be mid to late 20th century. The separate agricultural building proposed for demolition was constructed at some point after this, likely to be in the 1960's and holds no architectural or historical significance.

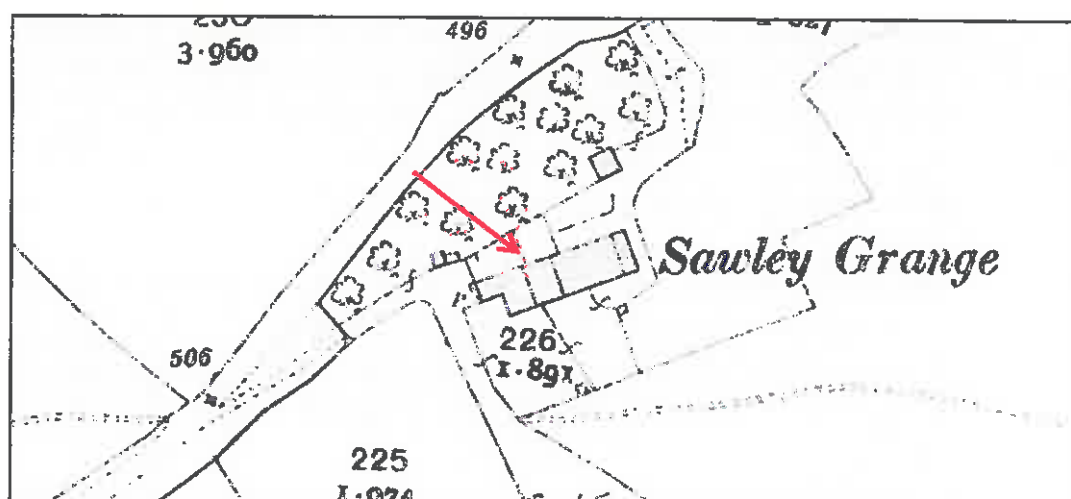
² Historic England (2017) List Description: Sawley Grange Farmhouse – List Entry No. 1317280



PL00: OS Map of 1849³



PL00: OS Map of 1884⁴

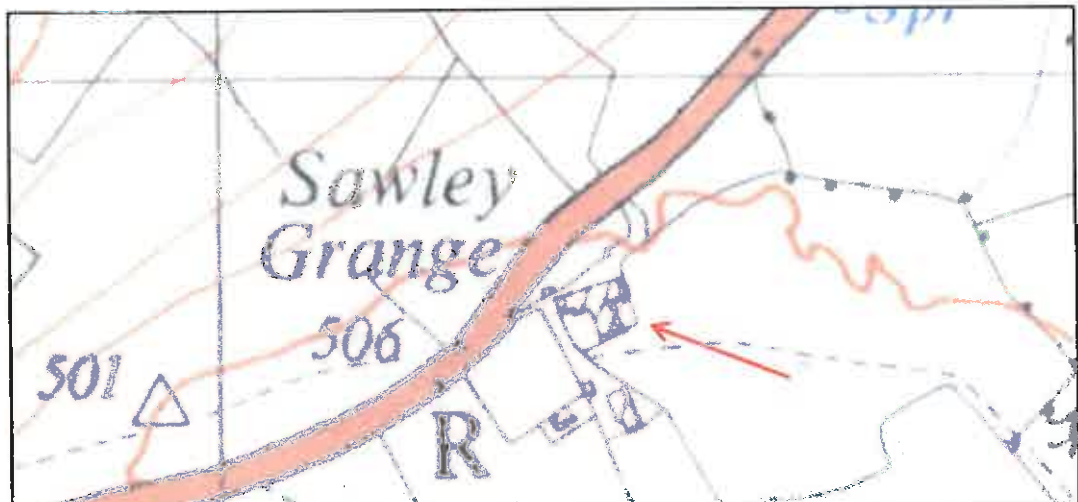


PL00: OS Map of 1907⁵

³ OS 6 Inch, 1:10560 scale map – Gisburn, Rimington, Sawley, Yorkshire Sheet CLXXXIII, surveyed 1849, published 1853

⁴ OS 25 Inch, 1:2500 scale map – Gisburn, Rimington, Sawley, Yorkshire Sheet CLXXXIII.1, revised 1884, published 1886

⁵ OS 25 Inch, 1:2500 scale map – Gisburn, Rimington, Sawley, Yorkshire Sheet CLXXXIII.1, revised 1907, published 1908



PL00: OS map of 1954⁶

5.0 PLANNING POLICY CONTEXT

5.1 Statutory Legislation

The proposals will be determined in accordance with the Planning (Listed Buildings and Conservation Areas) Act 1990.

The duty at Section 66 (1) of the Planning (Listed Buildings and Conservation Areas) Act 1990 states:

"In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".

5.2 National Planning Policies

The National Planning Policy Framework (NPPF) is the overarching planning policy within England and describes how to implement the requirements of the Planning (Listed Buildings and Conservation Areas) Act 1990. The relevant policies are contained within chapter 12 of the NPPF – *"Conserving and Enhancing the Historic Environment"* and consist of the following;

128. *In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more*

⁶ OS 1:25,000 scale map, SD24 (includes Clitheroe)

than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary. Where a site on which development is proposed includes or has the potential to include heritage assets with archaeological interest, local planning authorities should require developers to submit an appropriate desk-based assessment and, where necessary, a field evaluation.

131. *In determining planning applications, local planning authorities should take account of:*
- the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
 - the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
 - The desirability of new development making a positive contribution to local character and distinctiveness.*
132. *When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional. Substantial harm to or loss of designated heritage assets of the highest significance, notably scheduled monuments, protected wreck sites, battlefields, grade I and II* listed buildings, grade I and II* registered parks and gardens, and World Heritage Sites, should be wholly exceptional.*
133. *Where a proposed development will lead to substantial harm to or total loss of significance of a designated heritage asset, local planning authorities should refuse consent, unless it can be demonstrated that the substantial harm or loss is necessary to achieve substantial public benefits that outweigh that harm or loss, or all of the following apply:*
- the nature of the heritage asset prevents all reasonable uses of the site; and*
 - no viable use of the heritage asset itself can be found in the medium term through appropriate marketing that will enable its conservation; and*
 - conservation by grant-funding or some form of charitable or public ownership is demonstrably not possible; and*
 - The harm or loss is outweighed by the benefit of bringing the site back into use.*
134. *Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.*

5.3 Local Planning Policies

The following policies are taken from the Ribble valley Core Strategy and are relevant in the case of Listed Building.

Policy DME4: Protecting Heritage Assets

"2. Listed Buildings and Other Buildings of Significant Heritage Interest

Alterations or extensions to listed buildings or buildings of local heritage interest, or development proposals on sites within their setting which cause harm to the significance of the heritage asset will not be supported.

*Any proposals involving the demolition or loss of important historic fabric from listed buildings will be refused unless it can be demonstrated that exceptional circumstances exist."*⁷

Key Statement EN5: Heritage Assets

"There will be a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings. The Historic Environment and its Heritage Assets and their settings will be conserved and enhanced in a manner appropriate to their significance for their heritage value; their important contribution to local character, distinctiveness and sense of place; and to wider social, cultural and environmental benefits.

This will be achieved through:

Recognising that the best way of ensuring the long term protection of heritage assets is to ensure a viable use that optimises opportunities for sustaining and enhancing its significance.

Keeping Conservation Area Appraisals under review to ensure that any development proposals respect and safeguard the character, appearance and significance of the area.

Considering any development proposals which may impact on a heritage asset or their setting through seeking benefits that conserve and enhance their significance and avoids any substantial harm to the heritage asset.

Requiring all development proposals to make a positive contribution to local distinctiveness/sense of place."

⁷ Ribble Valley Borough Council (2014) Adopted Core Strategy

Policy DMB2: The Conversion of Barns and Other Rural Buildings for Employment Uses.

"Planning permission will be granted for employment generating uses in barns and other rural buildings, provided all of the following criteria are met:

- 1. The proposed use will not cause unacceptable disturbance to neighbours in any way.*
- 2. The building has a genuine history of use for agriculture or other rural enterprise.*
- 3. The building is structurally sound and capable of conversion for the proposed use, without the need for major alterations which would adversely affect the character of the building.*
- 4. The impact of the proposal or additional elements likely to be required for the proper operation of the building will not harm the appearance or function of the area in which it is situated.*
- 5. The access to the site is of a safe standard or is capable of being improved to a safe standard without harming the appearance of the area.*
- 6. The design of the conversion should be of a high standard and be in keeping with local tradition, particularly in terms of materials, geometric form and window and door openings.*
- 7. That any existing nature conservation aspect of the existing structure are properly surveyed and where judged to be significant preserved or, if this is not possible, then any loss adequately mitigated.*

The conversion of buildings should be of a high standard and in keeping with local tradition. The impact of the development, including the creation of servicing, storage areas and car parking facilities (or other additions) should not harm the appearance or function of the area in which it is situated. The AONB management plan should be considered and will be used by the council in determining planning applications.

*Proposals for the conversion of buildings for employment purposes that include residential accommodation will be carefully assessed. The council will require the submission of a business plan in support of the proposal where residential accommodation is required as part of the scheme in locations where the council would otherwise restrict the creation of dwellings. In all cases the proportion of living accommodation to workspace must not exceed a level of 60:40, workspace to living accommodation; and should form an integral part of the layout and design of the conversion."*⁸

⁸ Ribble Valley Borough Council (2014) Adopted Core Strategy

6.0 STATEMENT OF SIGNIFICANCE

Old Sawley Grange is a grade II listed building which originates from the 16th century but what remains is now 19th century in origin. The building was likely to be a former grange with a connection to the nearby Sawley Abbey.

The application relates to the former agricultural building which adjoins the south facing elevation of Old Sawley Grange. The addition is mid-20th century in origin and appears to have been built in two separate phases of construction. The building possesses no heritage significance and does not warrant mention within Historic England list description as it would be classified as a relatively modern development / extension in the context of the listed building.

The heritage values and significance of the building overall are derived from the historic north building of Sawley Old Grange, which adjoins the application building.

The adjoining application building itself possesses no evidential or historic value on account of its age and would not provide any evidence of past human activity on its own or any unique evidence about the past. The building currently serves no communal purpose in any social, spiritual, commemorative or symbolic context. The aesthetic value of the application building is also poor on account of the condition of the building. Therefore the significance of the former agricultural building is virtually non-existent. However the historic part of Old Sawley grange possesses its own significance which is acknowledged by the grade II listed status of the building. The historic part of the building is to remain unaffected by the works in terms of impact on physical fabric. The building's setting is to be enhanced through the improvement and adaptation of the adjoining application building and the demolition of the detached former agricultural building as well as proposed landscaping works. The significance of this part of the building will be enhanced, particularly its aesthetic value.

7.0 PROPOSED DEVELOPMENT

7.1 Use

The building proposed for conversion is a former agricultural building and is currently unused and is redundant in terms of its past agricultural function. It is proposed that the building be converted to provide office space with storage rooms and associated staff amenities.

7.2 *Layout*

The layout of the site is to remain relatively unchanged. The existing separate agricultural building is to be demolished and a new car park is to be provided within the foot print of the building, with new areas of landscaping. A new sewage treatment plant and soakaway is to be provided to the east of the existing buildings. In terms of the internal layout, the ground floor offices are largely located along the east and west sides of the building, arranged in a linear fashion along with the staff amenities and separated by central corridors running north to south. The first floor of the building is divided into 3 separate storage areas each of which are sub-divided further into separate rooms.

7.3 *Scale*

The proposals utilises an existing building, the scale of which is not going to be altered.

7.4 *Appearance*

The overall form of the building is to remain unchanged. It is proposed that the existing profiled sheet roof covering is replaced with a new natural slate roof covering. The roof will also contain 24no. conservation type roof lights. New window and door openings will be formed in the external walls of the building and new timber framed units will be inserted with a painted finish. A new open canopy structure will be constructed to the north corner of the building at the abutment with the Old Sawley Grange to the North and will be supported on 2no. timber posts with stone plinths. External down lighting is to be provided at intervals along the elevations.

7.5 *Access and Highways*

The site access is to remain as existing as this was altered following the granting of planning permission and listed building consent for the previously submitted schemes (application no's 3/1997/0704 and 3/2002/1002).

8.0 HERITAGE IMPACT ASSESSMENT

8.1 *Heritage Impact Assessment and Mitigation*

The following impact assessment will judge the impact of the proposals on both the conservation area as a designated heritage asset and the dwelling as a non-designated heritage asset. The proposals will be assessed against the following magnitudes.

Magnitude of Impact	
High Beneficial Impact	The proposed development will significantly enhance the heritage asset or the ability to better reveal or enhance its heritage values and overall significance. Works of this magnitude are welcomed.
Medium Beneficial Impact	The proposed development will considerably enhance the heritage asset or the ability to better reveal or enhance its heritage values and overall significance. Works of this magnitude are welcomed.
Low Beneficial Impact	The proposed development will provide a minor enhancement to the heritage asset or the ability to better reveal or enhance its heritage values and overall significance. Works of this magnitude are welcomed.
Neutral Impact	The proposed development will cause neither harm nor benefit / enhancement to the heritage asset, its values, significance or setting. Proposals will sustain existing significance and special interest without adverse harm.
Low Adverse Impact	The proposed development will cause minor harm to the heritage asset, its heritage values, significance or setting. Changes of this magnitude may be considered acceptable if suitable positive mitigation can be provided.
Medium Adverse Impact	The proposed development will cause clearly discernible harm to the heritage asset, its heritage values, significance or setting. Works of this magnitude should generally be avoided but may be considered acceptable if suitable positive mitigation can be provided.
High Adverse Impact	The proposed development will cause severe harm to the heritage asset and will substantially harm its significance. Will cause obvious disruption or destruction of features contributing to significance and harm to its setting. Such works of this magnitude should be avoided.

Element	Justification	Impact on Listed Building	Impact on Setting	Mitigation
Internal adaptation to form new internal layout and configuration to provide office spaces.	Internal adaptation is required as part of the works in order to provide suitable office and business spaces and also for establishing and maintaining the optimum viable use of the building. Partitions are to be added where required and are reversible interventions and can be easily removed in future if required. No significant historic wall fabric is to be removed and partitions will be identifiable as modern interventions. The building will also be upgraded in terms of its thermal elements in order to meet modern energy efficiency and thermal standards to provide a comfortable internal environment for the occupants.	Internal adaptation is required in order to convert the building into proposed commercial use and is therefore required in order to realise the new optimum viable use therefore having a high beneficial impact. The existing space is open with very little non-significant fabric required for removal.	N/A. Internal adaptation will cause no harm to the setting of the listed building therefore having a neutral impact on setting.	Implement a programme of historic building recording and analysis prior to the commencement of conversion works and issue completed project archive to the local HER. <i>However this is not thought to be required given the potential age and significance of the building proposed for conversion.</i> Work to be undertaken by competent / suitably qualified contractors / workers to ensure work is carried out with minimal harm to historic fabric.
Insertion of new door and window openings.	New door and window openings required in order to provide additional entry and exit points for the separate commercial areas as well as additional natural lighting into the building.	Removal of non-significant wall fabric from the 20 th century building, therefore no impact on significance. Positive impact aids in establishing the new optimum viable use of the building, therefore having a low beneficial impact.	N/A. No impact on the setting of the listed building therefore having a neutral impact.	Work to be undertaken by competent / suitably qualified contractors / workers to ensure work is carried out with minimal harm to historic fabric. Details and material samples to be submitted to Local Planning Authority to ensure control through a suitable planning condition.

Insertion of new roof lights	Required to provide natural lighting to the proposed first floor spaces of the building.	Small non-harmful impact on the appearance of the building. Positive impact – aids in establishing the new optimum viable use of the building therefore having a low beneficial impact.	N/A. No impact on the setting of the listed building therefore having a neutral impact.	Work to be undertaken by competent / suitably qualified contractors / workers to ensure work is carried out with minimal harm to historic fabric. Details and material samples to be submitted to Local Planning Authority to ensure control through a suitable planning condition.
Removal of existing profiled sheet roof covering and replacement with new natural slate covering.	The existing roof covering is harmful and incongruous to the listed building and it is proposed that this is replaced with a new traditional natural slate roof covering.	The replacement of the existing roof covering will provide an enhancement to the listed building through the removal of a harmful and incongruous modern material and replacement with a traditional and authentic roofing material. Non harmful impact to the appearance and character of the building. No loss of historic fabric. High beneficial impact.	N/A. No impact on the setting of the listed building therefore having a neutral impact.	Work to be undertaken by competent / suitably qualified contractors / workers to ensure work is carried out with minimal harm to historic fabric. Details and material samples to be submitted to Local Planning Authority to ensure control through a suitable planning condition.
Construction of new open porch canopy.	New covered and open entry porch is proposed to the building for use by the proposed and existing businesses.	Small non-harmful impact on the appearance and character of the building. No loss / harm to significant wall fabric. Aids in establishing the new optimum viable use of the building. Low beneficial / neutral impact.	Small positive contribution to the setting of the listed building. No harm to setting. Modern additions should not be considered to be at odds with historic buildings and settings.	Work to be undertaken by competent / suitably qualified contractors / workers to ensure work is carried out with minimal harm to historic fabric. Details and material samples to be submitted to Local Planning Authority to ensure control

Demolition of existing detached agricultural building (now obsolete.)	The building is now obsolete and is now in a state of dilapidation caused as a result of redundancy and demolition is recommended.	N/A. No harm to physical fabric of listed building. This element will have a neutral impact in terms of the physical fabric of the listed building.	The demolition of the dilapidating and redundant building will provide an enhancement to the setting of the listed building and will have a medium beneficial impact on its setting.	Work to be undertaken by competent / suitably qualified contractors / workers to ensure work is carried out with minimal harm to historic fabric.	through a suitable planning condition.
Proposed Landscaping	Associated landscaping to be incorporated into the site in order to provide enhancement and completeness to the conversion scheme.	N/A. No harm to physical fabric of listed building. This element will have a neutral impact in terms of the physical fabric of the listed building.	By landscaping the site around the converted building, the setting of the listed building will be enhanced and therefore providing a low beneficial impact.	Details and material samples to be submitted to Local Planning Authority to ensure control through a suitable planning condition. Work to be undertaken by competent / suitably qualified contractors / workers to ensure work is carried out with minimal harm to historic fabric.	
Proposed Car Parking	A new car parking is proposed to provide car parking amenity to the occupiers of the building.	N/A. No harm to physical fabric of listed building but is required in order to realise the new optimum viable use of the building and will therefore have a medium beneficial impact.	The proposed car parking is an amenity that is required in order to release the new optimum viable use of the building and will be required for the employees of the business which come to occupy it. This will have a neutral impact on the setting of the listed building.	Details and material samples to be submitted to Local Planning Authority to ensure control through a suitable planning condition. Work to be undertaken by competent / suitably qualified contractors / workers to ensure work is carried out with minimal harm to historic fabric.	

9.0 CONCLUSIONS AND RECOMMENDATIONS

9.1 Conclusion

Maintaining the active use of buildings such as the former agricultural building is a key building conservation philosophy and finding a new optimum viable use is essential where such buildings have become obsolete or threatened with redundancy. The conversion and change of use of former agricultural buildings has become commonplace and is both viable and sustainable and aids in the retention of heritage values and significance without adversely impacting on the character and appearance of these buildings and their settings.

The former agricultural building adjoining Old Sawley Grange is a building that now serves no particular purpose and is no longer in use as a church. Proposals have been formulated to convert the building into commercial use and the heritage significance and impacts have been addressed within this Heritage Statement.

Following an assessment of the impact of the proposed works on both the building and its setting, the harm caused by the proposals is minor and should be considered to be less than substantial in accordance with Paragraph 134 of the National Planning Policy Framework (2012), which states;

"Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use."

The negligible degree of harm caused cannot outweigh the long term benefits of the scheme in terms of adaptive re-use, regeneration, economic and employment generating benefits. The reuse of the existing building will maintain its presence and preserve the values that it represents, whilst minimising any potential harm to the listed building through dilapidation.

The National Planning Practice Guidance states that "Harmful development may sometimes be justified in the interests of realising the optimum viable use of an asset, notwithstanding the loss of significance caused provided the harm is minimised."⁹

As the proposals are to be considered as less than substantial harm, the harm must then be outweighed by the public benefits of the proposals, which includes heritage benefits such as;

- Sustaining or enhancing the significance of a heritage asset and the contribution of its setting, e.g. demolition of former agricultural building which is harmful to the setting of the listed building.
- Reducing or removing risks to a heritage asset e.g. redundancy and dilapidation.

⁹ National Planning Practice Guidance, paragraph 015, Reference ID 18a-015-20140306

- Securing the optimum viable use of a heritage asset in support of its long term conservation, through change of use.

The proposals provide all of the above heritage benefits and therefore public benefits. The significance of the building is sustained as a result of the proposed works which also removes risks concerning the threat to the building in terms of its redundancy and likelihood of dilapidation if left unoccupied. The proposals will secure a new optimum viable use for the building through commercial use which is a use consistent with the long term conservation of the building and has already proven to be successful through the implementation of a commercial use at Sawley Old Grange itself.

Should planning permission be forthcoming, the sustainable long term use of the building will be assured through the change of use as well as the existing buildings contribution to the local landscape. Such change should be managed to ensure that the conversion does not create any potential for the unnecessary harm to the heritage values of the building.

