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HAMMOND DRIVE : Residential Proposal



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planning solutions

PWA

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Bowland
Tree Consultancy Ltd

LIST OF DOCUMENTS

Planning Supporting Statement	Inspire Planning Solutions
Heritage Impact Assessment	Richard K Morriss & Associates
Structural Report	Phil Wright Associates
Tree Survey	Bowland Tree Consultancy
Bat Survey	Lynne Rushworth
Drawings	Peter Hitchen Architects
	PHA088-100 Existing Site
	PHA088-200 Proposed Site
	PHA088-300 Existing
	PHA088-400 Proposed
	Visualisation 1
	Visualisation 2

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INTRODUCTION

This statement supports the application for the restoration and conversion of two historic agricultural buildings in to a modest single storey family home.

The Applicant, Mr & Mrs Bowker live locally in Read and intend to preserve the picturesque character of the site and surrounding area. The proposal demonstrates a sympathetic and practical conversion whilst protecting, repairing, and preserving the heritage asset.

The application follows a Pre-Application process engaged with Ribble Valley Borough Council, during which the design was honed and adapted.

The design has been influenced by the advice received from the highly qualified consultants involved in the project, resulting in a design that has minimal impact on the heritage asset whilst restoring and securing the farm buildings' futures.

A Rigorous understanding of the history of the site has been obtained and nationally recognised conservation principles have been employed.

APPLICANT STATEMENT

“English Heritage believes that traditional farm buildings are more at risk from pressures on the countryside than any other type of historic building. A better understanding of this building stock is essential if the response to this challenge is to be effective.”

English Heritage, *The Conversion of Traditional Farm Buildings: A guide to good practice*

SITE APPRAISAL

The site is located to the North of the Read Hall estate, Read, midway between Whalley and Padiham. The site is well connected a short walk from Read, and the busy A671 which provides useful transport links.

Hammond Drive consists of a variety of historic and modern residential development and terminates with a collection of historic conversions, previously Read Hall Farm.

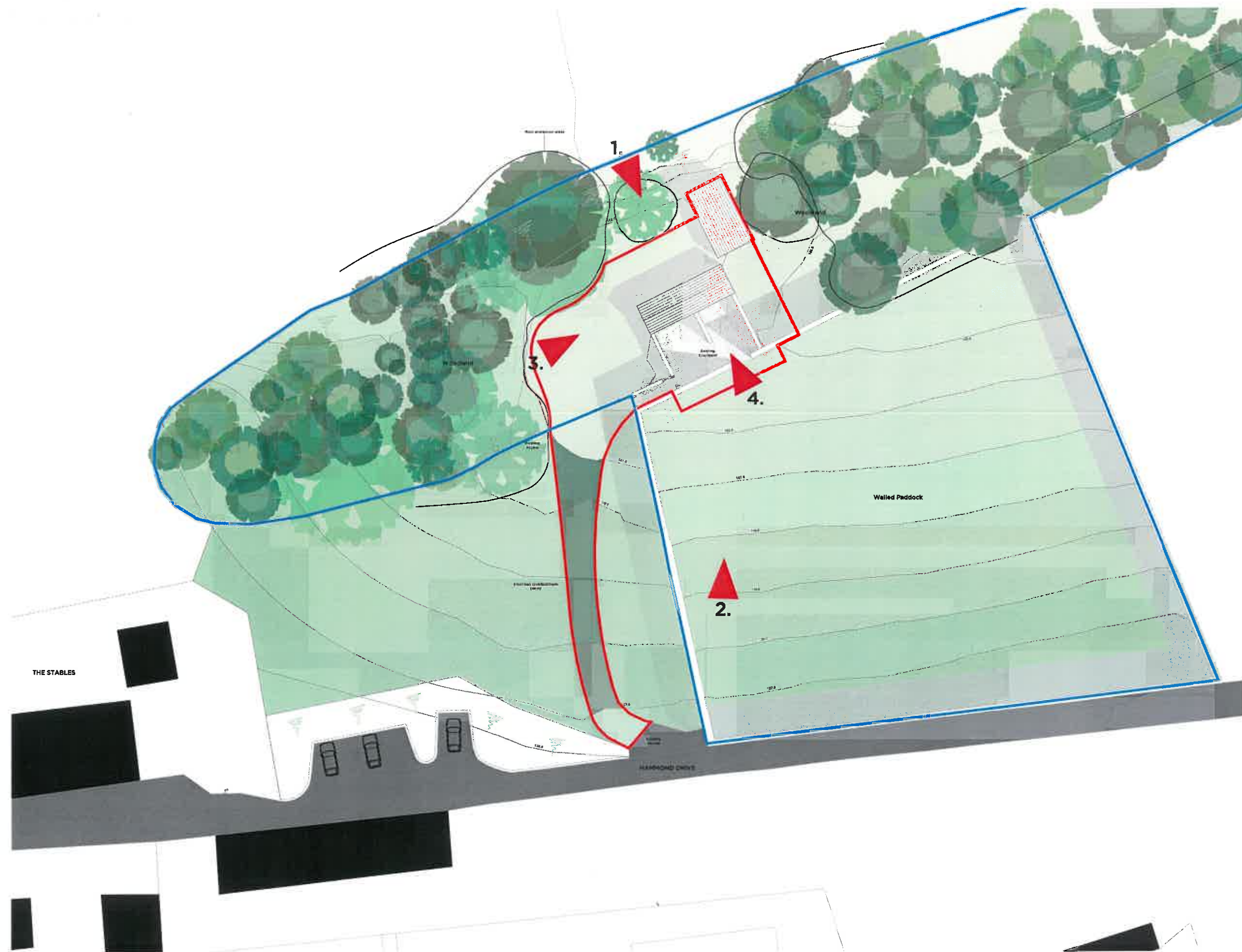
The site is raised above Hammond Drive to the North with far reaching views across the Calder Valley to the south with Wiswell Moor to the North.

The existing structures consist of two small historic farm buildings, and a walled courtyard, which abuts a larger walled enclosure, occasionally used as a paddock, separating the site from Hammond Drive.

The site is rural in nature and the two small structures are traditional farm buildings, which are classed as undesignated heritage assets.



SITE LOCATION



EXISTING SITE





1. South East View



2. North View



3. North East View



3. North West View



View from within walled meadow



View from Hammond Drive

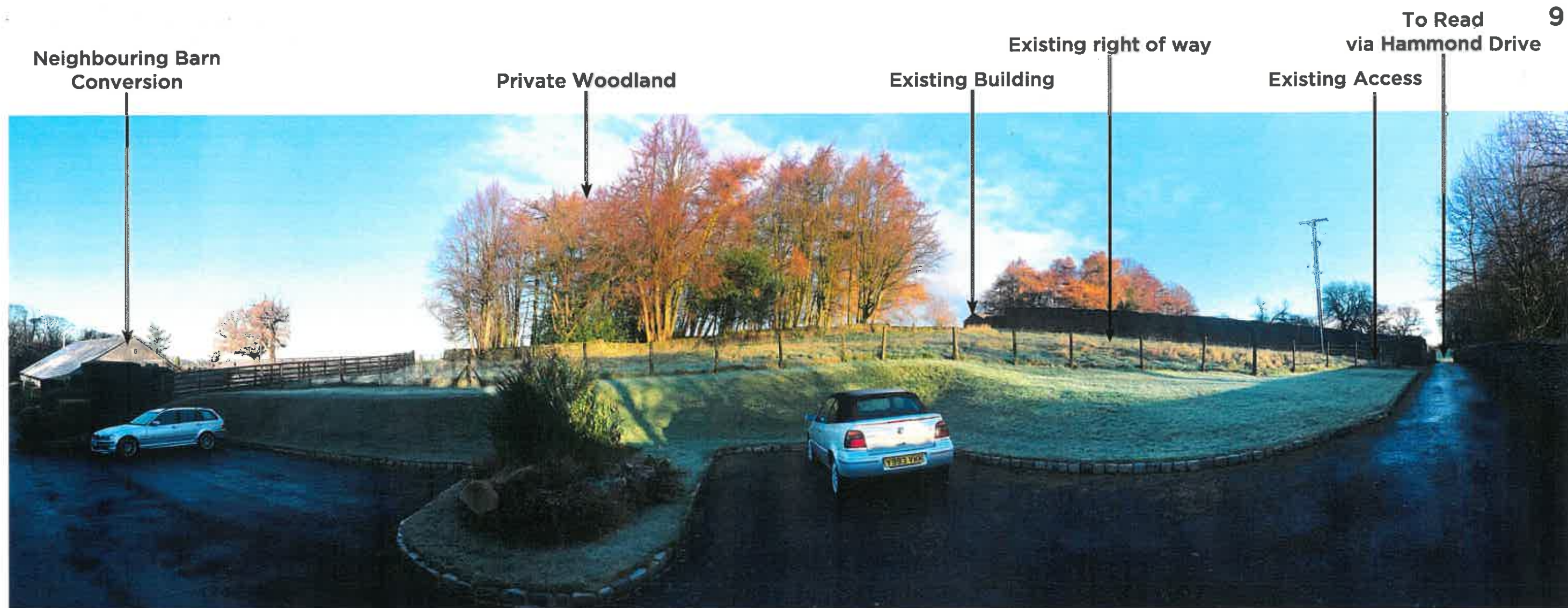


View of neighbouring properties



View of North East Elevation from within the private woodland

SITE CONTEXT



View from Hammond Drive

The site is located North of Hammond Drive and consists of two historic farm buildings and a walled courtyard. The courtyard abuts a walled enclosure which slopes back down to Hammond Drive and is currently utilised for occasional grazing.

The site is situated between two small private woodlands and cannot be easily viewed from Hammond Drive. Read Hall farm is a collection of historic conversions which forms a small hamlet only 80 metres to the South West. The proposal is to convert and restore the last remaining farm buildings relating to the historic Read Hall estate.

There are extensive recent developments which have been completed and approved further along Hammond Drive to the East. A Detailed overview of historic and recent planning approvals can be seen on pages 12 and 13.

“Traditional farmsteads are an irreplaceable source of character in the English countryside. However, without appropriate uses to fund their long-term maintenance and repair, they will disappear from the landscape. While poor adaptation poses a threat, new commercial, residential or other uses that enhance their historic character and significance are to be encouraged.”

Historic England, *Adaptive Reuse of Traditional Farm Buildings*



NORTH EAST ELEVATION

1. Random Rubble 1
2. Random Rubble 2
3. Stone Coping
4. Missing Coping
5. Pointed Verge
6. Stone Heads & Sills
- 6a. Stone Jambs
7. Natural Slates
8. Timber
9. Stone Parapet



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION AA

**SECTION BB**

NORTH WEST ELEVATION

EXISTING

The character and setting of the site is typified by the two simple structures perpendicular to one another when viewed from from the North and West. The distinctive monopitch and double pitched roofforms can only be viewed at close proximity to the site.

A small walled yard to the south, once fully enclosed, abuts the large walled paddock; however a large section of this wall has collapsed. When viewed from Hammond Drive the site is characterised by the largely continuous walled enclosure.

The setting, character and context of these structures has been rigorously appraised, with additions designed to sensitively protect and enhance the heritage asset.

The materials and detailing are simple, functional and rugged. Historic alterations to the structures for a variety of uses can be seen; these details are discussed in great depth in the Heritage Impact Assessment.



4, 6, 6a, 7, 8



5, 7, 9



1.

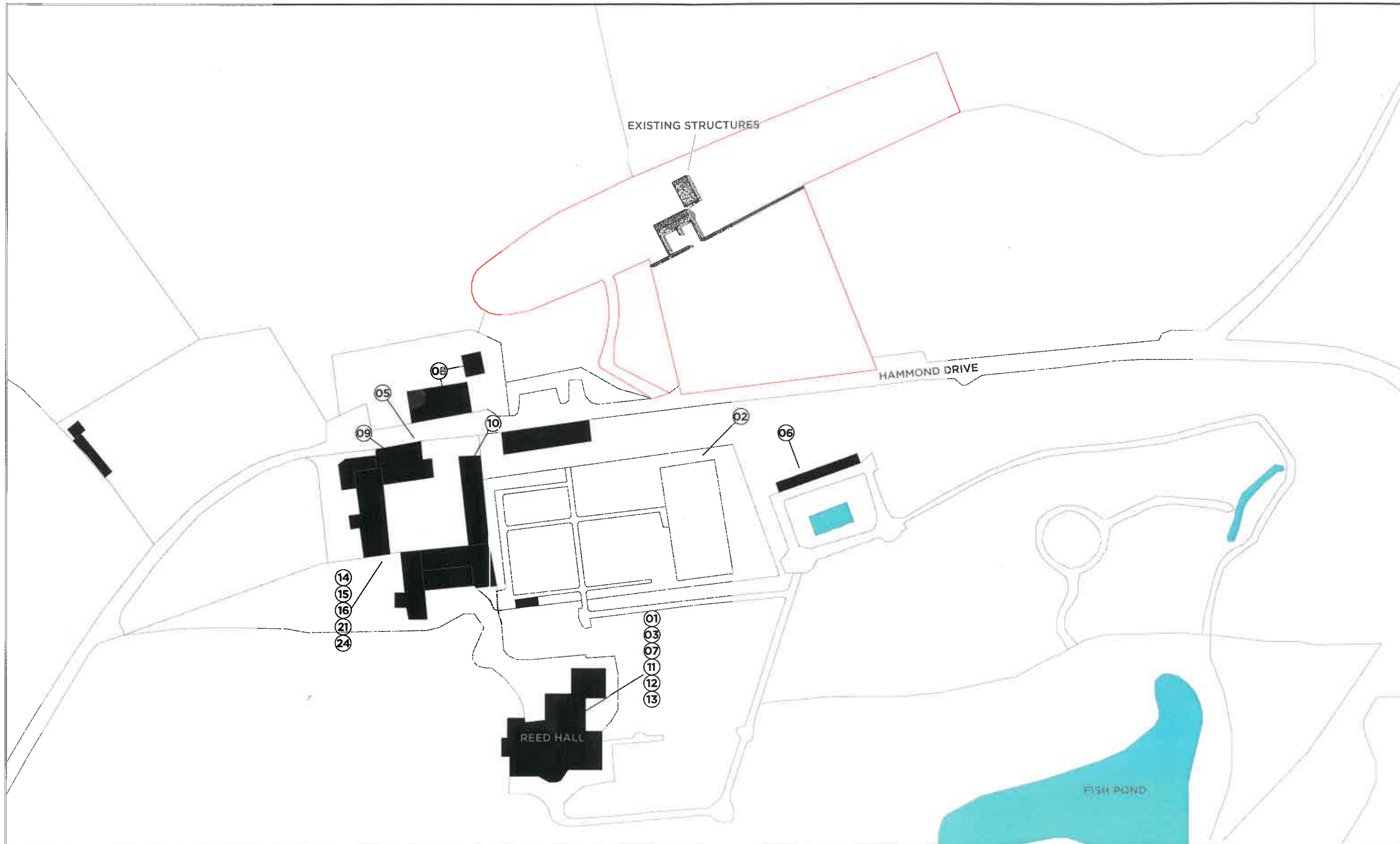


2.

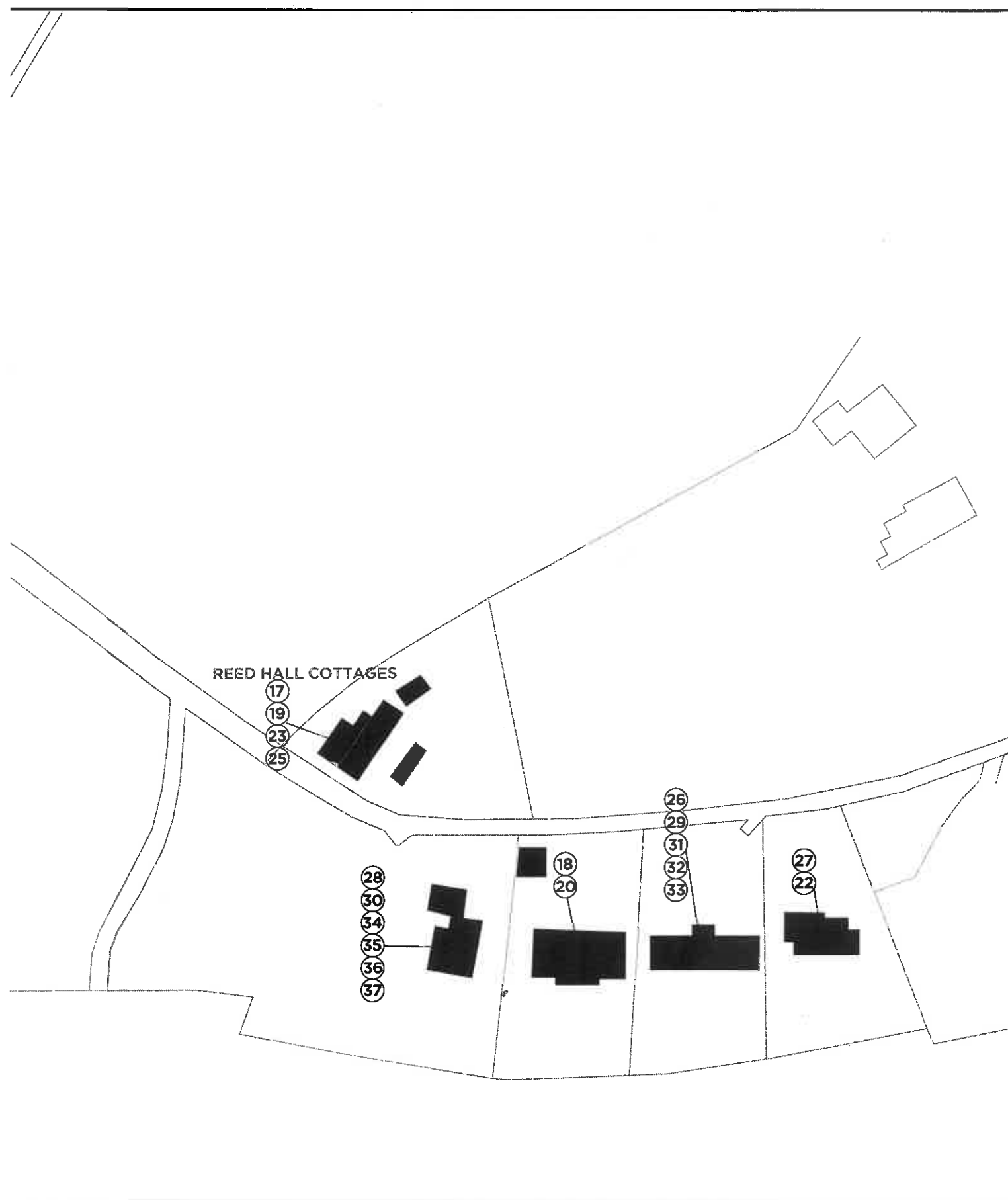


6, 6a, 8

CHARACTER



PLANNING HISTORY



Hammond Drive has been extensively developed over the years, with farm conversions and large new build properties and extensions. Please see the adjacent plan detailing a planning history of approvals for the area.

Patterns of land use reflect cultural factors, climatic conditions and the physical structure of the landscape. The distribution of farmsteads and their dates of foundation are intimately linked to historical field and settlement patterns in the landscape. -

English Heritage, *The Conversion of Traditional Farm Buildings: A guide to good practice*

1. 3/75/1275 - Internal alterations to Read Hall
2. 3/75/1383 - Car Park
3. 3/76/0165 - Extension to Read Hall
4. 3/76/0266 - New sewer
5. 3/76/0322 - Read Hall Golf & Country club
6. 3/76/0336 - Sports Centre
7. 3/87/0075 - Alterations to Read Hall
8. 3/91/0662 - Read Hall Unit 3 (House + Garage)
9. 3/93/0200 - Read Hall Unit 4
10. 3/94/0101 - Read Hall Unit 2
11. 3/94/0206 - Alterations to Read Hall
12. 3/94/0207 - Alterations to Read Hall
13. 3/96/0344 - Installation of satellite
14. 3/96/0632 - New window to the Close
15. 3/98/0088 - Alterations to the Close
16. 3/98/0089 - Extension to the Close
17. 3/03/0979 - Proposed extension to 1 Read Hall Cottages
18. 3/04/0730 - New garage roof (6 Hammond Drive)
19. 3/07/0702 - Proposed extension to 1 Read Hall Cottages
20. 3/07/1155 - Proposed 2 storey house (6 Hammond Drive)
21. 3/08/0048 - Alterations to the Close
22. 3/08/0169 - Conversion to garage (2 Hammond Drive)
23. 3/08/0466 - Alterations to Application (1 Read Hall Cottage)
24. 3/08/0771 - Alterations to the Close
25. 3/10/0363 - Proposed extension to 1 Read Hall Cottages
26. 3/12/0468 - Fell Beech Tree (4 Hammond Drive)
27. 3/13/0030 - Proposed extensions to 2 Hammond Drive
28. 3/13/0513 - Two proposed dwellings (8 Hammond Drive)
29. 3/14/0578 - Extensions & alterations to 4 Hammond Drive
30. 3/14/0751 - Single Dwelling (8 Hammond Drive)
31. 3/15/0017 - Extensions & alterations to 4 Hammond Drive
32. 3/15/0557 - Discharge of conditions (4 Hammond Drive)
33. 3/15/0869 - Amendment to Planning (4 Hammond Drive)
34. 3/16/0296 - Two proposed dwellings (8 Hammond Drive)
35. 3/16/0615 - Discharge of conditions (8 Hammond Drive)
36. 3/17/0115 - Alterations to design (8 Hammond Drive)
37. 3/17/1071 - Discharge of conditions (8 Hammond Drive)





17 / 19 / 23 / 25



Read Hall Farm Conversions



20



17 / 19 / 23 / 25

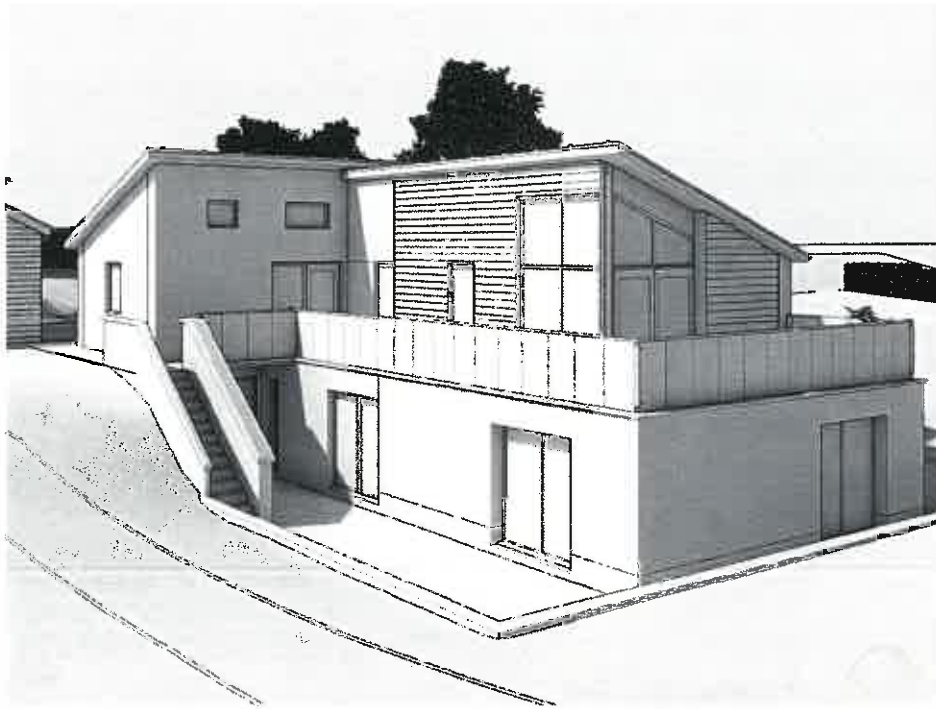


Read Hall Farm Conversions



Read Hall Farm Conversion

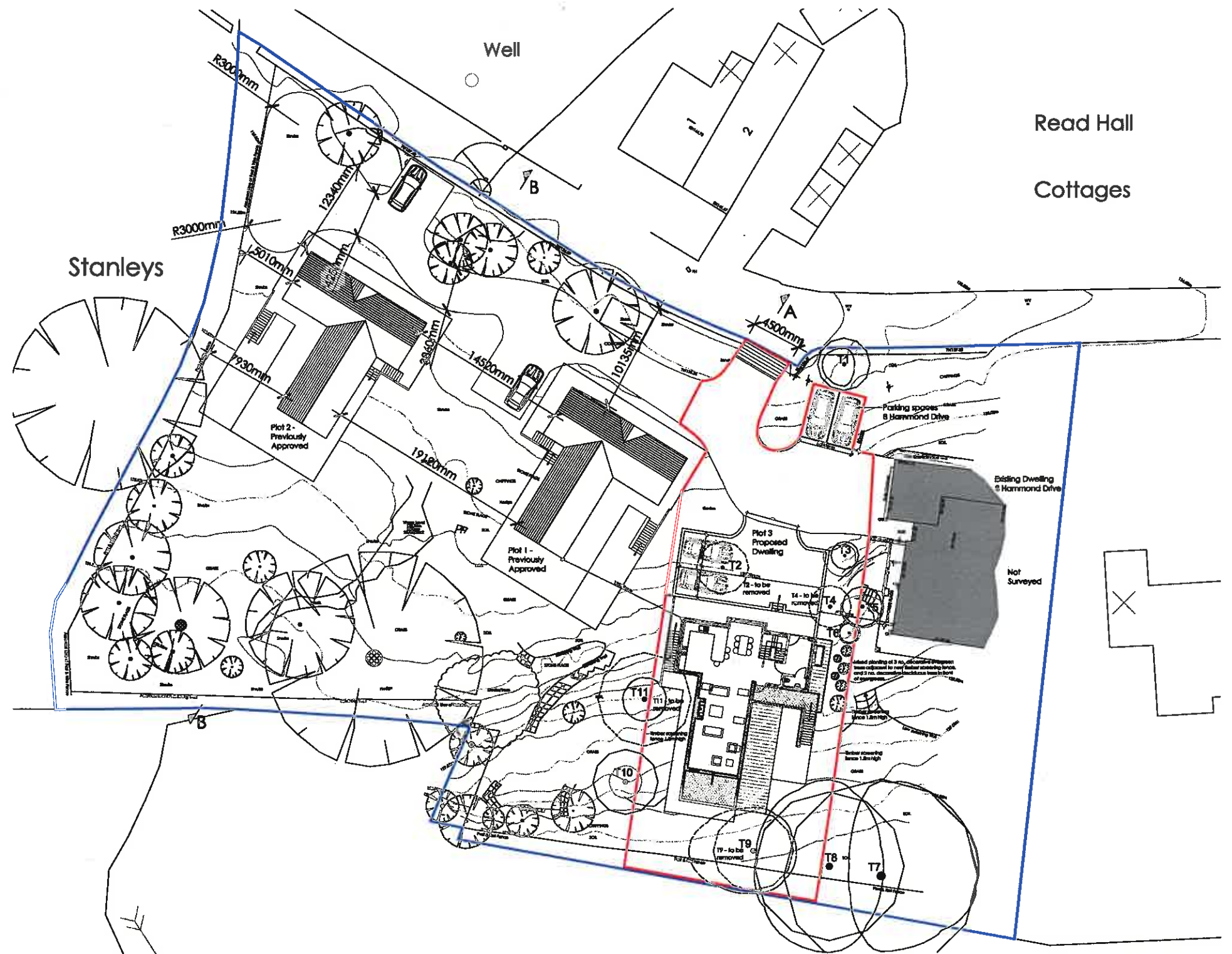
PLANNING HISTORY



36

There have been 3 new dwellings recently approved within the curtilage of number 8 Hammond Drive, with further approvals to amend the look of two of the properties.

Whilst the location of the approvals is a completely different context, the council have approved a contemporary design approach as well as a high density across the plot. Other consents within the last 30 years have included conversions and extensions to traditional farm buildings.



36 & 30

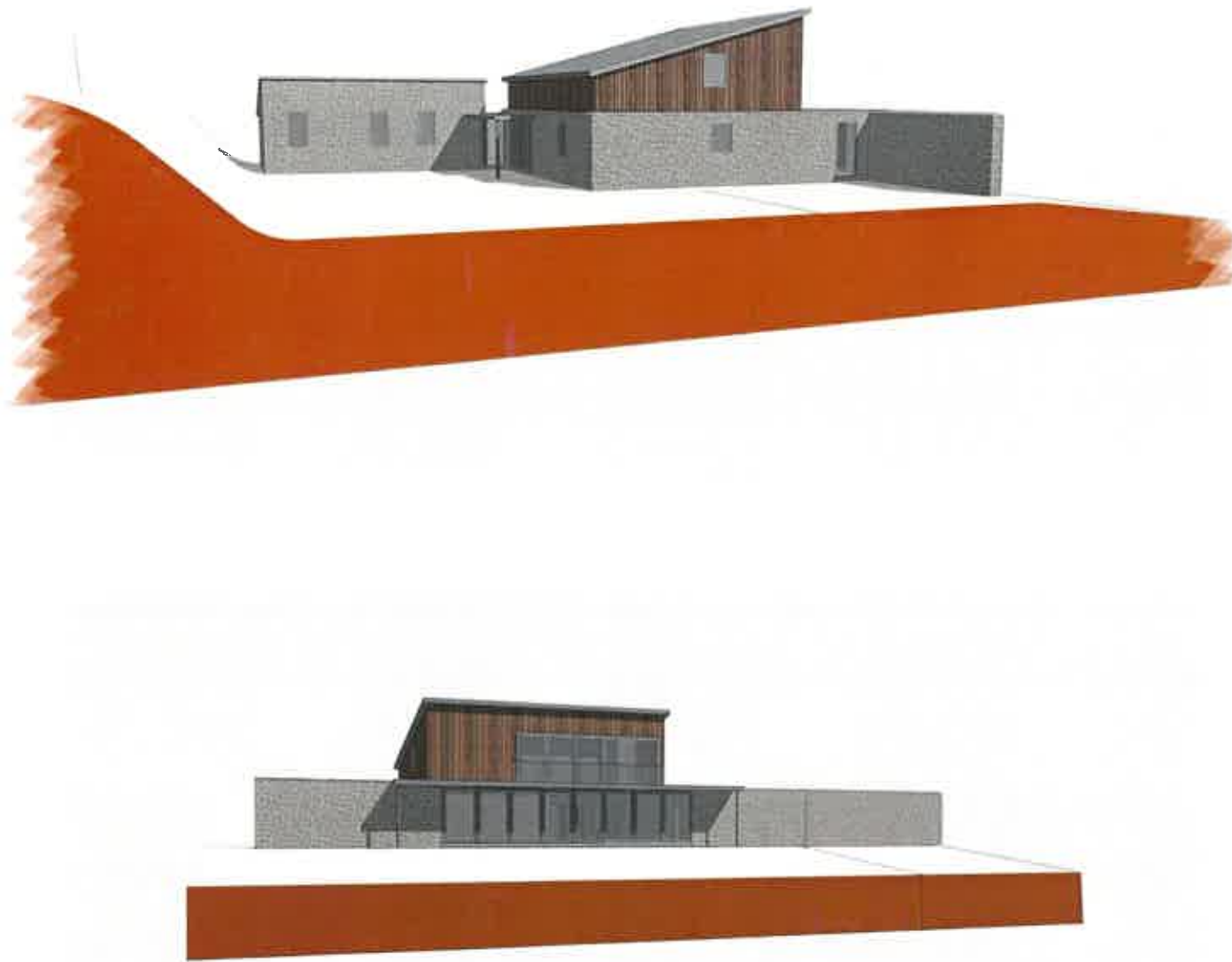


Visualisation - South East Elevation

THE PROPOSAL



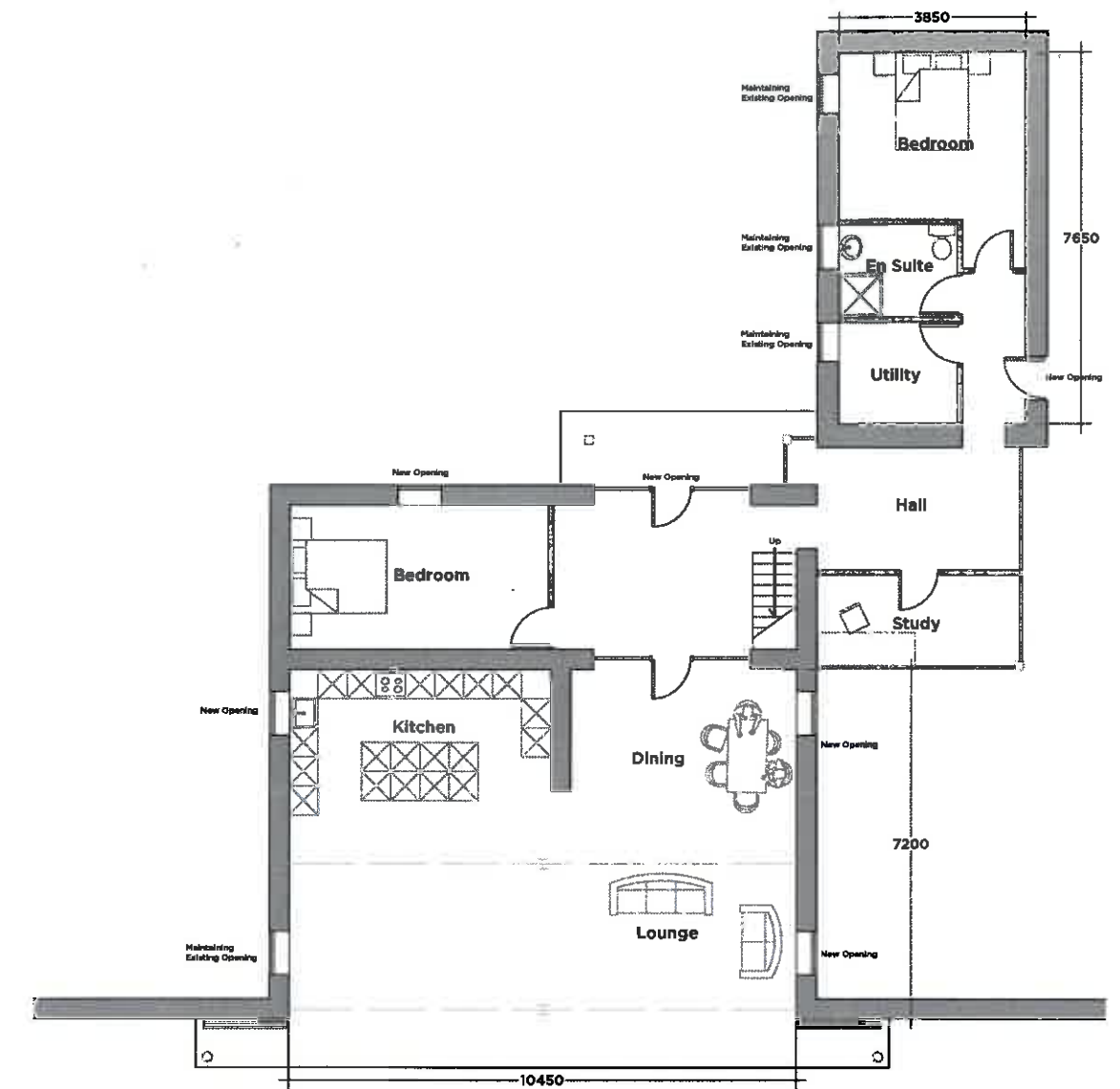
Visualisation - South West Elevation



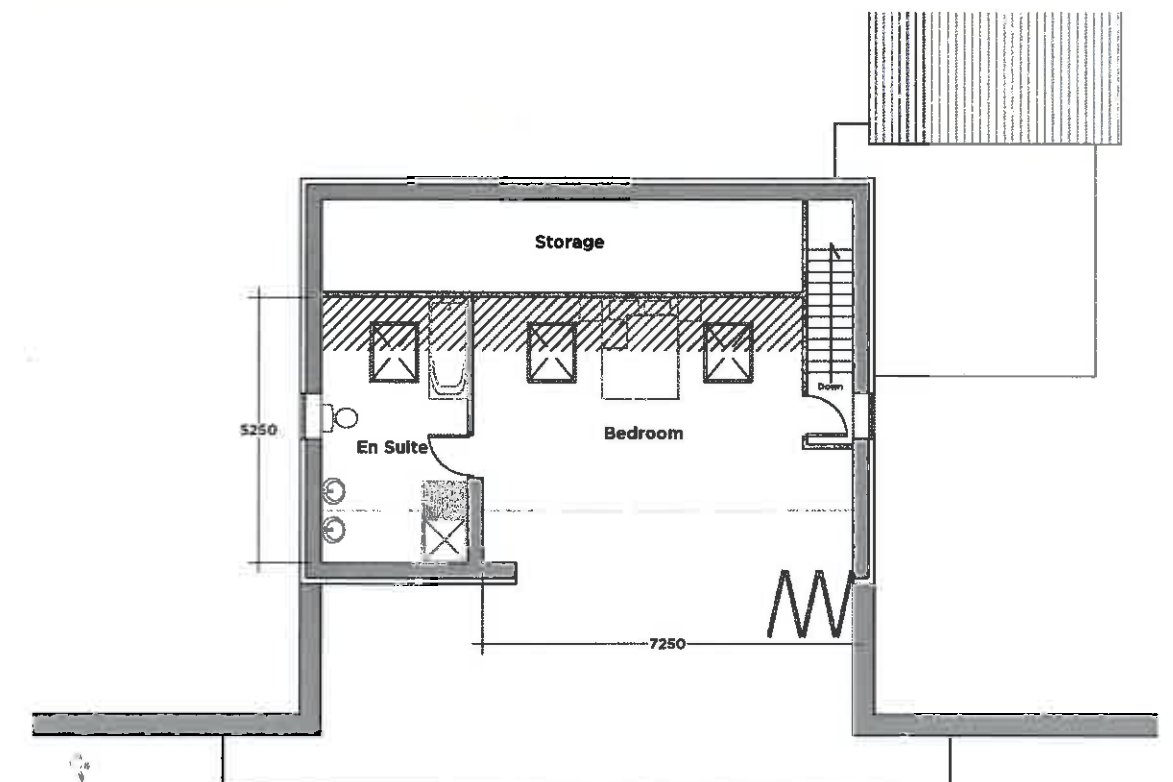
The initial scheme design included a first floor extension, retaining the existing footprint of the existing structures. The intention was to differentiate the new development with timber cladding and maximise the views to the North, as well as the south. Having entered into Pre-Application discussions with RVBC, it transpired that a first floor extension would be too detrimental to the character of the heritage assets.

The principle of the new dwelling was accepted and a second, single storey, scheme was explored (overleaf).

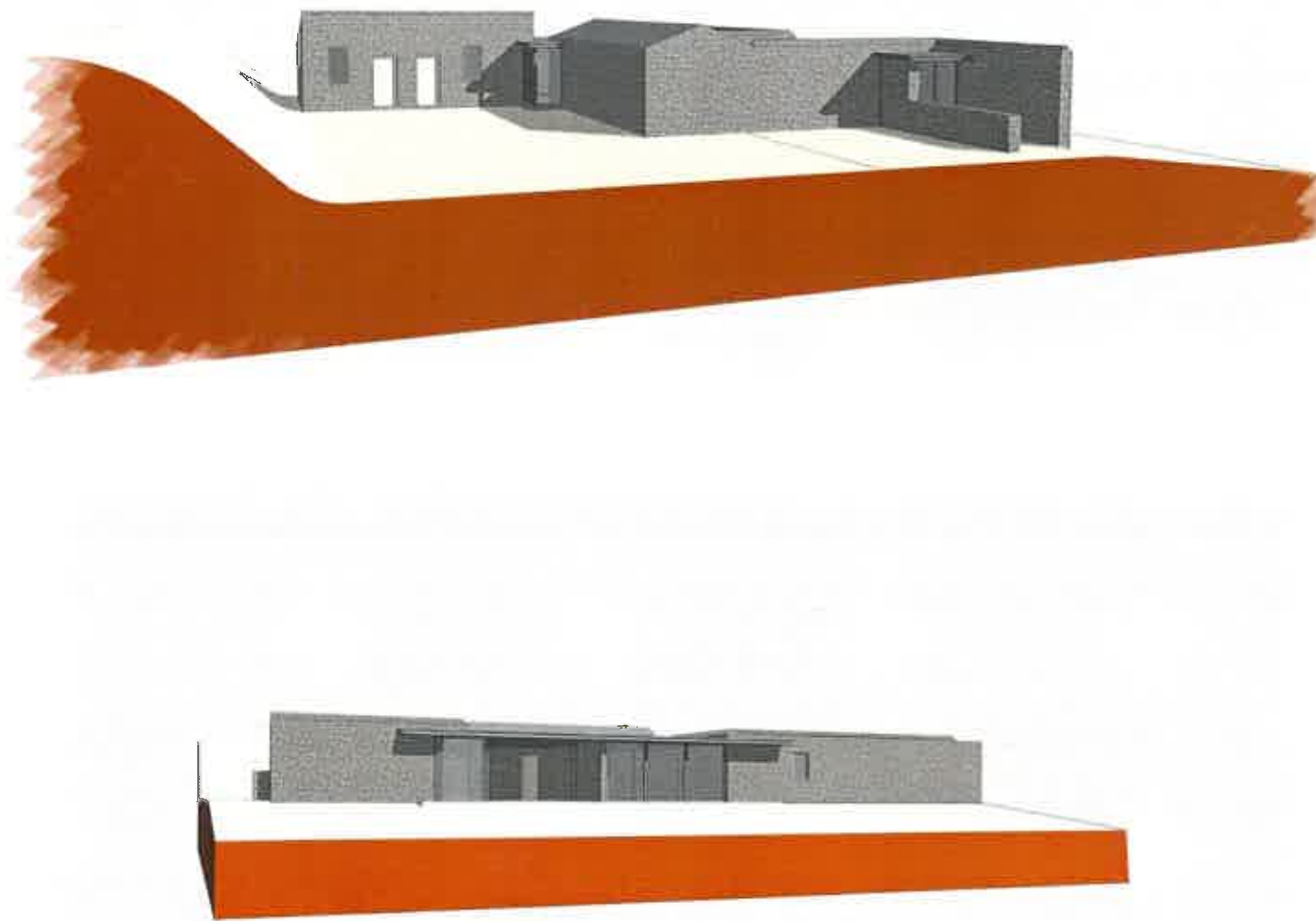
DESIGN STORY



PROPOSED GROUND FLOOR PLAN



PROPOSED FIRST FLOOR PLAN

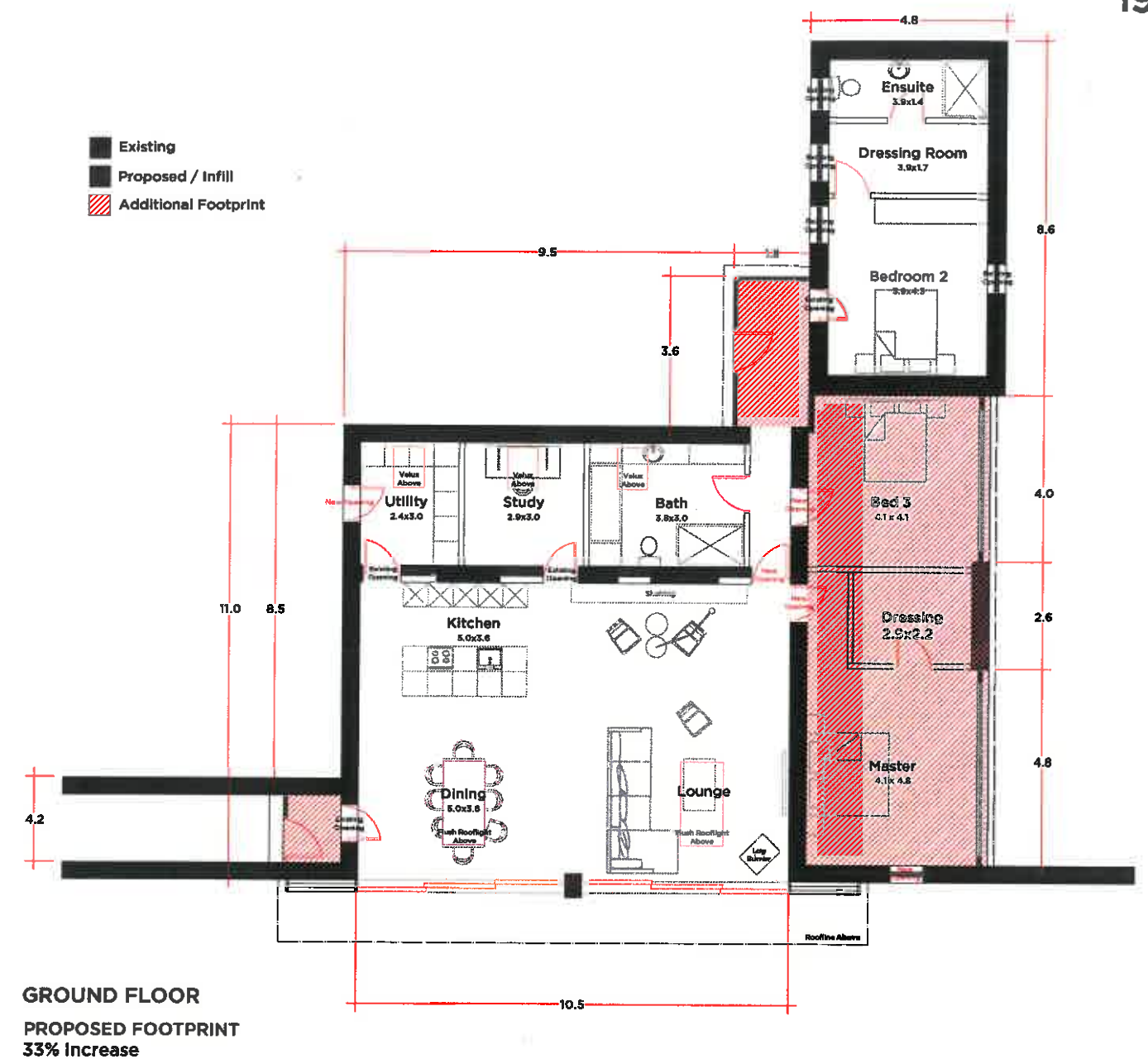


The new approach is humble and submissive to the existing structures. As much of the existing fabric and form of the heritage asset as possible is retained, whilst concealing the new development from view. A flat roof is concealed behind the parapet of the boundary walls with a canopy extending out above the glazed south elevation, casting shadow onto the glass to eliminate glare and reflection.

New openings are kept to a minimum and new additions are given a simple, low profile flat roof to allow the existing massing and roof forms to retain inherent character. The modern extensions are submissive and clearly legible as contemporary development, whilst allowing the existing character to remain dominant.

Following the Pre-Application response, the South Western porch has also been removed.

Mr & Mrs Bowker intend on constructing a beautiful home so they will not need to move again and their desire to create a 3 bedroom dwelling to support thier family needs in order to deem the restoration and conversion as viable.



“To prevent confusion, new work should express modern needs in a modern language and add to, rather than detract from, the building’s historic provenance. This requires an explicit understanding of what is important and interesting about the old building...”

New Design For Old Buildings p.xvii

If adaptive reuse is the most sustainable option it will help to determine which elements of the building are most worthy of retention, and which may be lost with little or no detriment – sometimes indeed with beneficial effect. Such understanding will also help to inform pre-application discussions for the various consents that may be required.

English Heritage, *The Conversion of Traditional Farm Buildings: A guide to good practice*

The Pre-Application Response supported the principle of conversion which gave us confidence to move the project forward. The discussions also encouraged us along a more sympathetic and subservient approach.

The client instructed Richard K Morriss & Associates to carry out a very detailed heritage impact assessment to gain a thorough historical understanding of the site. Peter Hitchen Architects worked closely with Richard to ensure the proposal had a positive effect on the heritage asset.

Following advice outlined in the Heritage Impact Assessment, as well as various respected conservation bodies, a final scheme was developed which can be summarised as follows:

The existing structures are all to be retained and repaired. Alterations to the existing structures have been kept to an absolute minimum. Alterations are to be carried out in a sympathetic manner, allowing the history of the heritage assets to be expressed. Characteristic details and layout are to be retained. Minimal new openings will carry similar detailing to historic openings, whilst distinguishable as contemporary.

Extensions have been located on the existing footprint; kept to a minimum; or situated in the most discreet areas of the site. Extensions have been given a very low profile, with a simple form and language. New development is distinct from the existing so the works can be easily distinguished from the historic structures.

Crucially, all new development is to be reversible and constructed utilising lightweight structural principles.

"1. Understanding the construction and condition

2. Respecting the architectural and historic interest 3. of the building

4. Understanding the setting

5. Achieve high standards of design, repair and craftsmanship

6. Minimising alterations and loss to significant historic fabric

7. Retaining distinctive features

8. How to introduce daylight

9. Considering levels of subdivision

10. How to incorporate services and insulation

11. The necessity for extensions or new buildings

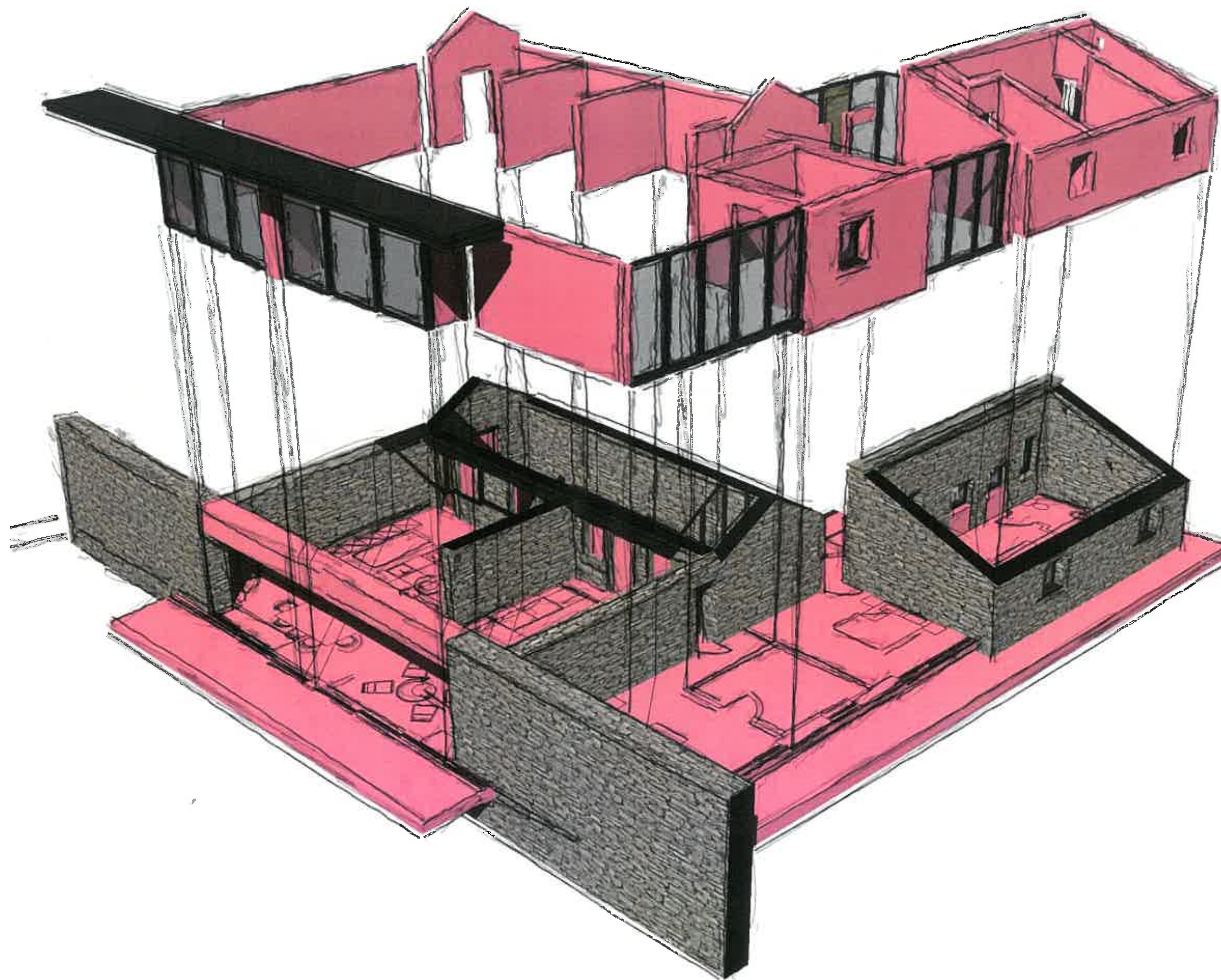
12. The reuse or retention of minor outbuildings

13. The retention or enhancement of wildlife habitats"

The Adaptive Reuse of Traditional Farm Buildings, Historic England

"A conservation approach begins from a position that historic fabric of all dates and types may hold interest, but the strength of this interest can be weighed against the long-term benefits of change"

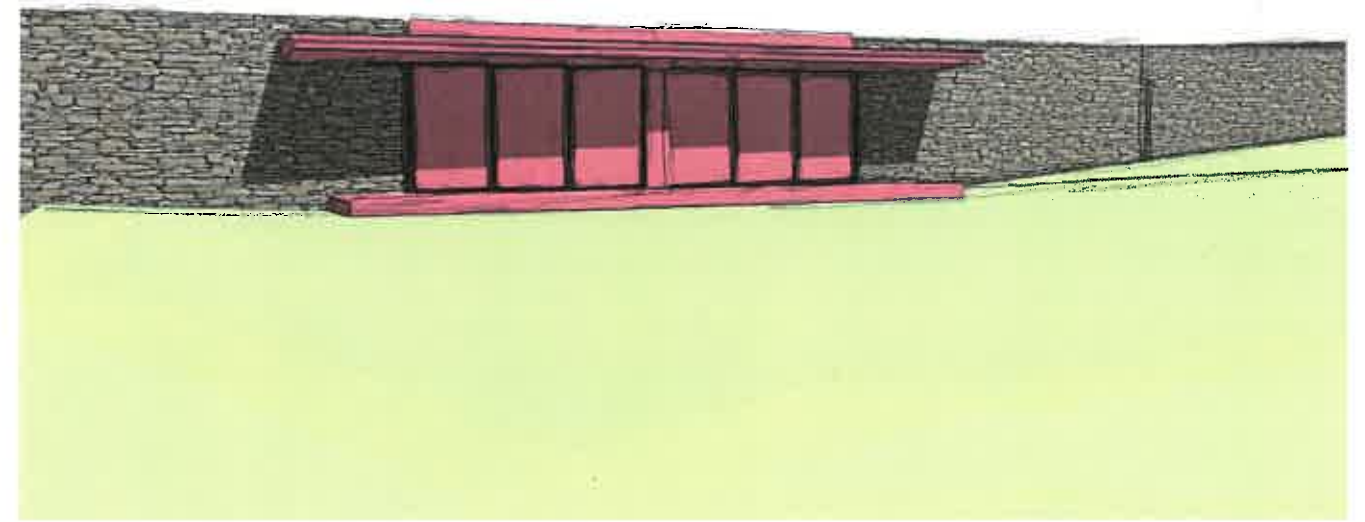
New Design For Old Buildings p.7





The South East Elevation fronts Hammond Drive, however it is not easily visible from the public domain. The capping stones of the boundary wall have been removed and the scheme includes the replacement of these - fully concealing the South East Elevation from Hammond Drive.

The proposal includes the removal of part of the structurally unsound Southern boundary wall and inserting a glazed elevation - shaded by a canopy to eliminate reflection and glare, giving the glass a dark appearance. A stone parapet will be added above the canopy, maintaining a consistent silhouette to restore the walled inclosure.



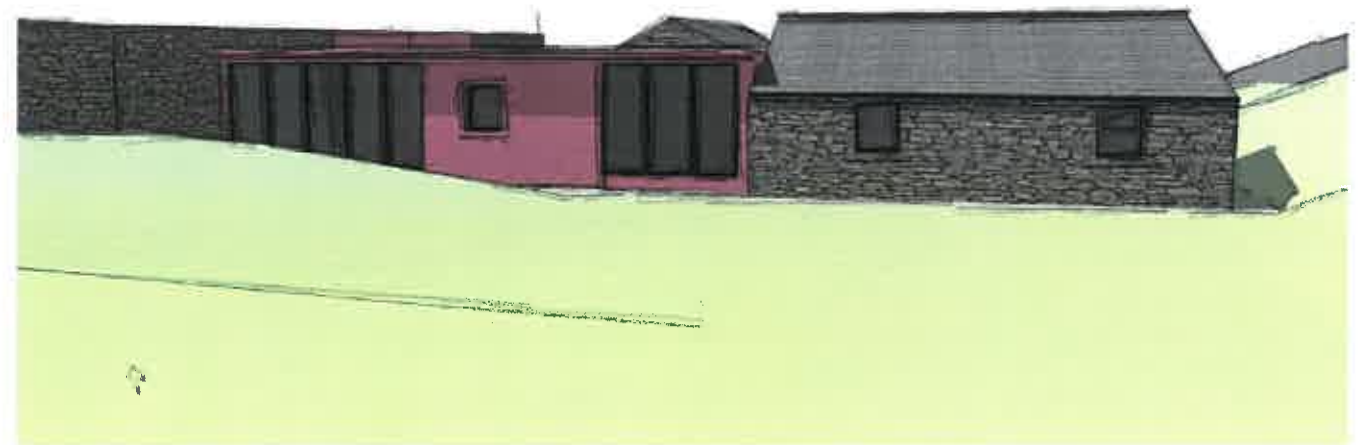
The South West Elevation remains largely unaltered, with a small and subservient flat roof glass entrance porch linking the two farm buildings.

This elevation was deemed the most prominent by RVBC and this small, low addition allows the two distinct buildings to be read separately, whilst the relationship between the two roof forms remains unaffected.



The North East elevation is the most private and only visible from within the private woodland. The extended area which is proposed here is largely glazed to allow light into the master and third bedroom.

Again, the roof is flat and low, concealed from view and allowing the existing roof forms to dominate the site.

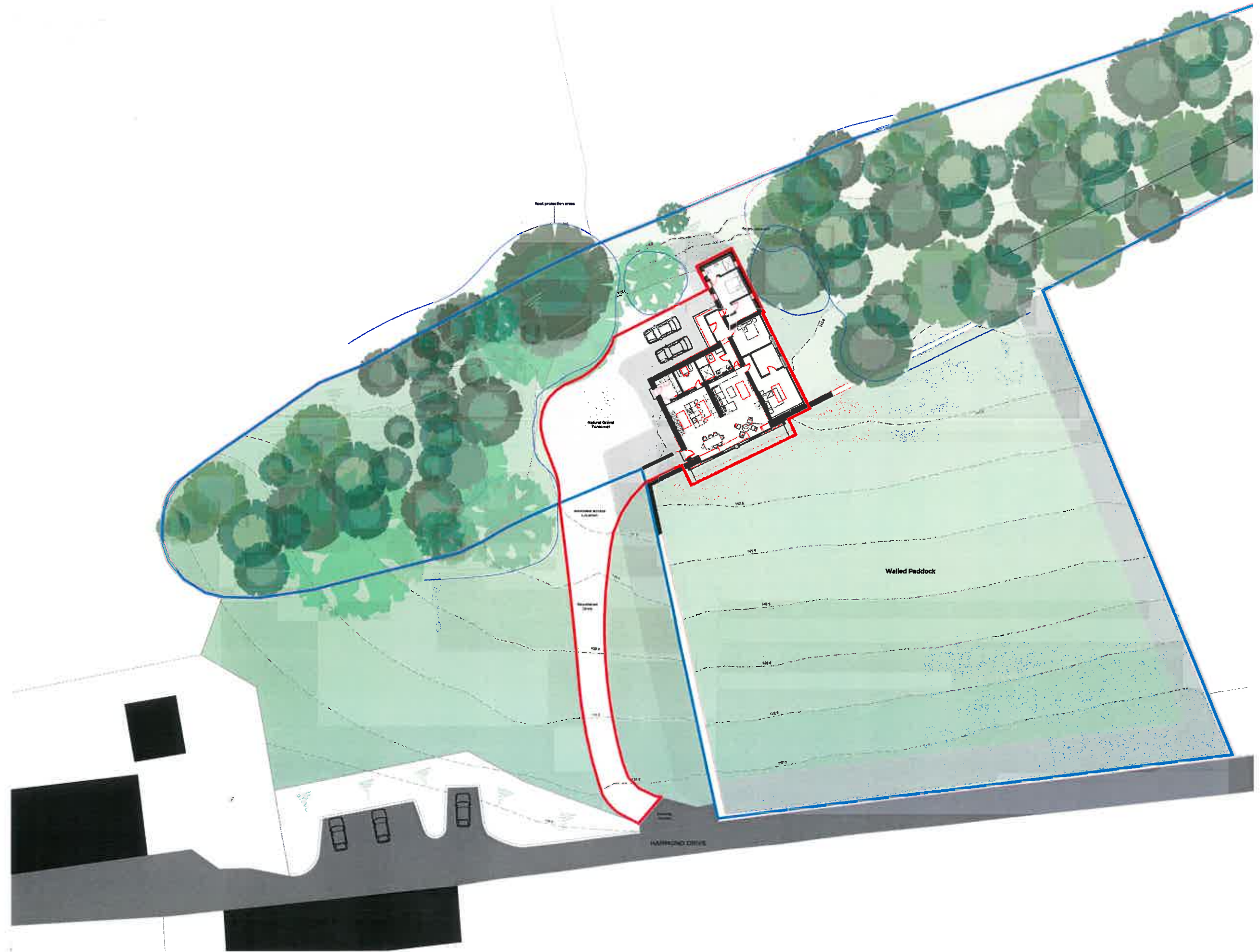


The proposed massing aims to work with the distinctive aspects of the existing forms and character of the site. The existing structures are set out in an L shape plan creating an enclosed courtyard to the south. The walled paddock to the south is a very distinctive aspect of the site and is currently partially collapsed. The collapse and poor structural condition of this southern wall threatens to greatly effect the inclosed character of the courtyard and grazing area to the south.

The scheme proposes to restore the enclosed nature of both areas and enclose the courtyard to create much needed usable living space. The roof is set lower than the existing boundary walls, invisible externally. From an external point of view, very little will change to affect this massing. The (now internal) yard will remain open plan, retaining and repairing the central spine wall and all historic detailing.

Respecting the architectural and historic interest of the building and its setting: pairing uses and buildings sensitively. With any conversion or adaptation there is a balance to be struck between incorporating the practical requirements of a new use and protecting the special character and significance of the farm building and its setting. These potential conflicts require careful and thoughtful design and often innovative solutions need to be found. Users may have to accept that the building imposes constraints that require some degree of compromise if its character and significance is to be retained. For example, in some cases headroom may be restricted and daylight levels may be lower than those ideally desired.

English Heritage, *The Conversion of Traditional Farm Buildings: A guide to good practice*



LAYOUT & ACCESS

Subdivision: the other difficult aspect of farm building conversion is how to incorporate various functions that require subdivision or compartmentation, particularly if a building is characterised and is significant for its open interior, impressive proportions and long sight lines. This is especially the case with threshing barns, including the upper floors of combination barns and loft areas. english heritage

English Heritage, *The Conversion of Traditional Farm Buildings: A guide to good practice*

The conversion includes the renovation and conversion of the two farm buildings; inclosure of the courtyard and a small flat roof extension to house the front entrance and two bedrooms.

All of the existing fabric is to be retained and restored, with the courtyard area remaining open plan to house the living, dining and kitchen areas.

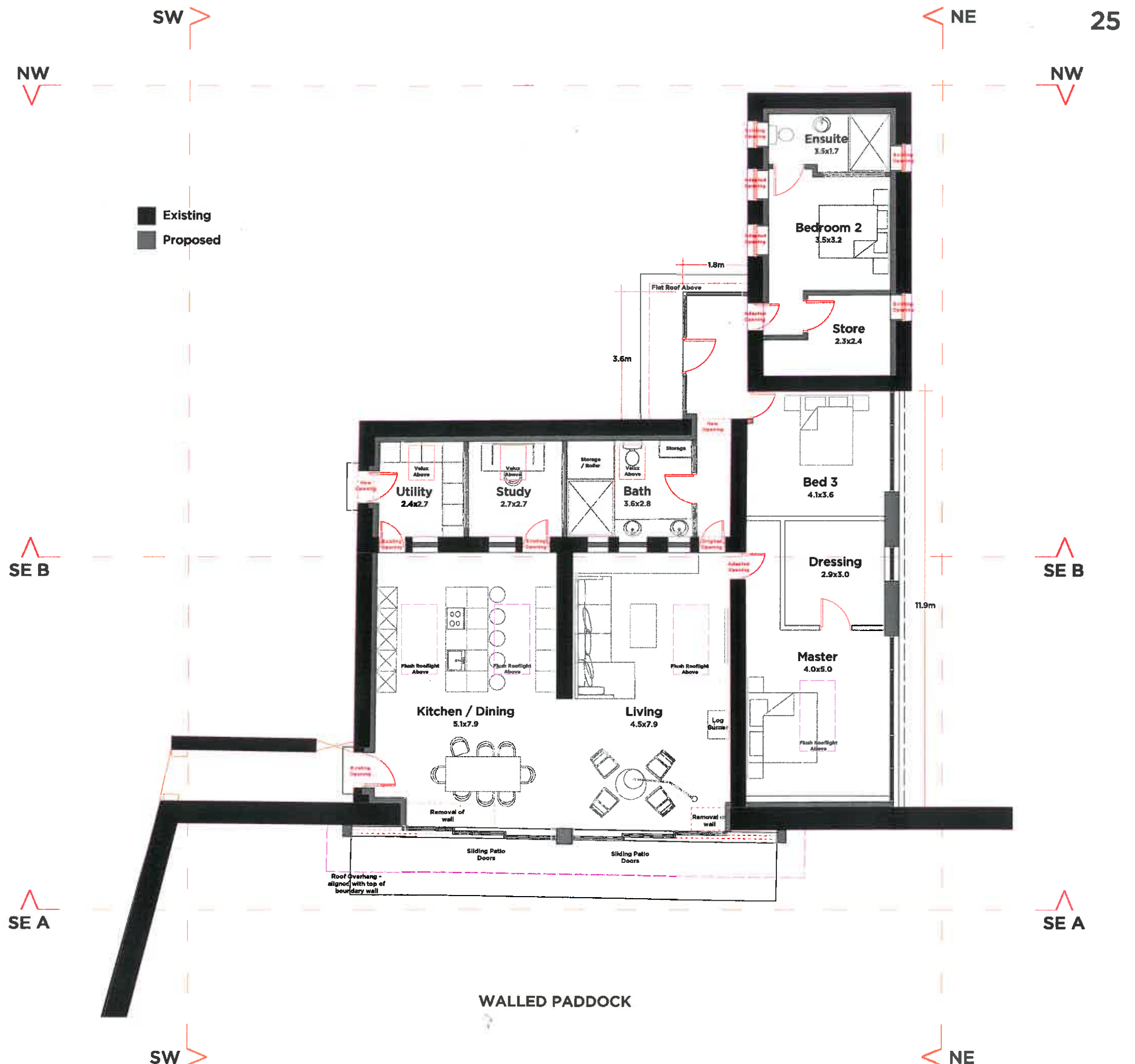
The two buildings will be subdivided, as they have been historically, to accommodate a bedroom, two bathrooms, utility and office.

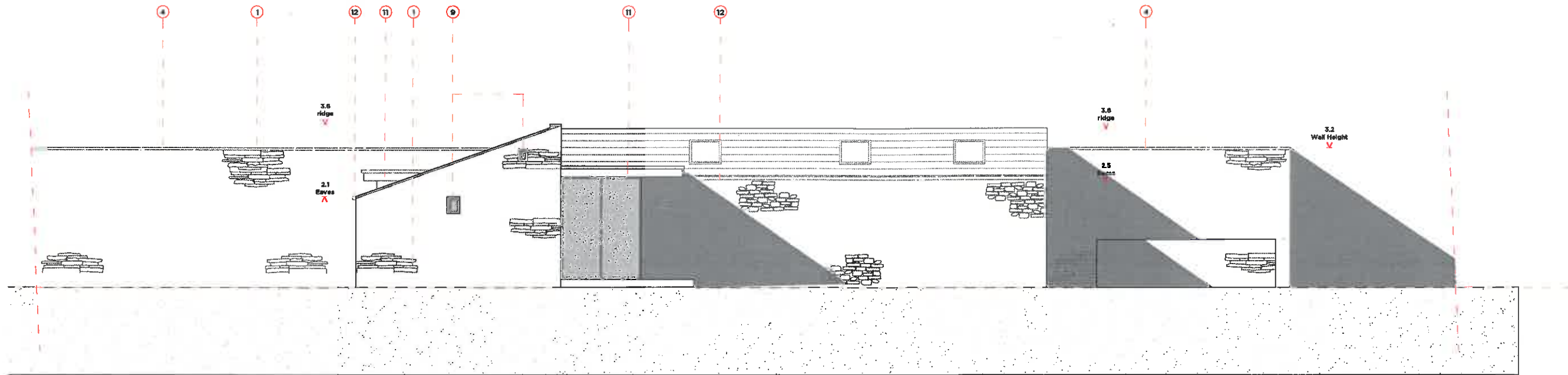
The existing external walls will be underpinned and structurally lined with insulated timber stud work, whilst also creating a cavity. The structural studwork will be reversible so that the structure could be returned to its current form in the future.

The floor plan represents the necessary accommodation required for Mr & Mrs Bowker to sustain their family life, as well as creating a financially viable property.

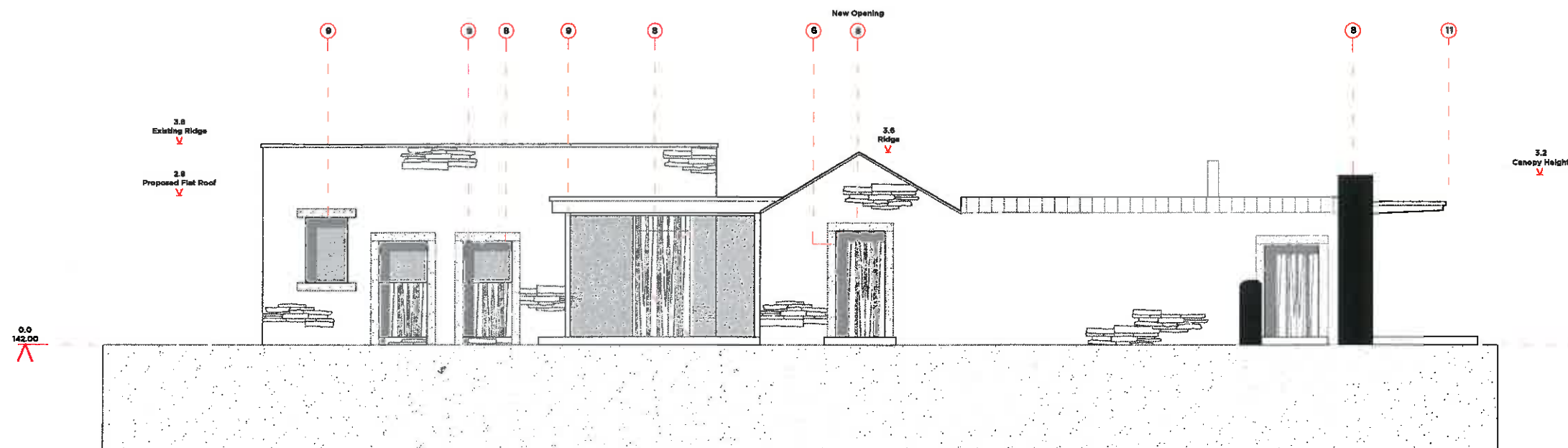
The existing right of way and forecourt is to be of a natural gravel. The existing access on to Hammond Drive is also to be maintained.

FLOOR PLAN





NORTH WEST ELEVATION



SOUTH WEST ELEVATION

PROPOSED ELEVATIONS

Materiality & Detailing

1. Random Rubble 1
2. Random Rubble 2
3. Stone Coping
4. Replacement Coping
6. Stone Surrounds
8. Oak Boards
9. Aluminium Window (Anthracite)
10. Aluminium Door (Anthracite)
11. Aluminium Fascia (Anthracite)
12. Aluminium Rainwater Goods (Anthracite)
13. Sliding Aluminium Doors (Anthracite)
14. Opening Retained

32



36 These carefully designed new openings with simple robust dark frames have been deeply recessed in the masonry for minimal impact.
© Huw Thomas

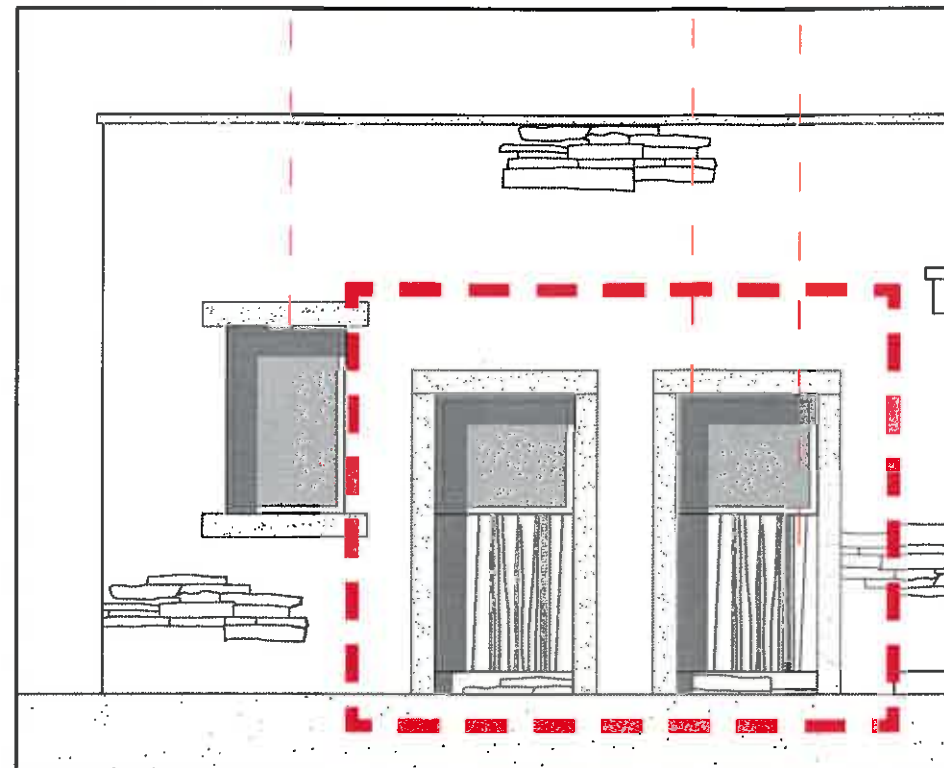
36



32 This residential conversion of an unlisted farm building near Durham has retained all the existing openings. Some have been changed from doorways to windows, but the door lintels and sills have been retained.
© Jen Deadman

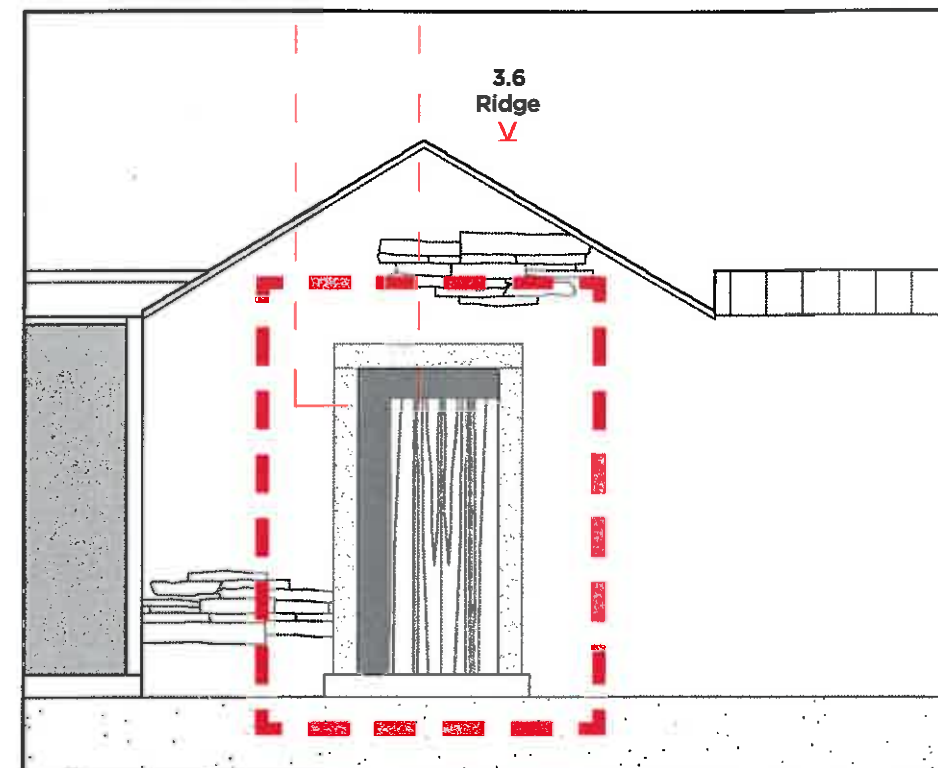
English Heritage, *The Conversion of Traditional Farm Buildings: A guide to good practice*

Adapted Openings



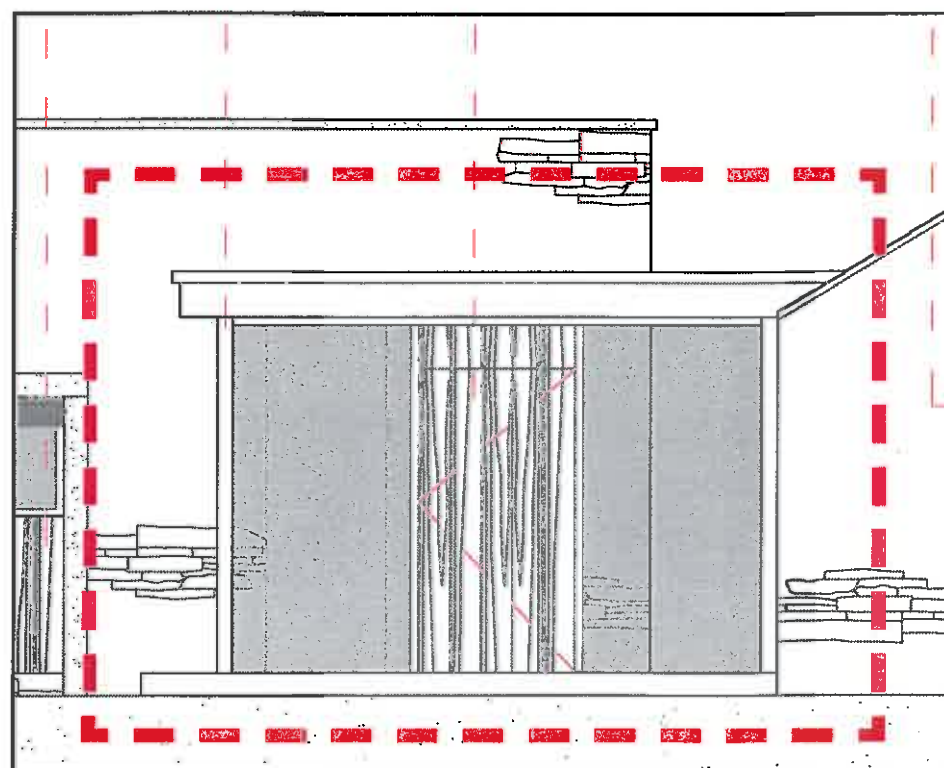
Two existing doorways to be part infilled to form windows. Infill panels to be timber clad and recessed to express the original opening.

New Opening



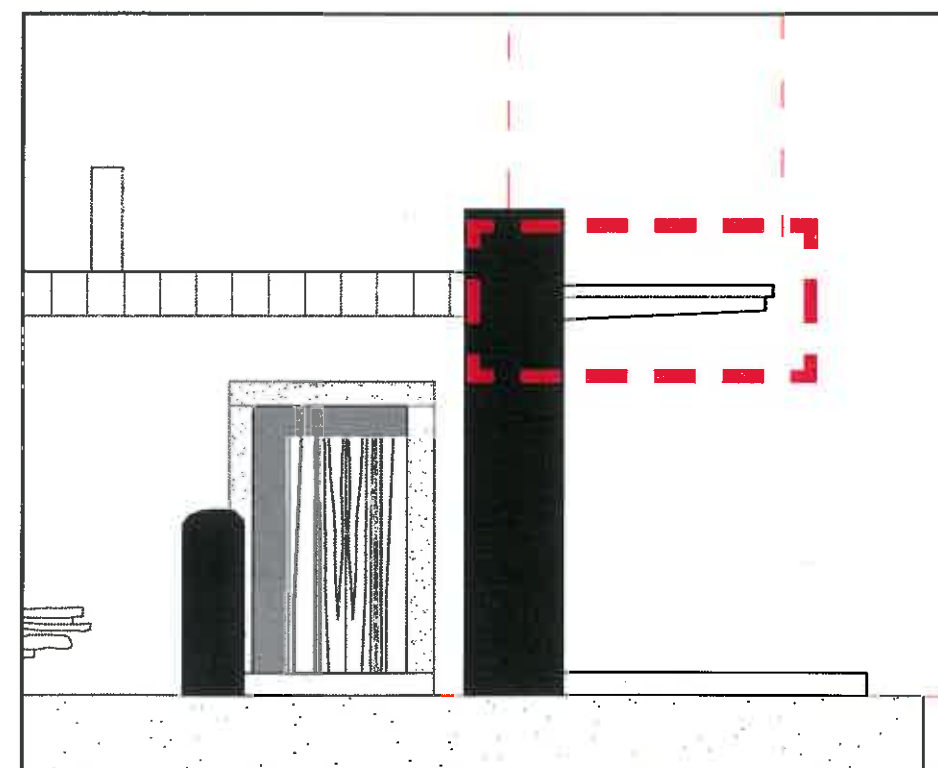
New opening to consist of simple stone surrounds to reference the existing detailing style. All external doors are to be timber boarded.

New Entrance



All new additions with flat roof to maintain a low profile, providing a consistent language and distinction between contemporary and historic fabric.

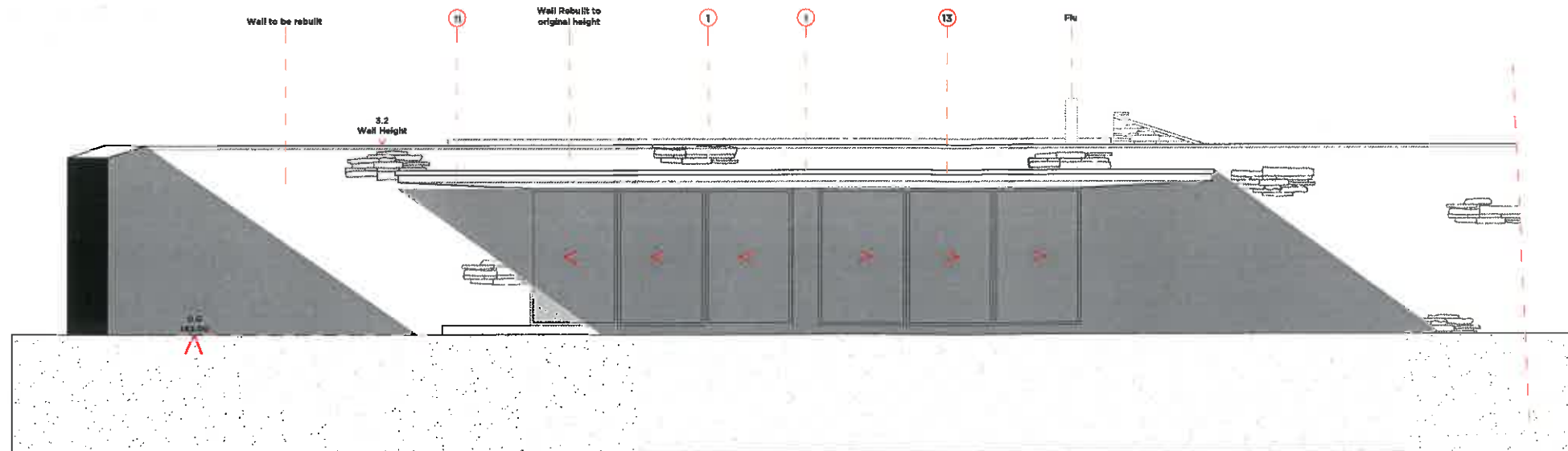
New Canopy



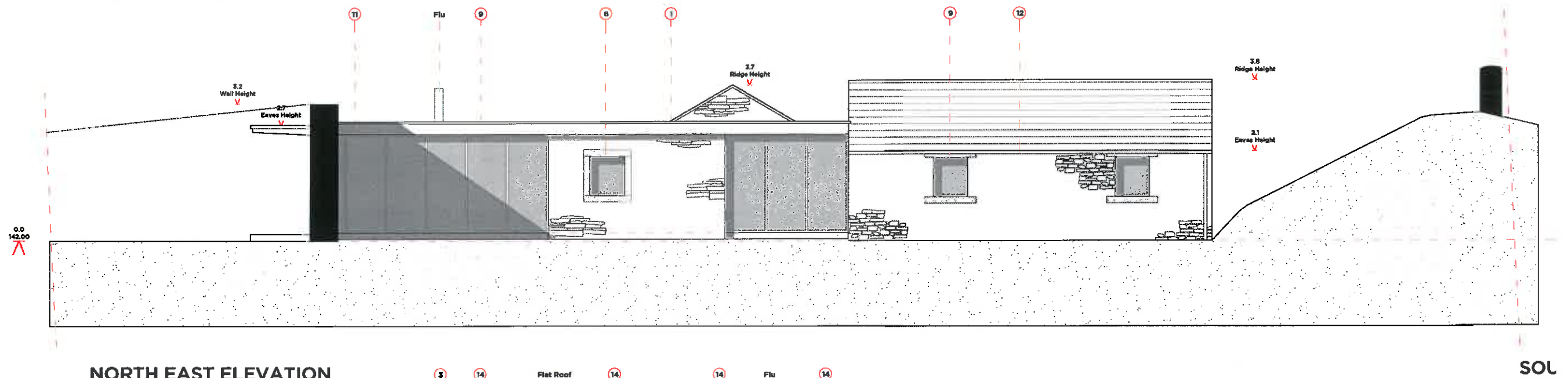
Flat roof canopy casts shadow over front glazing to eliminate reflection and glare.

If a new opening is to be inserted the correct proportions and detailing are a crucial aspect of the design. In many cases it is probably best to follow existing patterns on the building or other similar farm buildings. New openings can be expressed as modern interventions without resorting to making them appear 'historic'. This, however, requires some skill on behalf of the designer. With any new opening in a masonry structure the design of the lintel and sill need some careful consideration.

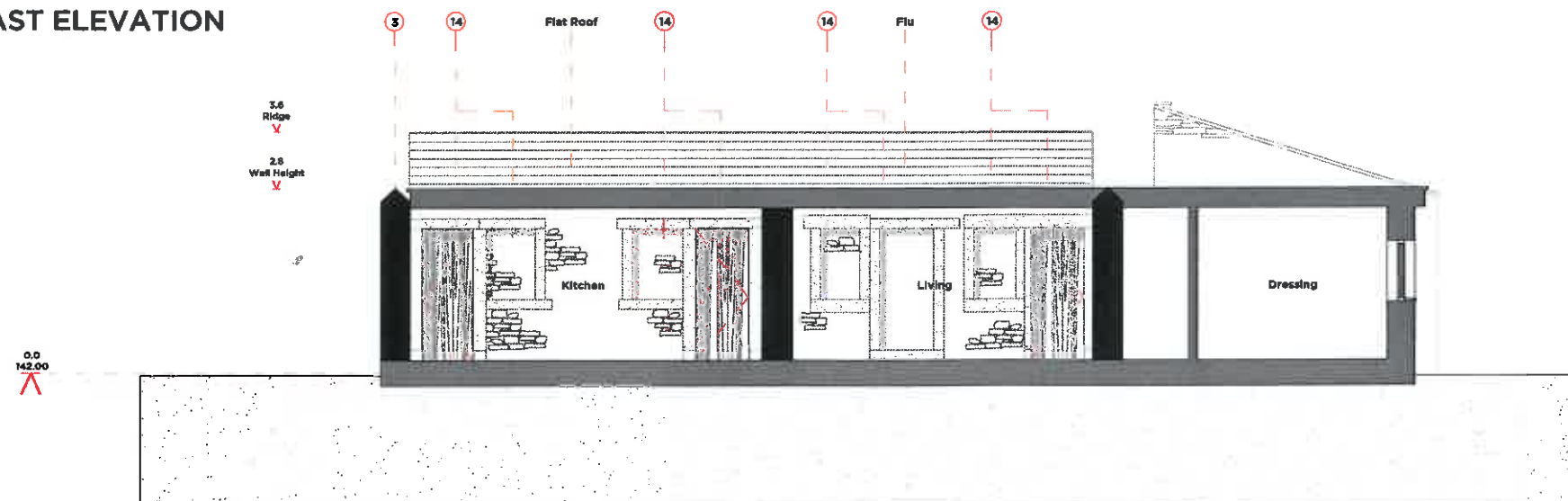
English Heritage, *The Conversion of Traditional Farm Buildings: A guide to good practice*



SOUTH EAST ELEVATION AA



NORTH EAST ELEVATION



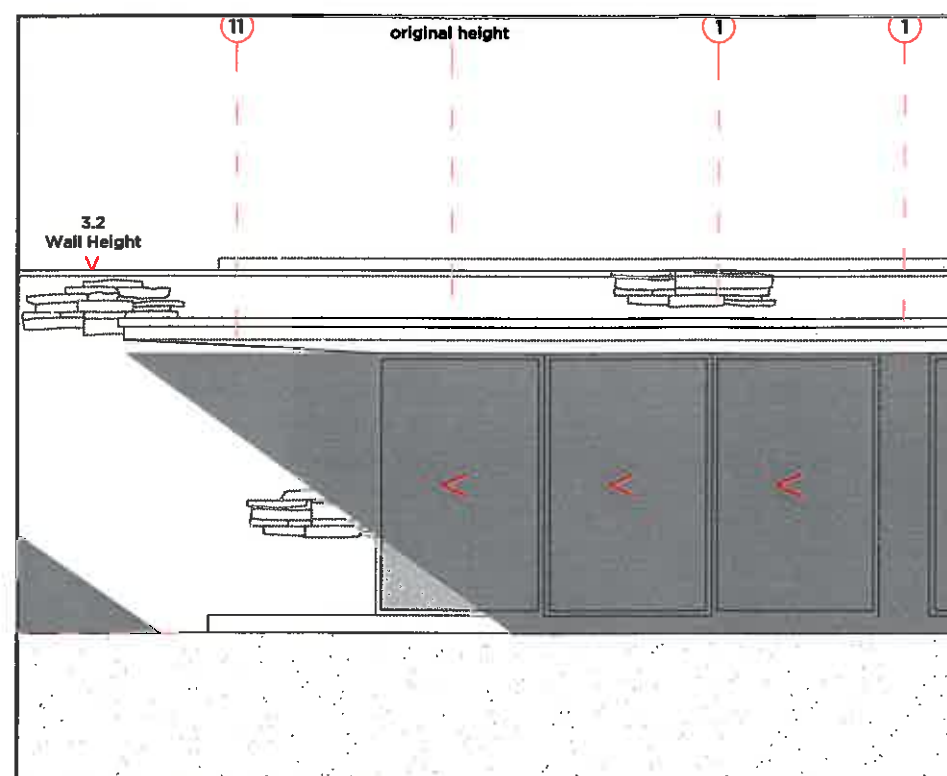
SECTION BB

Materiality & Detailing

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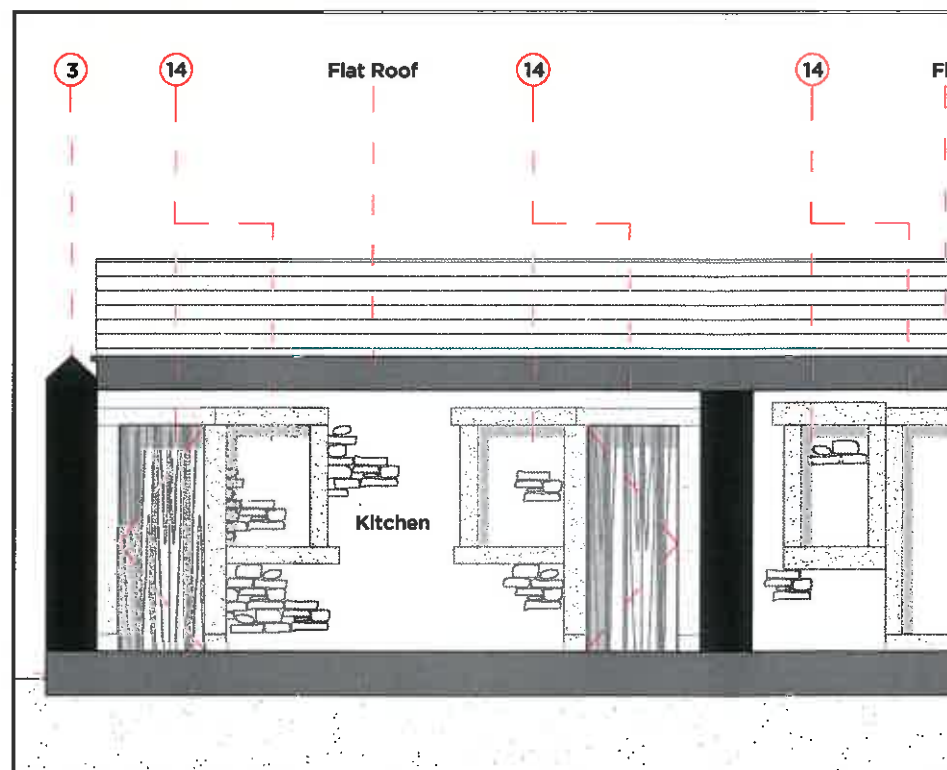
PROPOSED ELEVATIONS

Adapted Openings



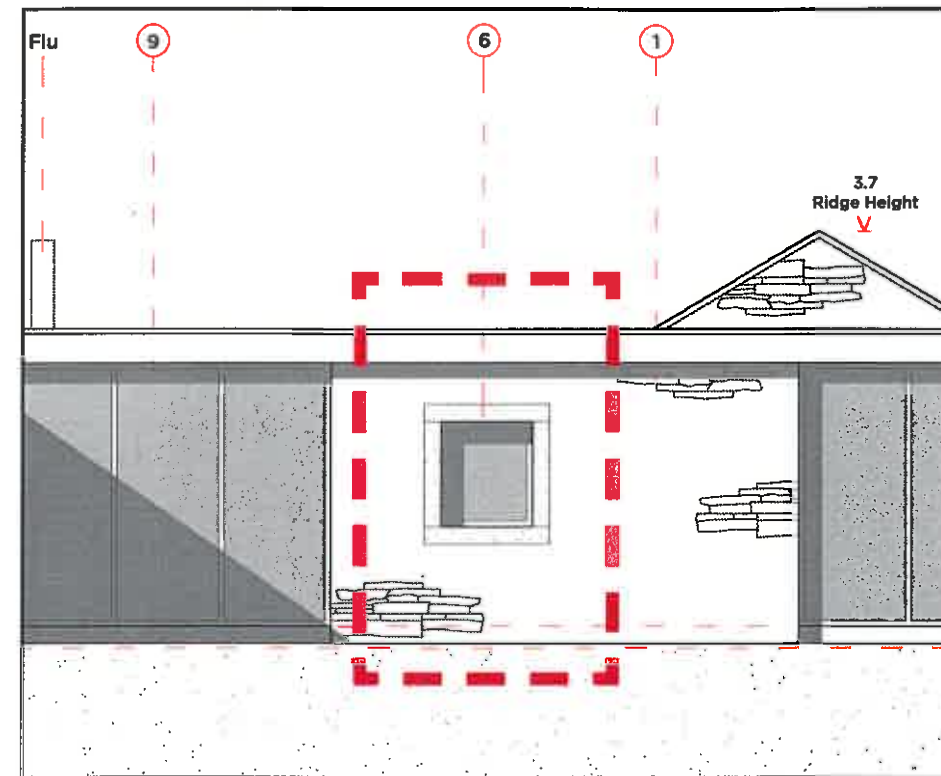
South East Boundary wall partially removed and glazed screen inserted to create juxtaposition between new and old. Parapet replaced to complete the continuous profile of the wall.

Retaining Features



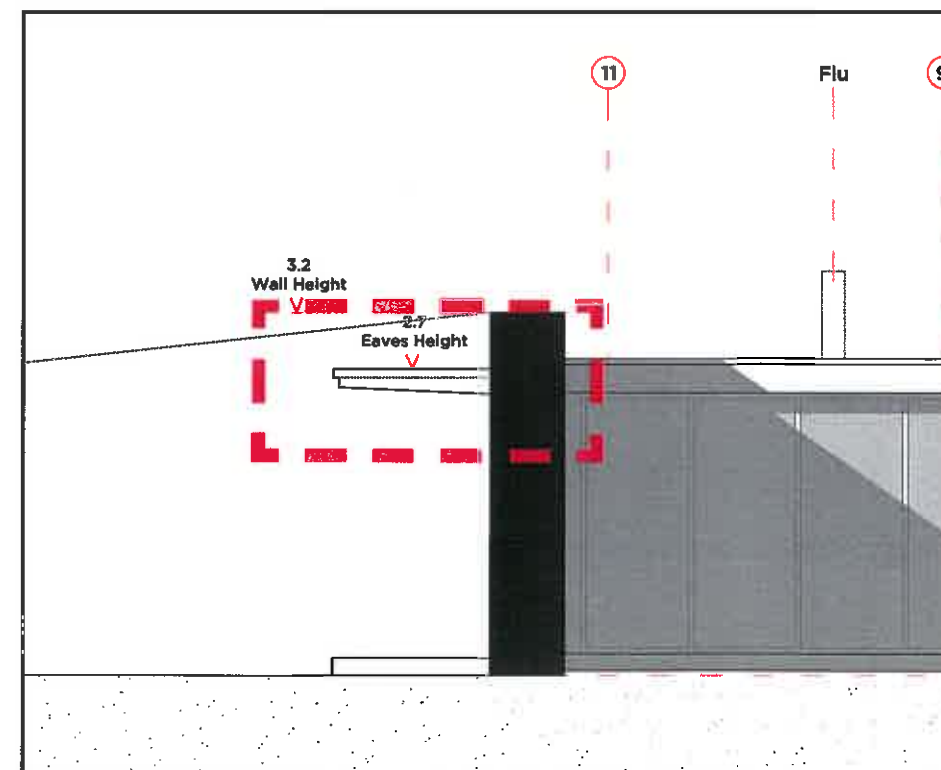
Internal fabric and detail to be retained. Openings to be infilled and set back to express the historic opening.

New Opening



New opening to consist of simple stone surrounds to reference the existing detailing style.

New Canopy



Flat roof canopy casts shadow over front glazing to eliminate reflection and glare.

Retaining features: historic farm buildings invariably retain key features that provide evidence of their former use and contribute to their significance. These features may simply be a series of ventilation slits formed in the masonry structure, or vertically boarded doors to a cart door entrance. An informed approach to the retention of such features is vital to a successful conversion. English Heritage, *The Conversion of Traditional Farm Buildings: A guide to good practice*

The external walls of farm buildings often retain distinctive features that should be retained in any conversion. Perhaps most numerous are ventilation holes or slits which come in a wide range of forms – cruciform, vertical or diamond slits, diaper honeycomb patterns. These openings were left open and unglazed; some may have had simple wooden shutters. Such openings can be either blocked on the inside face or glazed deep in the aperture so that there is no change in appearance externally. EH p15

“...New work should express modern needs in a modern language is complementary to what exists” New Design For Old Buildings p.xix

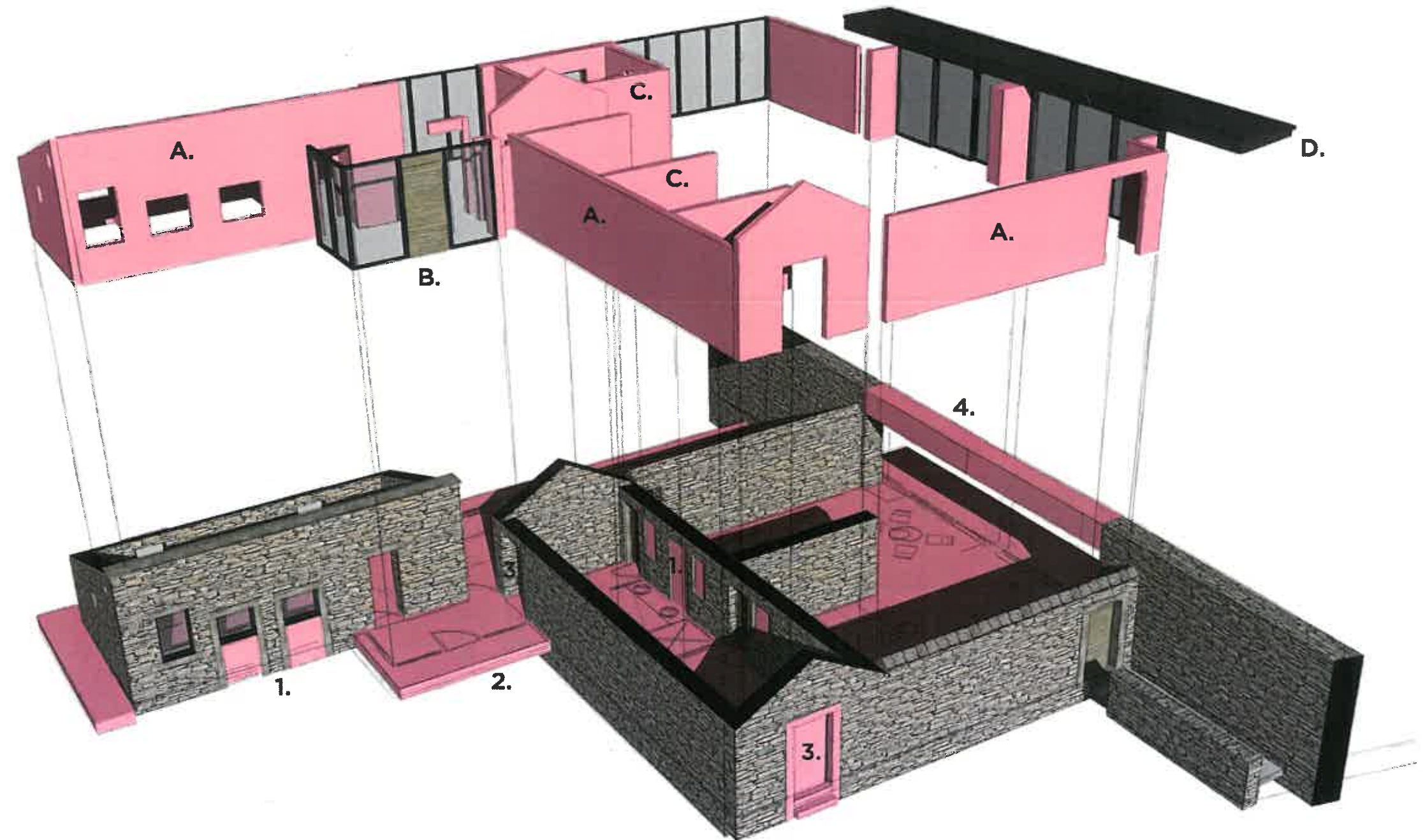
1. The proposed construction will be, first and foremost a sensitive restoration of the existing structures utilising local skilled craftsmen and materials comprising the structural repair of masonry and underpinning of existing walls.
2. The careful repair and replacement of missing lintels and jambs to the openings as well as lime mortar repointing.
3. Removal of structurally unsound wall, later to be replaced, in full, above the canopy.
4. Lightweight timber studwork to create cavity and insulate the existing structure - reversible studwork tied to existing masonry for stability.
5. Roof structure to be supported on new structural studwork - reversible.
6. Insulated slab poured
7. Extensions to be constructed of lightweight timber frame - reversible faced in locally sourced stone to match.

New Fabric

- A** Insulated stud lining
- B** Entrance & Lobby
- C** Stud Partitions
- D** Canopy
- E** New slab & underpinning

Adaptations

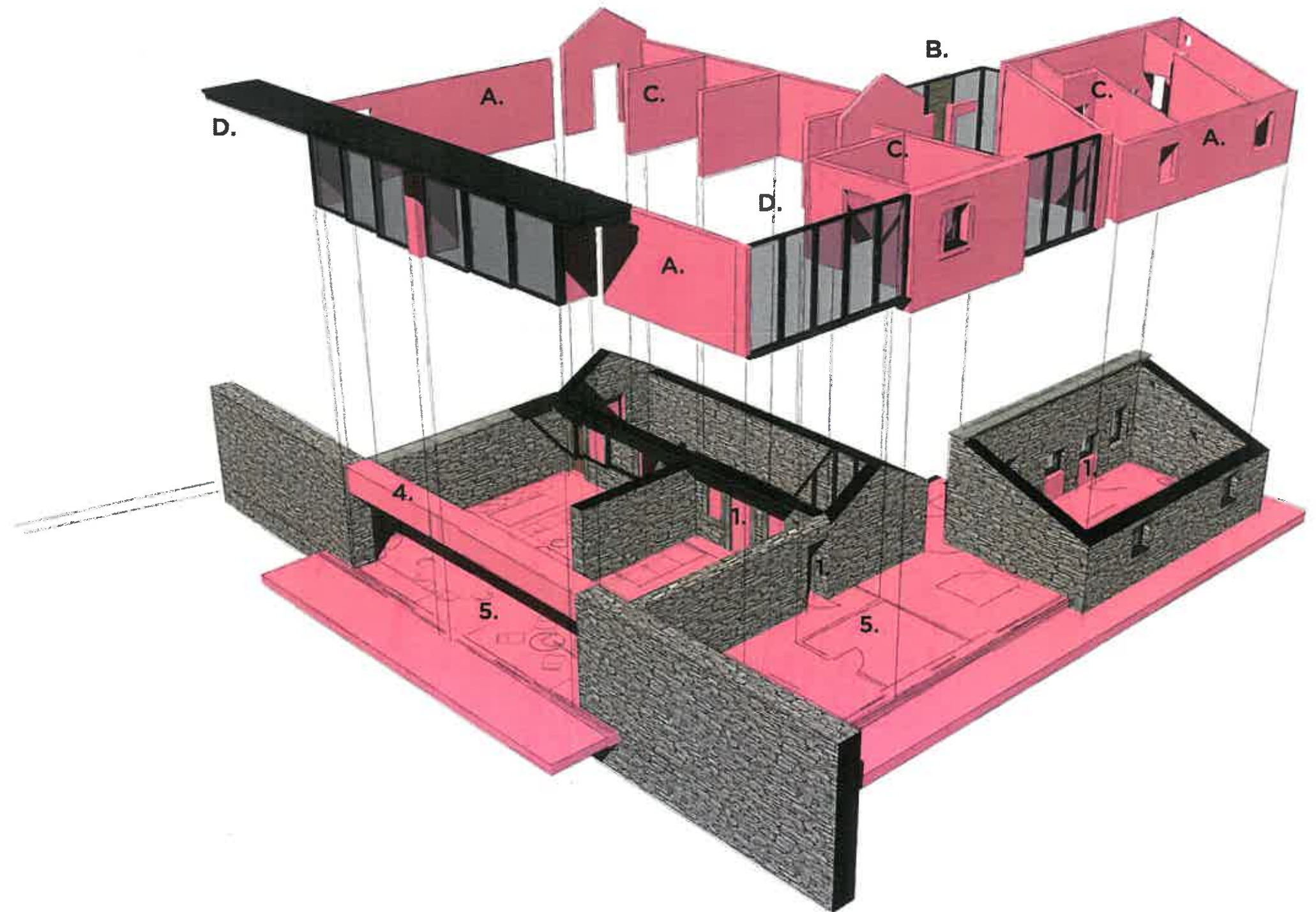
- 1** Adapted openings
- 2** New slab & underpinning
- 3** New Opening
- 4** Reinstatement of boundary wall
- 5** New slab & underpinning



CONSTRUCTION METHOD

Minimising loss of and intervention in significant historic fabric: Usually the fabric of the building will embody its character and interest. Retention of as much historic fabric as possible is therefore a fundamental part of any good conversion, together with the use of appropriate materials and methods of repair.

English Heritage, *The Conversion of Traditional Farm Buildings: A guide to good practice*



New Fabric

- A Insulated stud lining
- B Entrance & Lobby
- C Stud Partitions
- D Canopy
- E New slab & underpinning

Adaptations

- 1 Adapted openings
- 2 New slab & underpinning
- 3 New Opening
- 4 Reinstatement of boundary wall
- 5 New slab & underpinning

SUMMARY

The proposal has been very carefully considered and developed in conjunction with the local authority, client and various consultants. Protecting and enhancing the existing site has been the main driver for the design, leading to a sensitive and subservient proposal.

The heritage asset is currently under threat of declining structural condition; Mr and Mrs Bowker intend to repair and improve the site and its surrounding context in a sensitive manner, utilising sound conservation techniques.

The existing fabric will main largely unaffected, with new extensions largely hidden from view from the public realm. The overall setting of the site will also remain largely unchanged.

The site is situated within the local context of converteted and adapted farm buildings - relating to the Read Hall Estate, and the unique nature of the site warrants the contextually driven design shown in this application.

BIBLIOGRAPHY

English Heritage, 2006, *The Conversion of Traditional Farm Buildings: A guide to good practice*

Roger Hunt & Iain Boyd in association with the Society for the protection of Ancient Buildings, 2017, *New Design For Old Buildings*

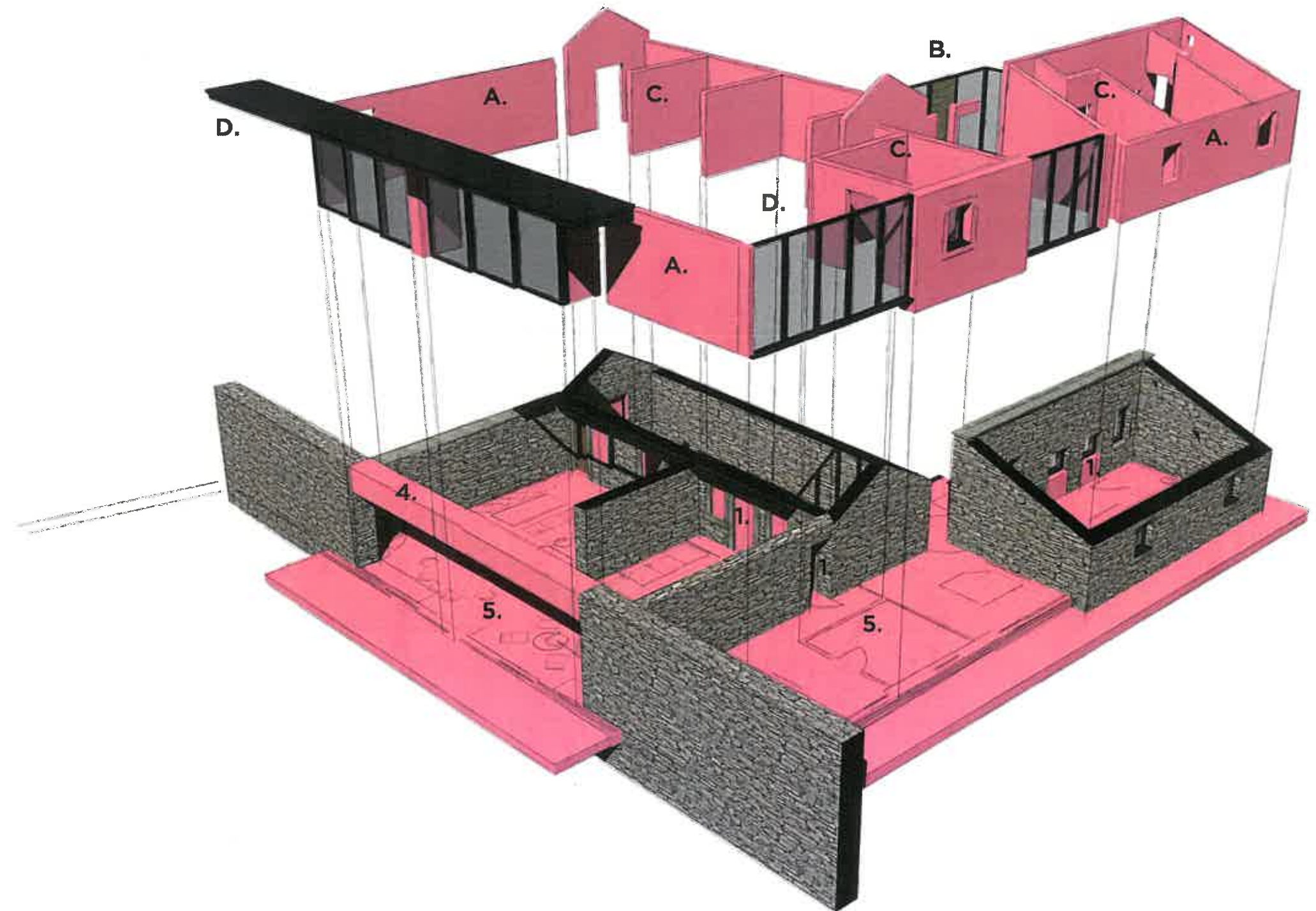
Historic England, 2017, *The Adaptive Reuse of Traditional Farm Buildings*

English Heritage/CABE, 2001, *Building in Context : New development in historic areas*

"The new structures do not compete unduly with the old building in form or position, but equally do not ape the original or pretend to be historic; instead they fulfill modern needs in a modern style. Put simply, while not necessarily 'quiet', they are mannerly rather than 'rude'". New Design For Old Buildings p.4

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Visualisation - South West Elevation