

# Waddow View Clitheroe

Housetype Range

January 2019

All housetypes 1:100@A3

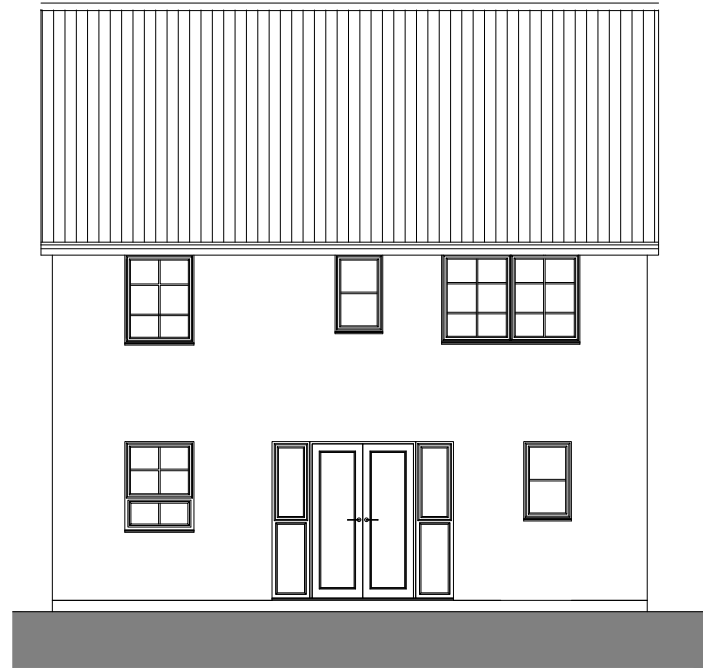


**BARRATT**  
HOMES

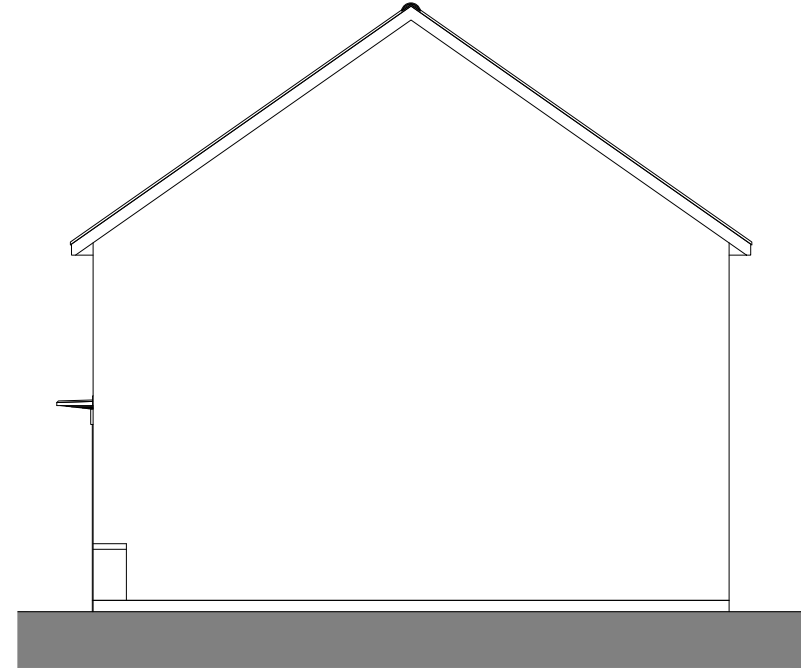




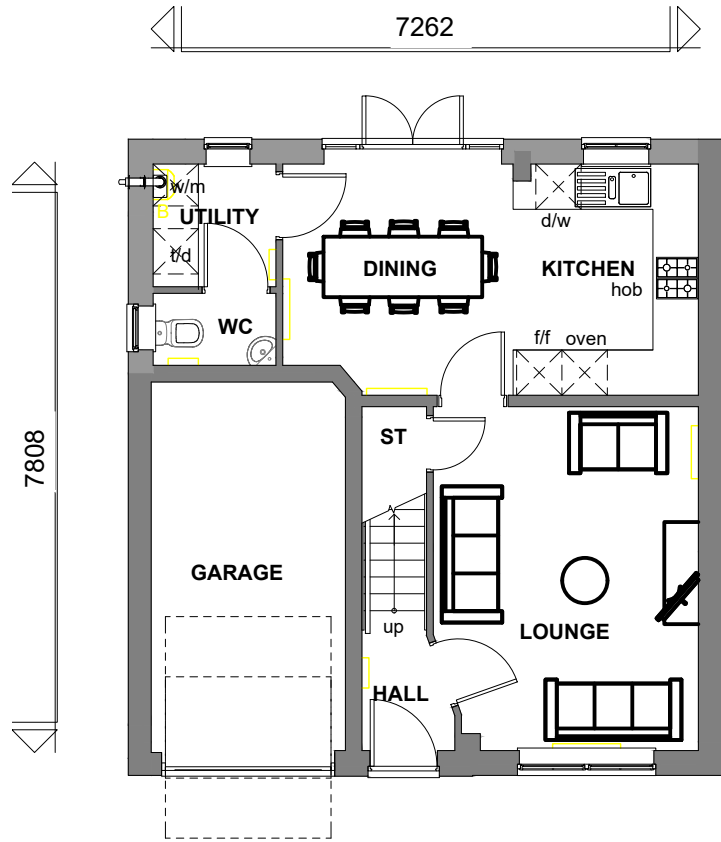
**FRONT ELEVATION**



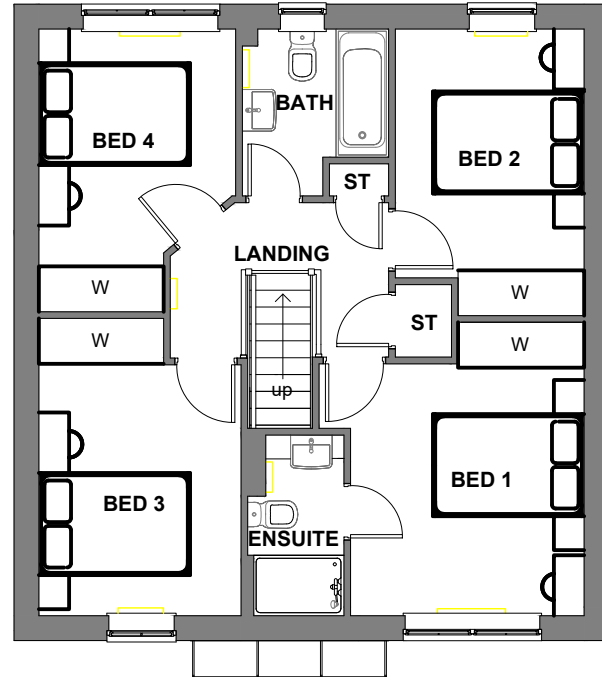
**REAR ELEVATION**



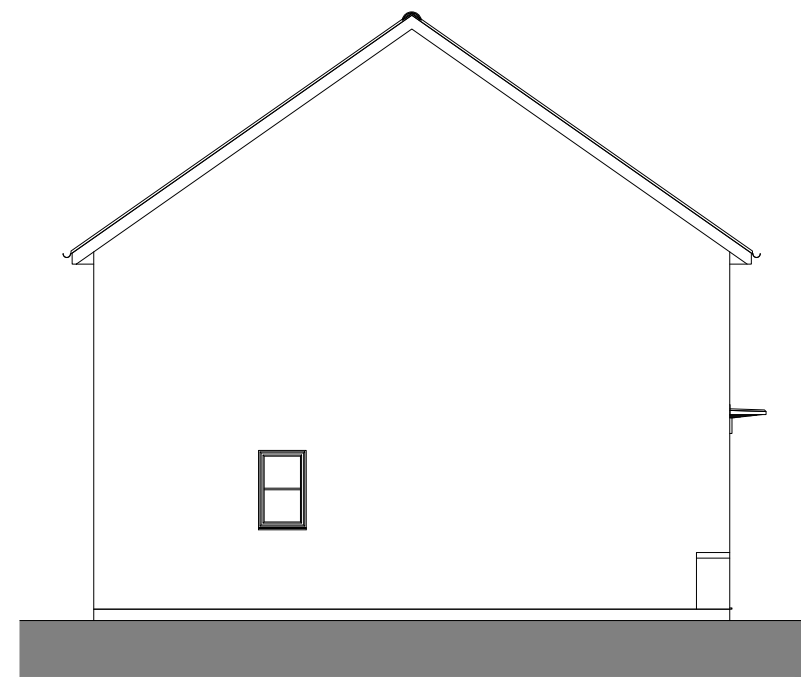
**SIDE ELEVATION**



**GROUND FLOOR**



**FIRST FLOOR**



**SIDE ELEVATION**

Floor Area: 1073 ft<sup>2</sup> / 99.7 m<sup>2</sup>

Sales Name: Windermere - Stone

House Type Code: BWIE 00CD

Spec: EMBASSY Drawing No: 01

Date: April 2016

Drawn: GDT

Scale: 1 : 100 @ A3

Checked: GDT

**WARNING TO HOUSE-PURCHASERS**

Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content, and dimensions specified are included for general guidance only. Whilst we make every effort to ensure our drawings are up to date there may be changes in regulations and/or re-planning. Purchasers are advised to check with Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

**Planning**

Rev	Description	Date
A	Refer to Data Sheet for full revision description	Oct 2016
B	Refer to Data Sheet for full revision description	Nov 2017
C	Refer to Data Sheet for full revision description	June 2018



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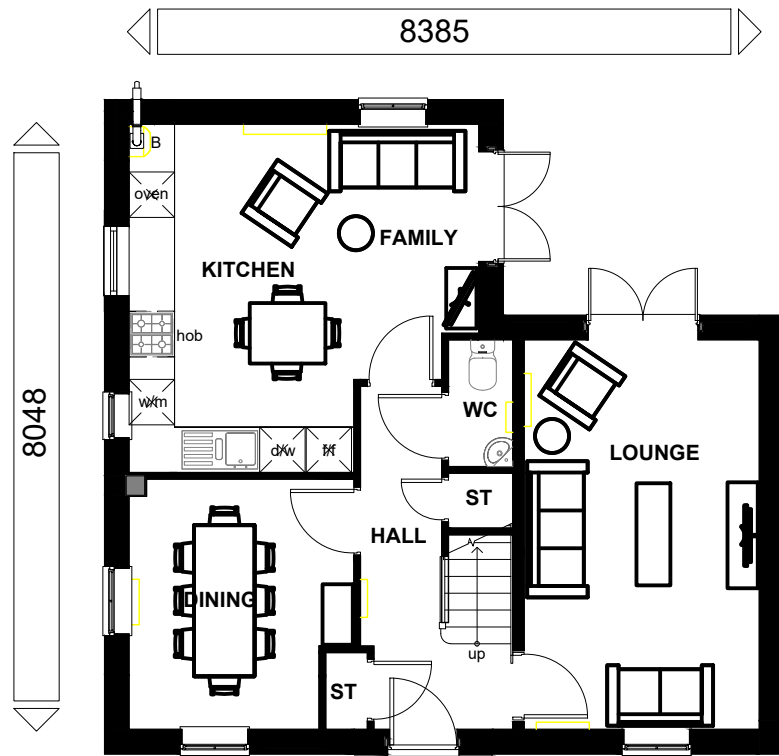
**FRONT ELEVATION**



**SIDE ELEVATION**



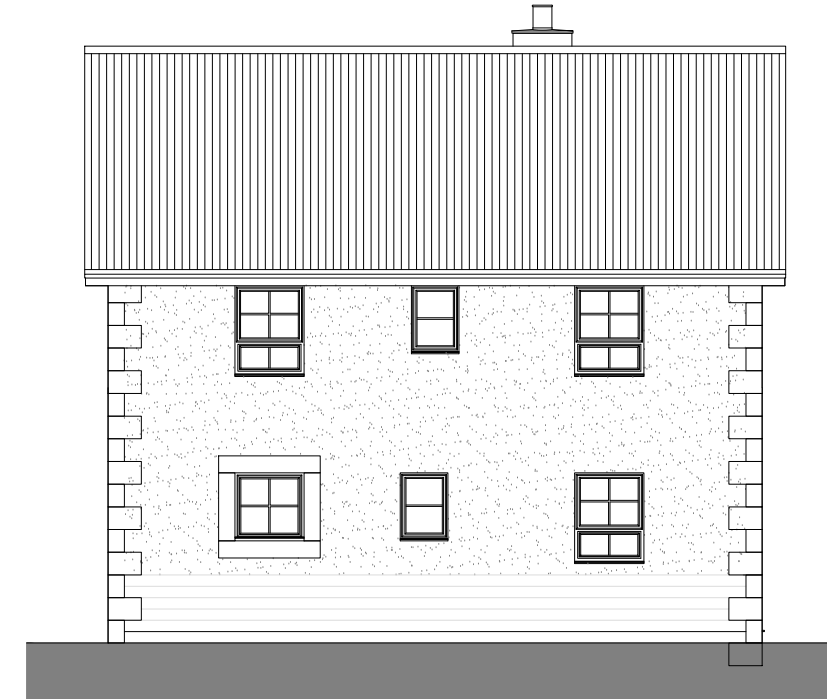
**REAR ELEVATION**



**GROUND FLOOR**



**FIRST FLOOR**



**SIDE ELEVATION**

Floor Area: 1225 ft<sup>2</sup> / 113.8 m<sup>2</sup>

Sales Name: Alderney Classic (Det) - Render

House Type Code: BALD 00CD

Spec: EMBASSY Drawing No: 01

Date: April 2018

Drawn: GDT

Checked: GDT

Scale: 1 : 100 @ A3

**WARNING TO HOUSE-PURCHASERS**

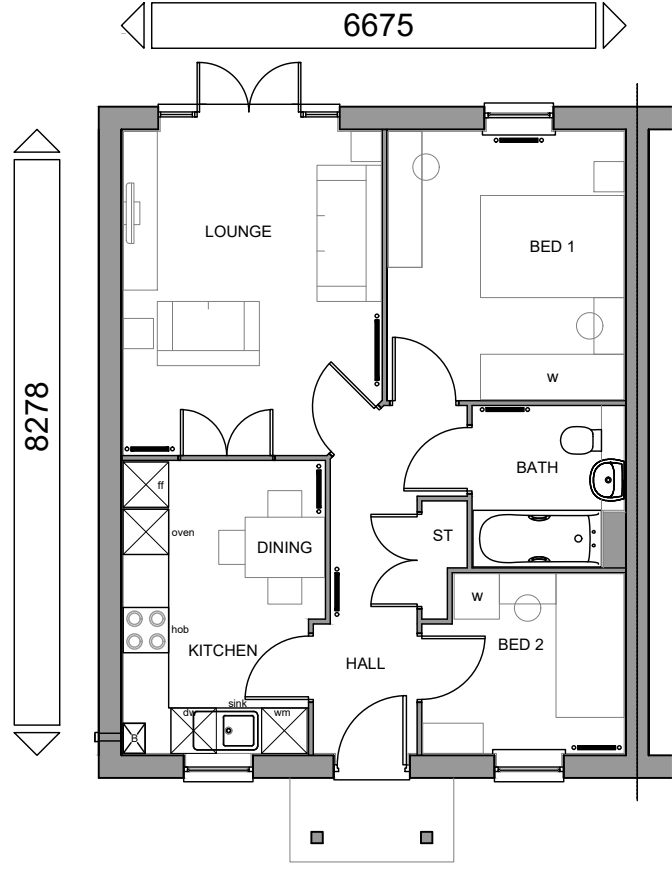
Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content, and dimensions specified are included for general guidance only. Finishes or features shown may alter in respect of the individual properties. Whilst we make every effort to ensure our drawings are up to date there may from time to time be an unavoidable delay in updating these due to changes in regulations and/or re-planning. Purchasers are advised to check with Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

**Planning**

Rev	Description	Date
B	Refer to Data Sheet for full revision description	Mar 2017
C	Refer to Data Sheet for full revision description	Jul 2017
D	Refer to Data Sheet for full revision description	Jun 2018



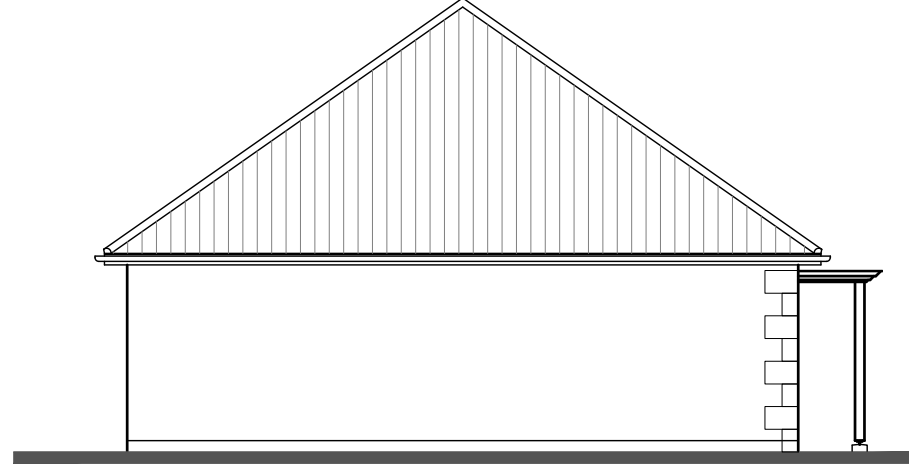
**BARRATT**  
DEVELOPMENTS PLC



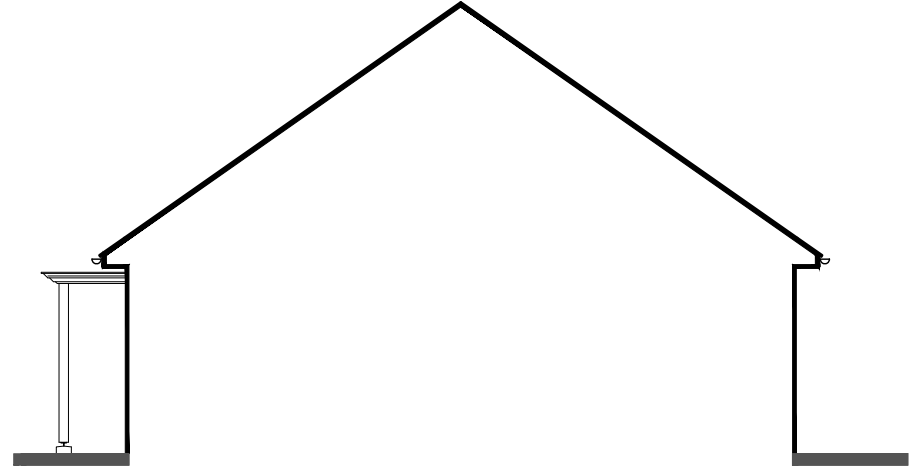
**FRONT ELEVATION**



**REAR ELEVATION**



**SIDE ELEVATION**



**SECTION/SIDE ELEVATION**

TOTAL FLOOR AREA : 594sqft/ 55.2sqm

Sales Name: **THE BEDALE (END) - Stone**  
 House Type Code: **BBLD 00CE**  
 Spec: **STATESMAN** Drawing No: 01 Date: Jan 2017  
 Drawn: **GDT** Checked: **GDT** Scale: 1:100 @ A3

**PLANNING DRAWING**

Rev:	Date:
Description:	

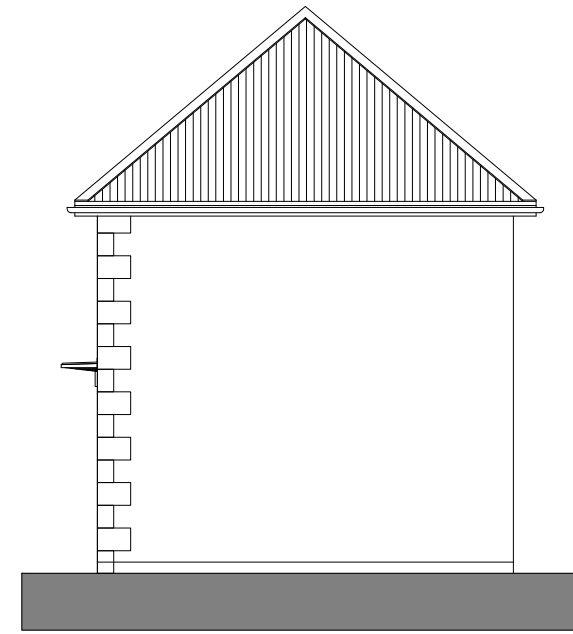
**WARNING TO HOUSE-PURCHASERS.**  
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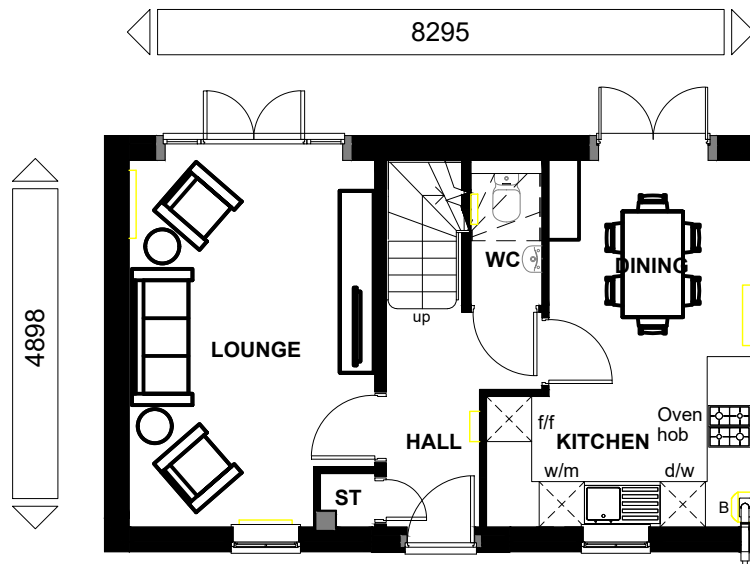
**FRONT ELEVATION**



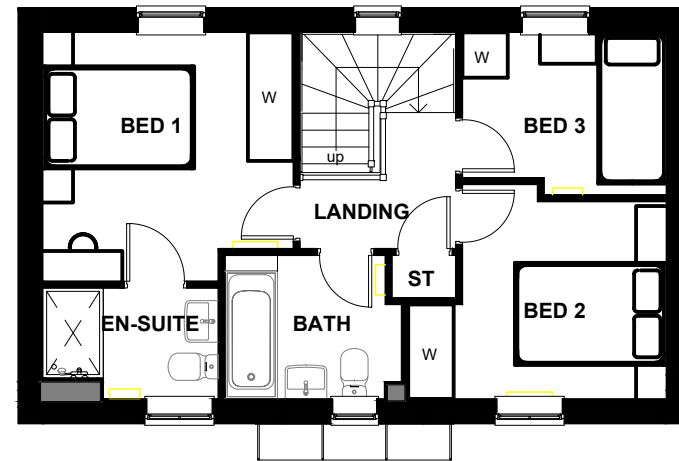
**REAR ELEVATION**



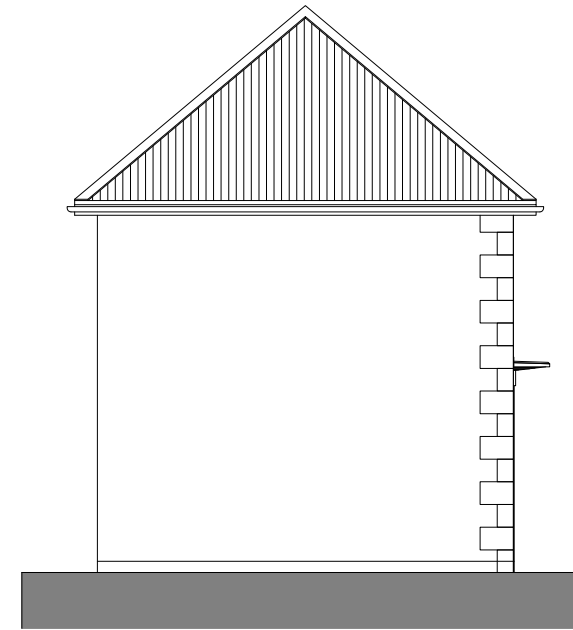
**SIDE ELEVATION**



**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**



**SIDE ELEVATION**

Floor Area: 875 ff 81.3 m<sup>2</sup>

Sales Name: Buchanan Classic (Det) - Stone

House Type Code: BBUH 00CD

Spec: AMBASSADOR Drawing No: 01 Date: April 2016

Drawn: GDT Checked: GDT Scale: 1 : 100 @ A3

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Planning		Rev	Description	Date
A	Refer to data sheet for full revision description			Oct 2016
B	Refer to data sheet for full revision description			Oct 2017
C	Refer to data sheet for full revision description			Oct 2018



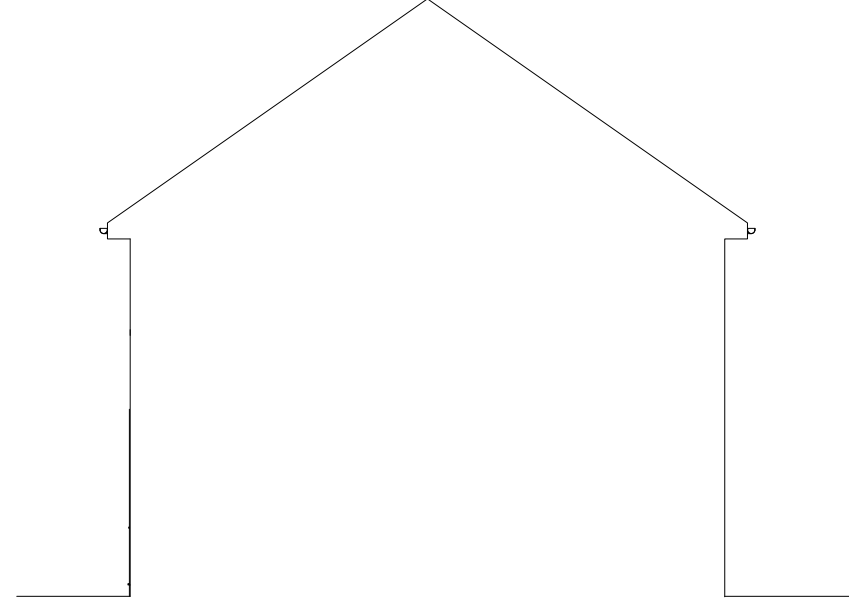
**BARRATT**  
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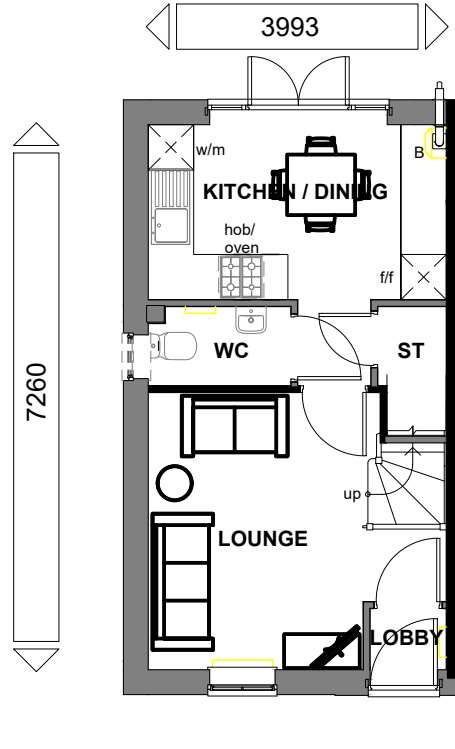
**FRONT ELEVATION**



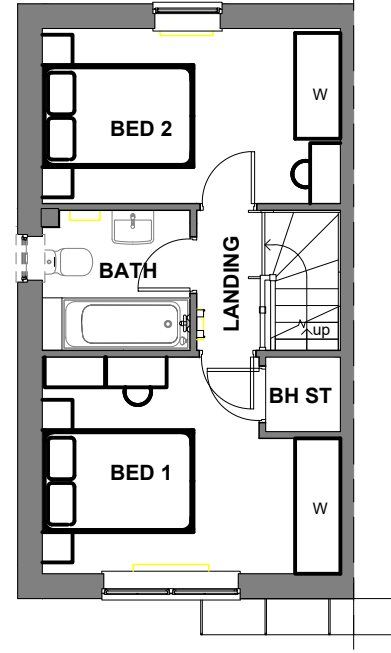
**REAR ELEVATION**



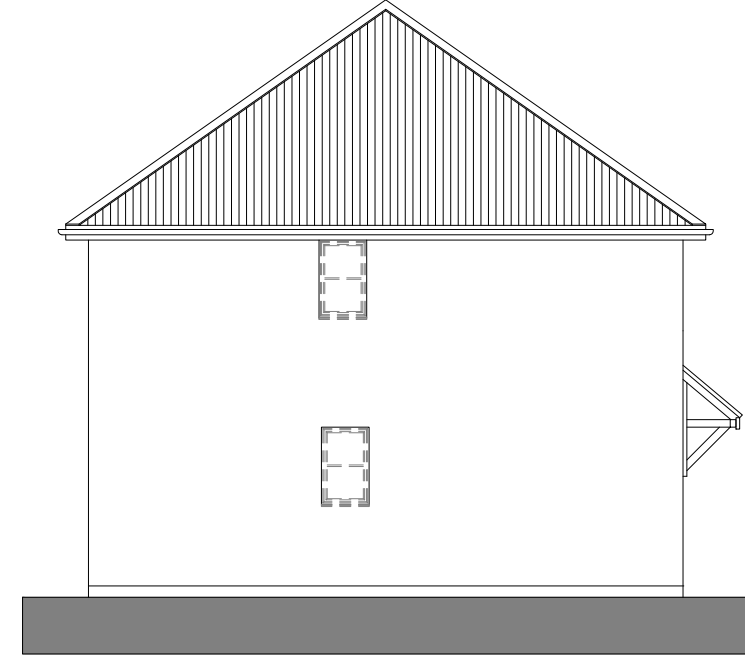
**SIDE ELEVATION**



**GROUND FLOOR**



**FIRST FLOOR**



**SIDE ELEVATION**

Floor Area: 624 ft<sup>2</sup> / 58.0 m<sup>2</sup>

Sales Name: Kenley Classic (End) - Stone

House Type Code: BKNL 00CE

Spec: AMBASSADOR Drawing No: 01

Drawn: GDT

Date: April 2016

Checked: GDT

Scale: 1 : 100 @ A3

**WARNING TO HOUSE-PURCHASERS**  
 Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the build process. The layout, form, content, and dimensions specified are included for general guidance only. Files or features shown may alter in the final build. While our drawings are up to date from time to time, we cannot guarantee that they will remain up to date from time to time due to an unavoidable delay in updating these due to changes in regulations and/or re-planning. Purchasers are advised to check with Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

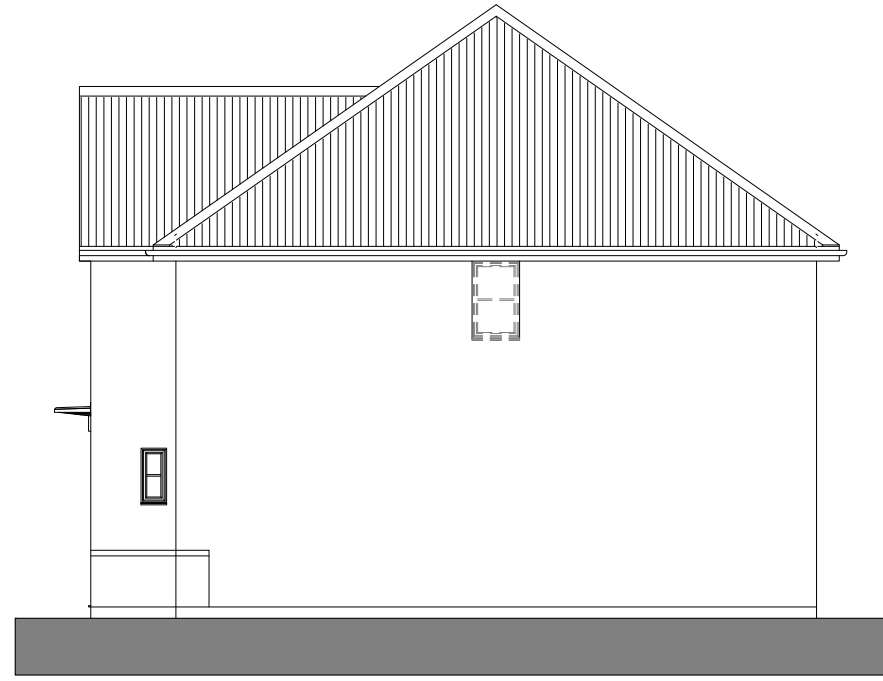
Planning Rev	Description	Date
B	Refer to Data Sheet for full revision description	Oct 2017
C	Refer to Data Sheet for full revision description	July 2018
D	Refer to Data Sheet for full revision description	July 2018



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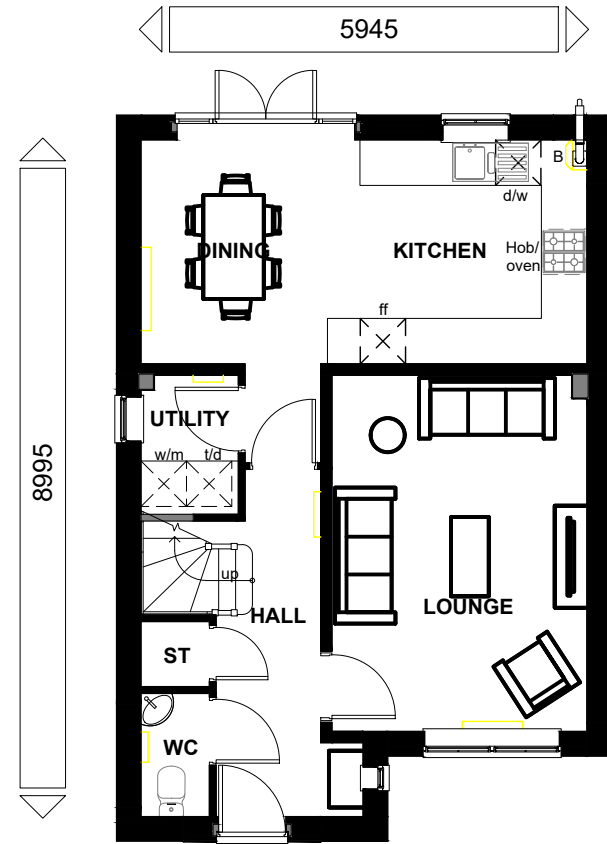
**FRONT ELEVATION**



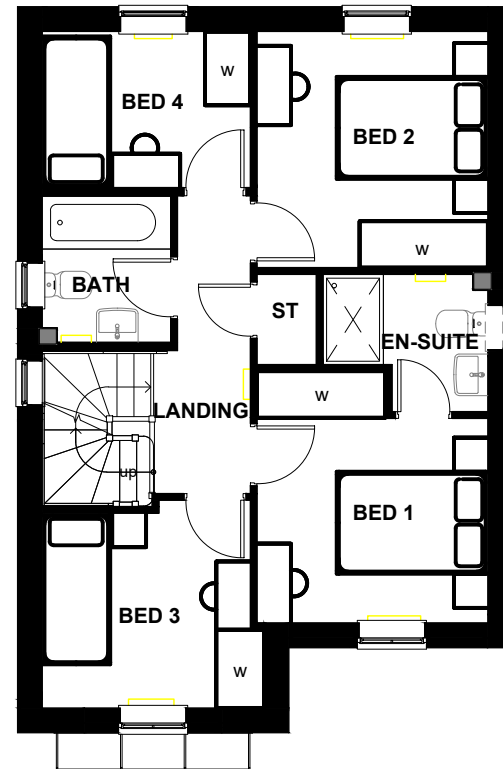
**SIDE ELEVATION**



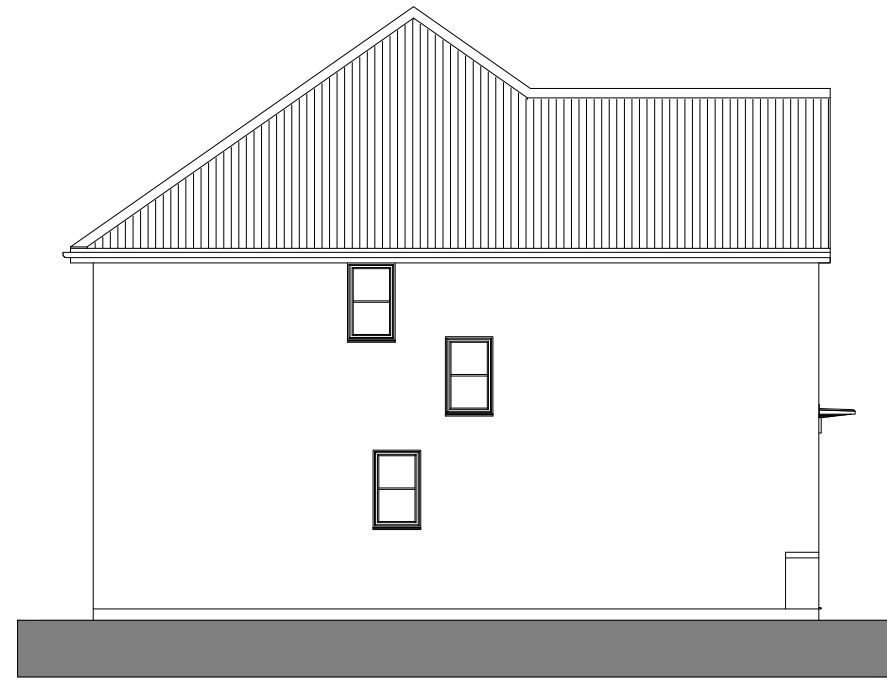
**REAR ELEVATION**



**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**



**SIDE ELEVATION**

Floor Area: 1080 ft<sup>2</sup> / 100.3 m<sup>2</sup>

Sales Name: Kingsley Classic (Det) - Stone

House Type Code: BKEY 00CD

Spec: EMBASSY Drawing No: 01 Date: April 2016

Drawn: GDT Checked: GDT Scale: 1 : 100 @ A3

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**Planning**

Rev	Description	Date
B	Refer to Data Sheet for full revision description	Aug 2017
C	Refer to Data Sheet for full revision description	Sept 2017
D	Refer to Data Sheet for full revision description	Oct 2018



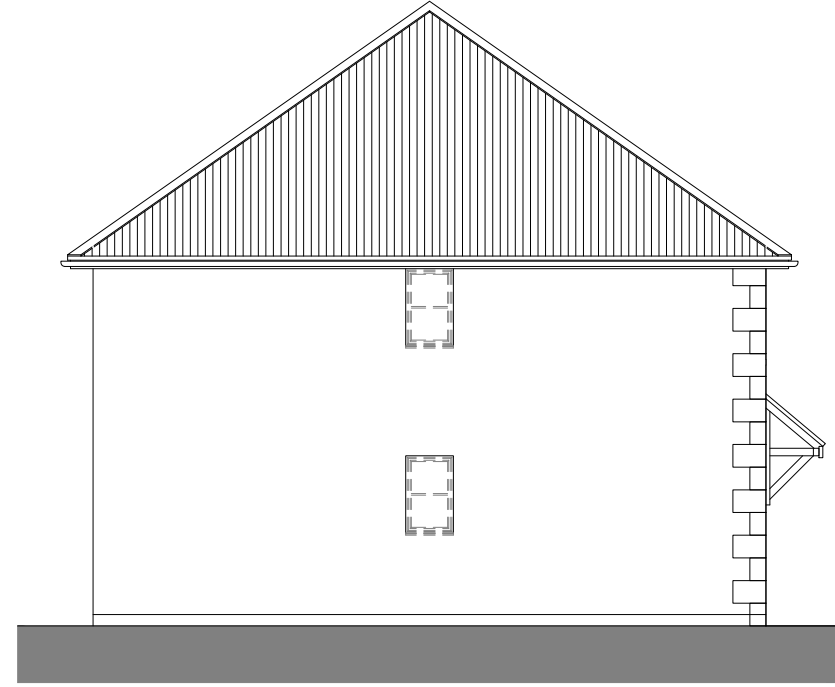
**BARRATT**  
DEVELOPMENTS PLC



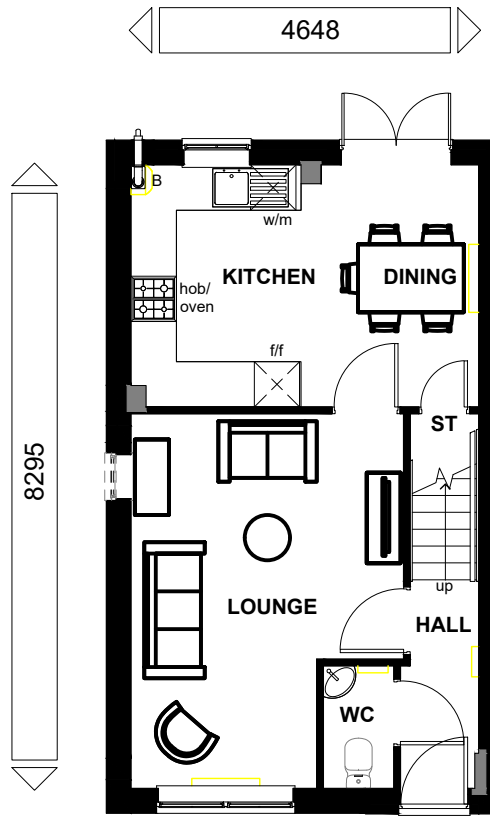
**FRONT ELEVATION**



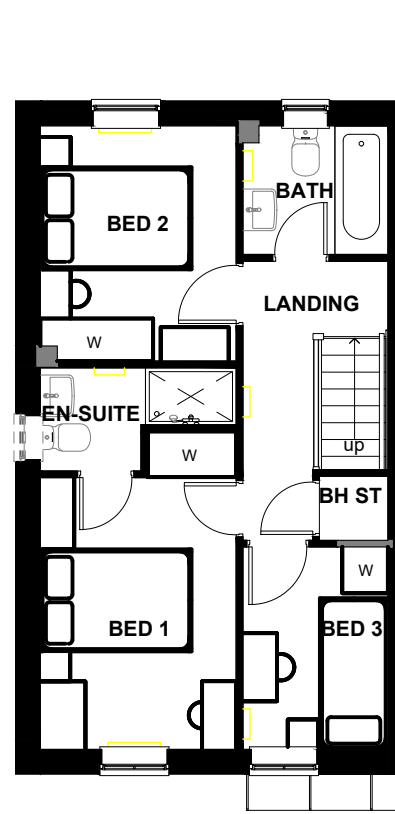
**REAR ELEVATION**



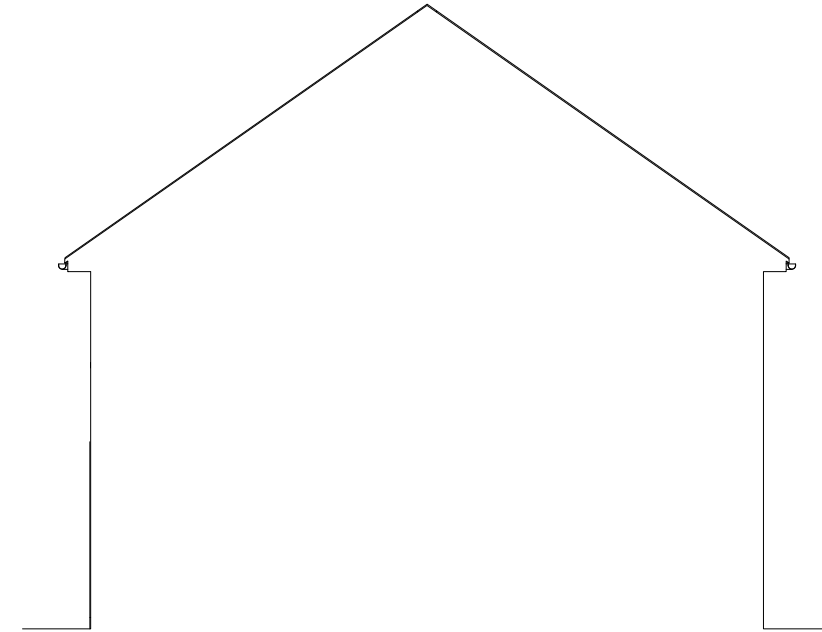
**SIDE ELEVATION**



**GROUND FLOOR**



**FIRST FLOOR**



**SIDE ELEVATION**

Floor Area: 830 ft<sup>2</sup> / 77.1 m<sup>2</sup>

Sales Name: Maidstone Classic (End) - Stone

House Type Code: BMAI 00CE

Spec: AMBASSADOR Drawing No: 01

Date: April 2016

Drawn: GDT

Checked: GDT

Scale: 1 : 100 @ A3

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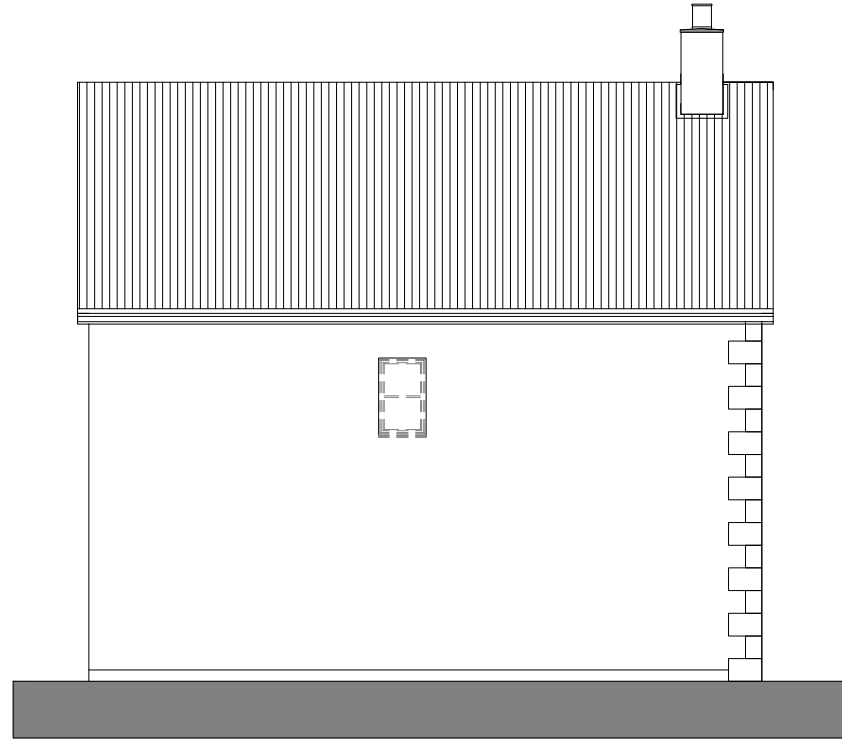
Planning	
Rev	Date
B	Sep 2017
C	Mar 2018
D	Sept 2018



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DEVELOPMENTS PLC



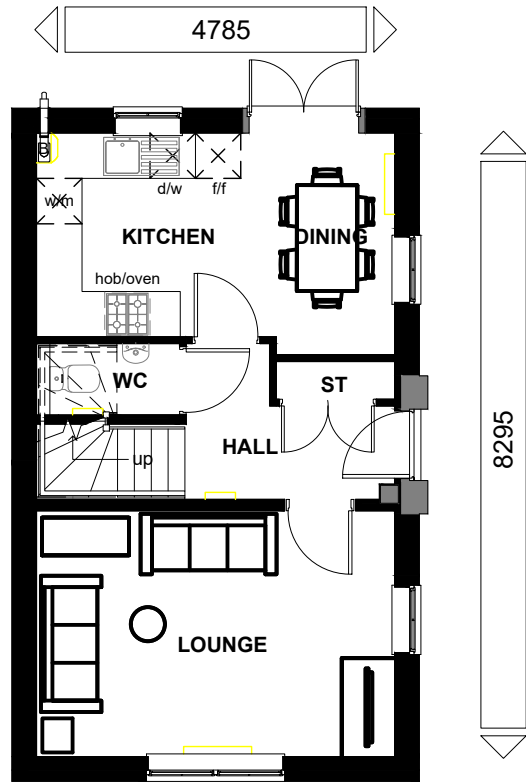
**FRONT ELEVATION**



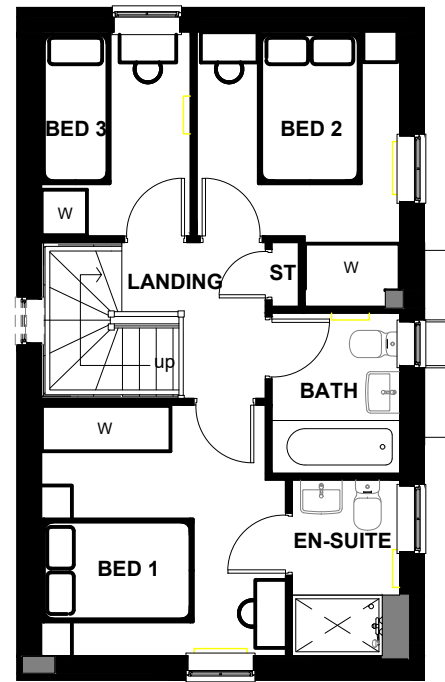
**REAR ELEVATION**



**SIDE ELEVATION**



**GROUND FLOOR**



**FIRST FLOOR**



**SIDE ELEVATION**



**BARRATT**  
DEVELOPMENTS PLC

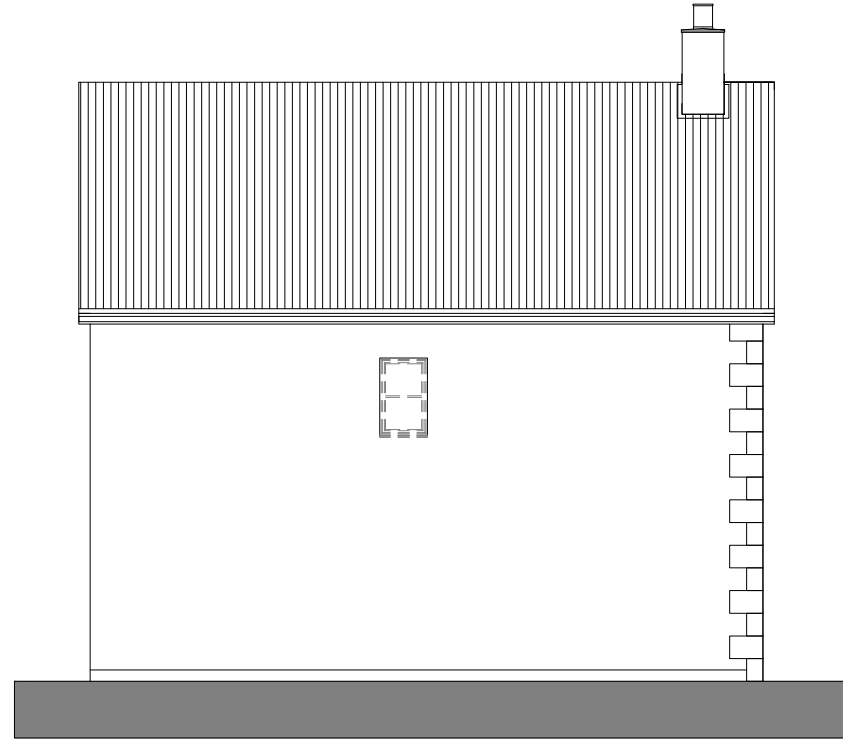
Planning	
Rev	Description
A	Refer to Data Sheet for full revision description
B	Refer to Data Sheet for full revision description
C	Refer to Data Sheet for full revision description

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Floor Area: 854 ft<sup>2</sup> / 79.4 m<sup>2</sup>  
 Sales Name: Moresby - Render  
 House Type Code: BMMS 00CD  
 Spec: AMBASSADOR Drawing No: 01 Date: April 2016  
 Drawn: GDT Checked: GDT Scale: 1 : 100 @ A3



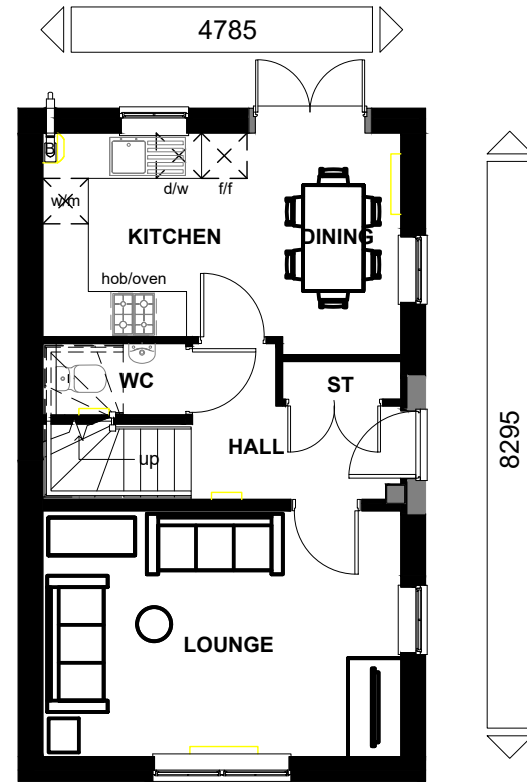
**FRONT ELEVATION**



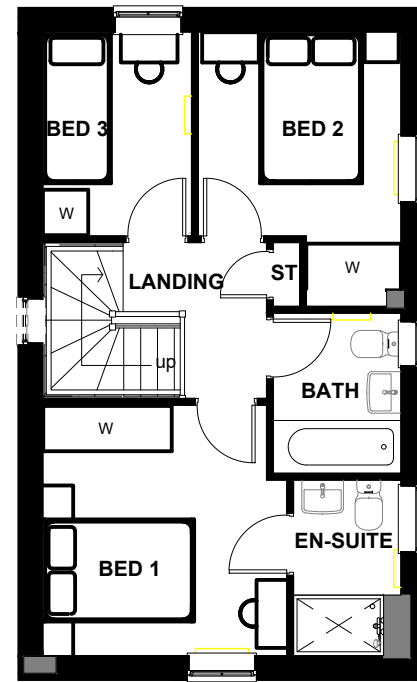
**REAR ELEVATION**



**SIDE ELEVATION**



**GROUND FLOOR**



**FIRST FLOOR**



**SIDE ELEVATION**

Floor Area: 854 ft<sup>2</sup> / 79.4 m<sup>2</sup>

Sales Name: Moresby - Stone

House Type Code: BMMS 00CD

Spec: AMBASSADOR Drawing No: 01

Drawn: GDT

Checked: GDT

Date: April 2016

Scale: 1 : 100 @ A3

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**Planning**

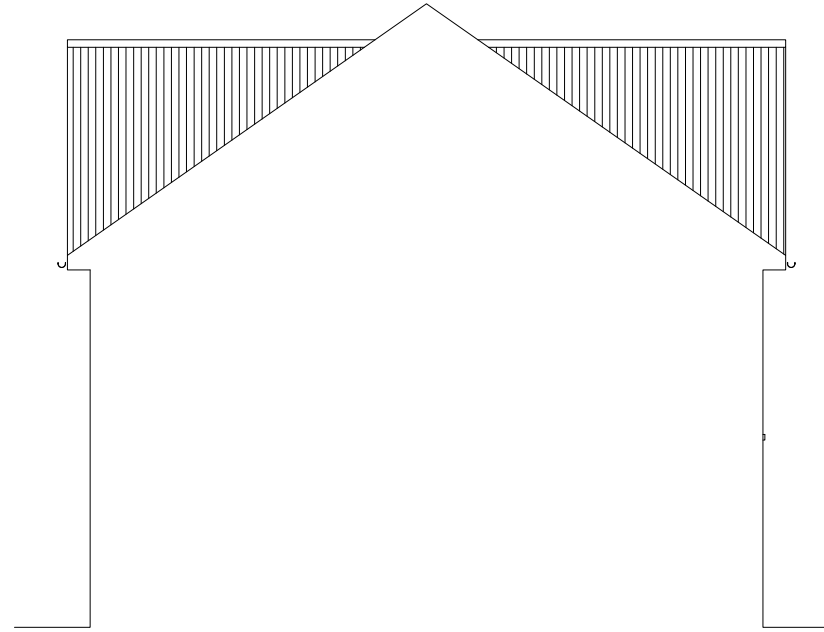
Rev	Description	Date
A	Refer to Data Sheet for full revision description	Oct 2016
B	Refer to Data Sheet for full revision description	Oct 2017
C	Refer to Data Sheet for full revision description	Mar 2018



**BARRATT**  
DEVELOPMENTS PLC



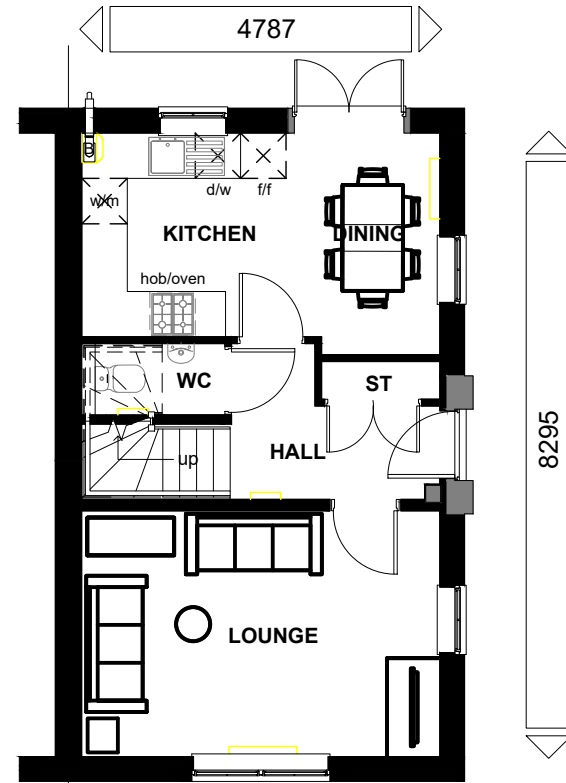
**FRONT ELEVATION**



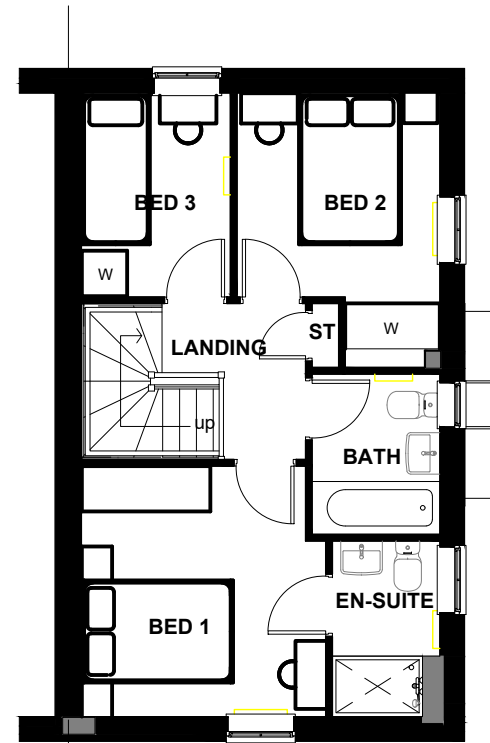
**REAR ELEVATION**



**SIDE ELEVATION**



**GROUND FLOOR**



**FIRST FLOOR**



**SIDE ELEVATION**

Floor Area: 355 ft<sup>2</sup> / 79.4 m<sup>2</sup>

Sales Name: Moresby - Stone (End)

House Type Code: BMMS 00CE

Spec: AMBASSADOR Drawing No: 01 Date: April 2016

Drawn: GDT Checked: GDT Scale: 1 : 100 @ A3

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**Planning**

Rev	Description	Date
A	Refer to Data Sheet for full revision description	Oct 2016
B	Refer to Data Sheet for full revision description	Oct 2017



**BARRATT**  
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**FRONT ELEVATION 1**

P237-E-7

N107-E-7



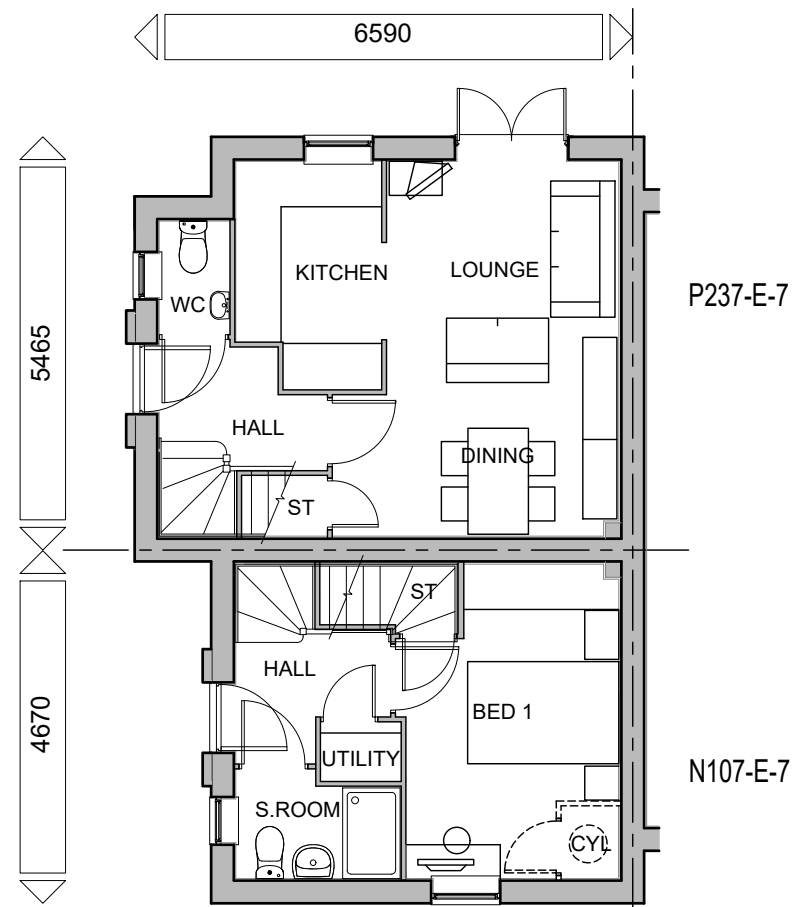
**FRONT ELEVATION 2**

N107-E-7

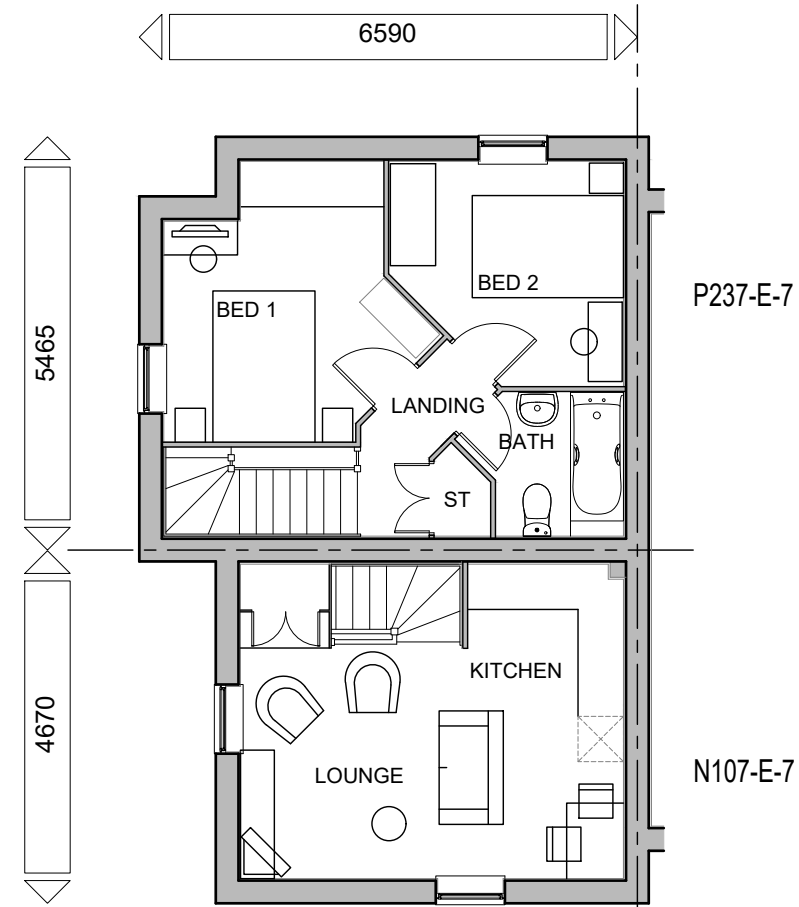


**REAR ELEVATION**

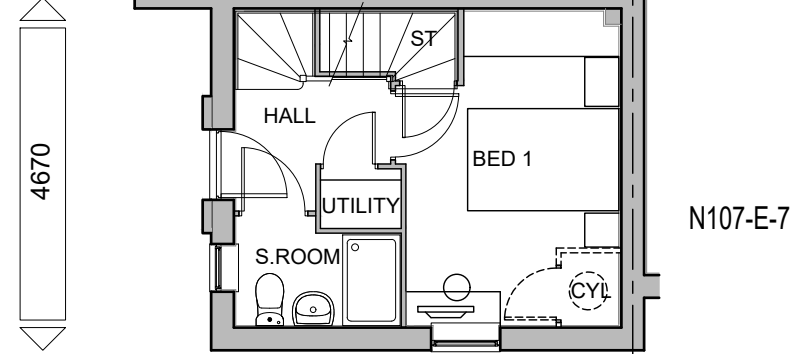
P237-E-7



**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**



N107-E-7

Floor Area: P237: 59.80 m2 - 643 Sq ft / N107: 42.32 m2 - 455 Sq ft

Sales Name: N107-P237 - Stone / Render

House Type Code: -

Spec: - Drawing No: 01 Date: Nov 2017

Drawn: AO Checked: GDT Scale: 1 : 100 @A3

**WARNING TO HOUSE-PURCHASERS**  
 Buyers are warned that this is a working drawing and the contents of this drawing may change during the progress of the project and that the drawings are not to be used for construction purposes. The drawings are included for general guidance only. Finishes or features shown may alter in respect of the individual properties. Whilst we make every effort to ensure our drawings are up to date there may from time to time be an unavoidable delay in updating these due to changes in regulations and/or re-planning. Purchasers are advised to check with Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

**Planning**

Rev	Description	Date

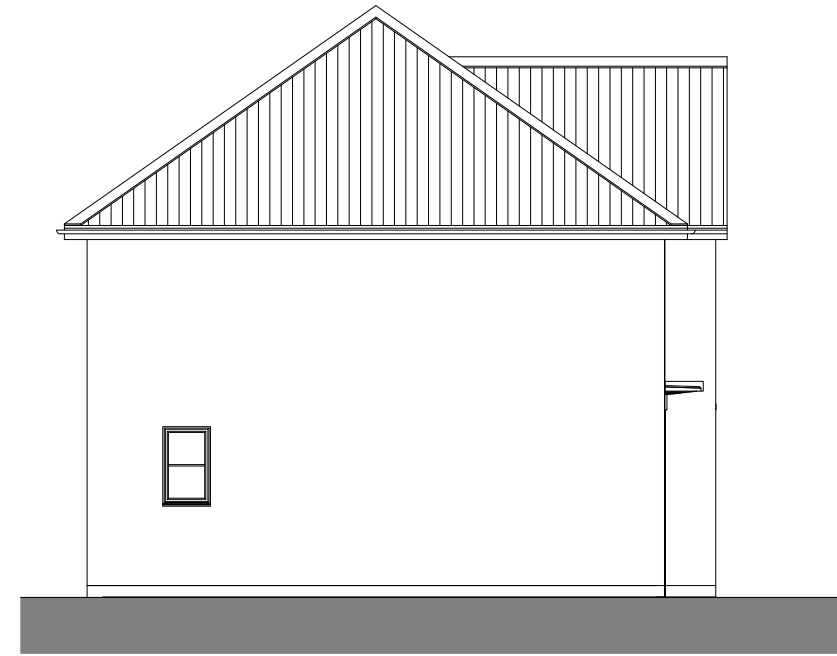




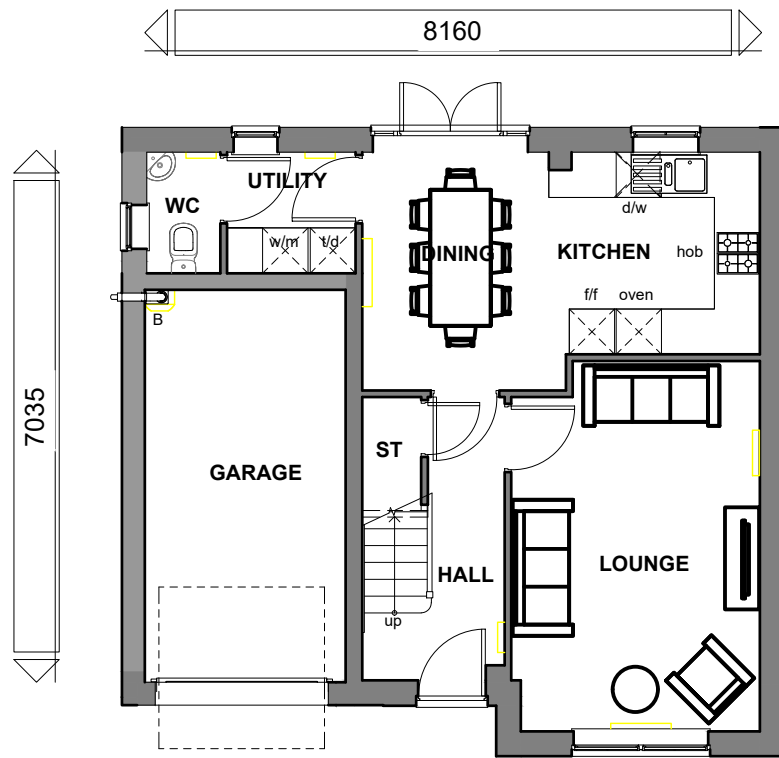
**FRONT ELEVATION**



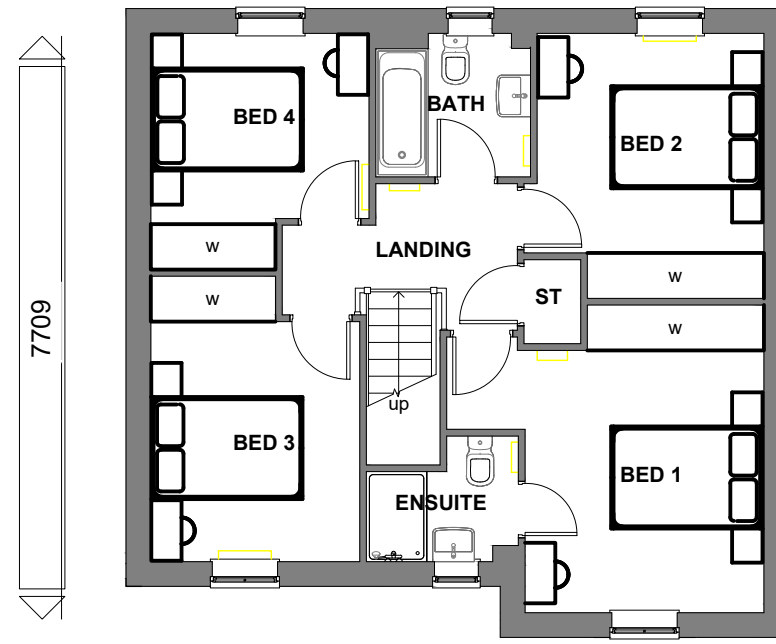
**REAR ELEVATION**



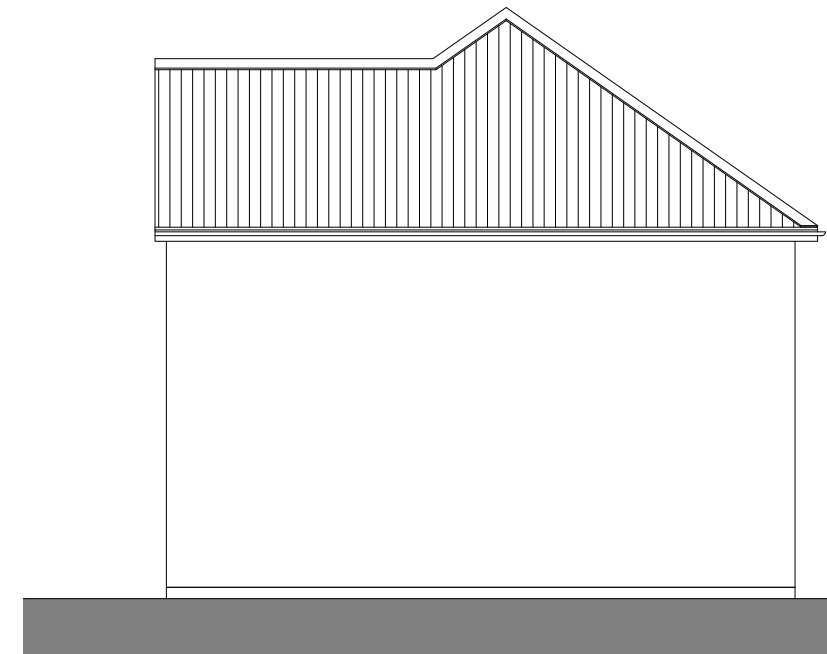
**SIDE ELEVATION**



**GROUND FLOOR**



**FIRST FLOOR**



**SIDE ELEVATION**

Floor Area: 1121 ft<sup>2</sup> / 104.2 m<sup>2</sup>

Sales Name: Ripon Classic (Det) - Stone

House Type Code: BRIP 00CD

Spec: EMBASSY Drawing No: 01 Date: April 2016

Drawn: GDT Checked: GDT Scale: 1 : 100@A3

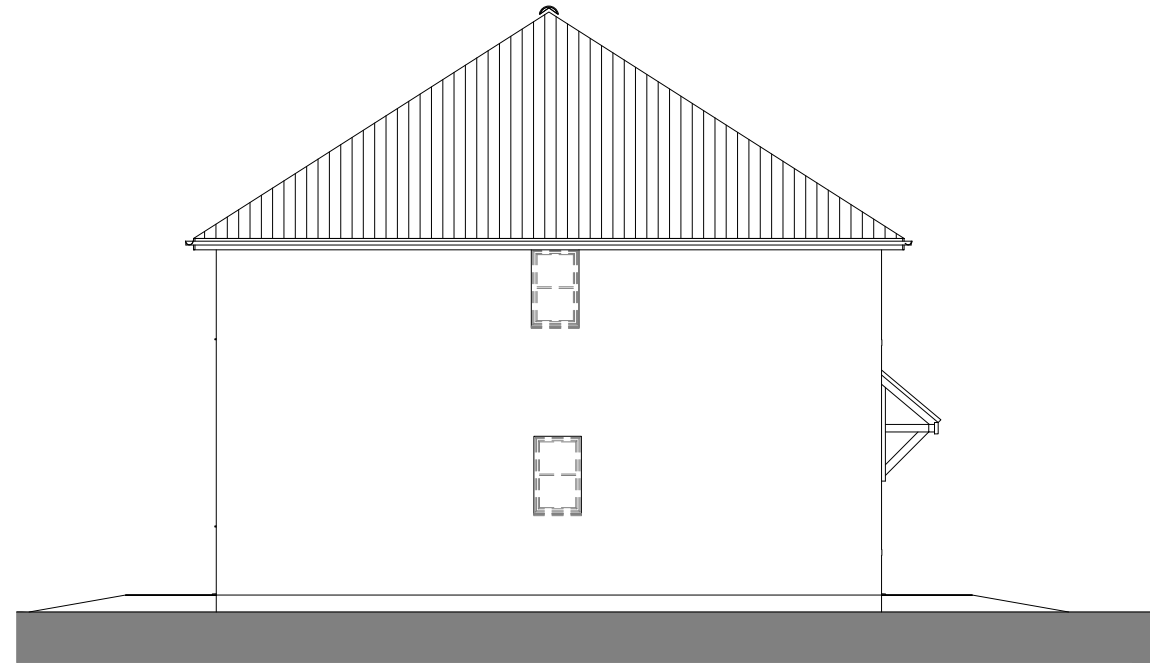
**WARNING TO HOUSE-PURCHASERS**  
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Planning Rev	Description	Date
C	Refer to Data Sheet for full revision description	Oct 2017
D	Refer to Data Sheet for full revision description	June 2018
E	Refer to Data Sheet for full revision description	PENDING





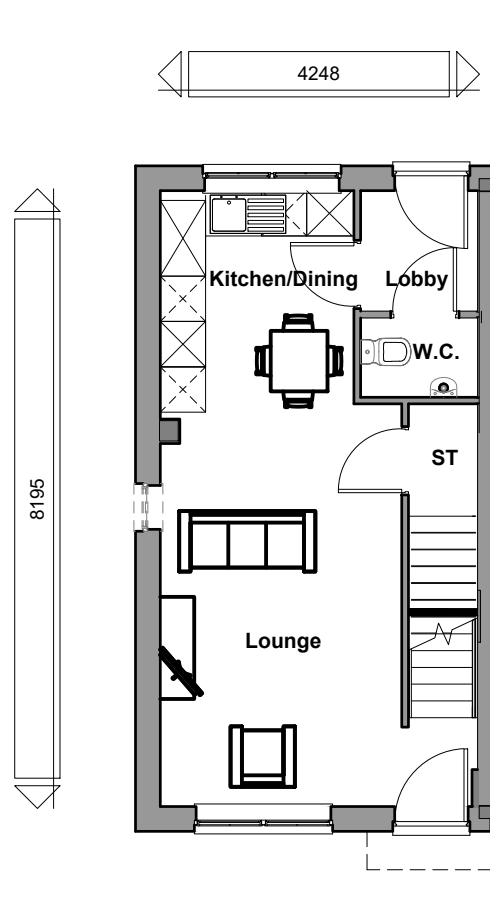
**FRONT ELEVATION**



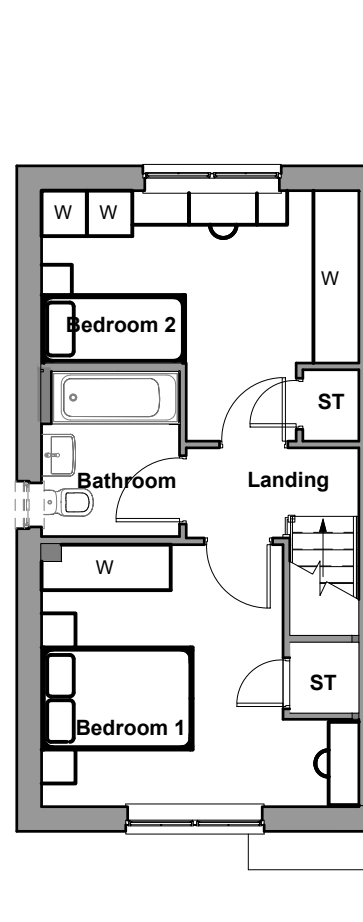
**SIDE ELEVATION**



**REAR ELEVATION**

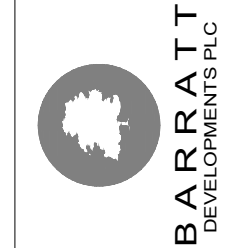


**GROUND FLOOR**



**FIRST FLOOR**

M4 (2) CATEGORY 2 : ACCESSIBLE AND ADAPTABLE DWELLINGS COMPLIANT



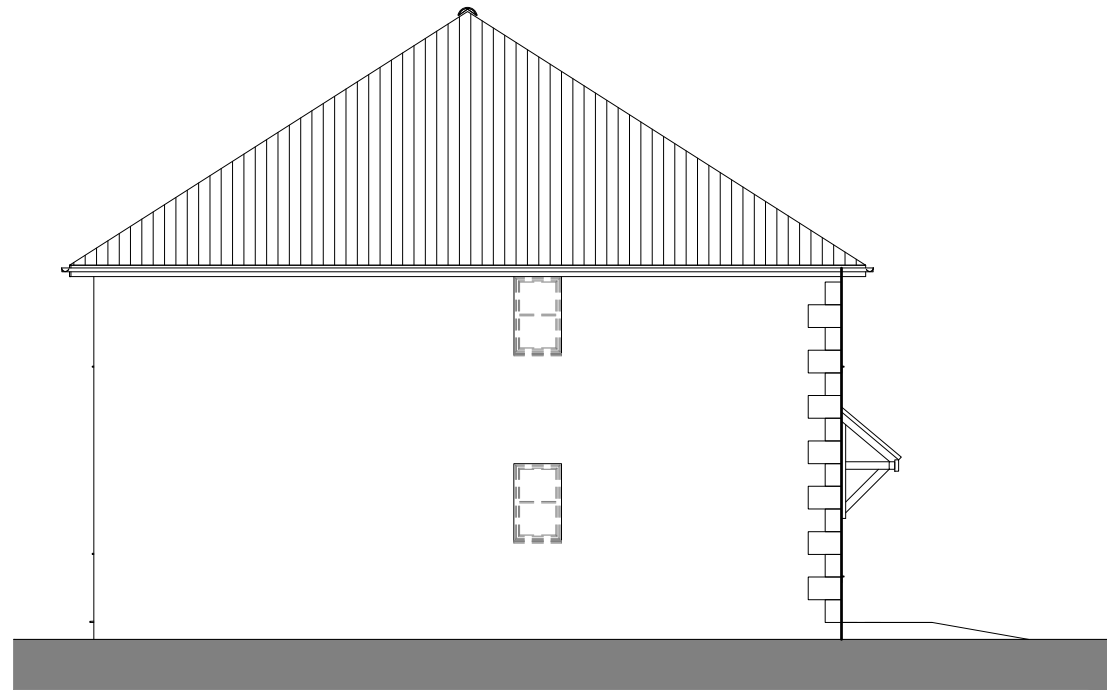
Planning AS		Rev	Description	Date
B	Refer to Data Sheet for full revision description	Mar 2017		
C	Refer to Data Sheet for full revision description	May 2018		
D	Refer to Data Sheet for full revision description	Oct 2018		

**WARNING TO HOUSE-PURCHASERS**  
 Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the construction. The layout, construction, materials, specifications and finishes included for the individual properties. Whilst we make every effort to ensure our drawings are up to date these may from time to time be an unavoidable delay in updating these due to changes in regulations and/or re-planning. Purchasers are advised to check with Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

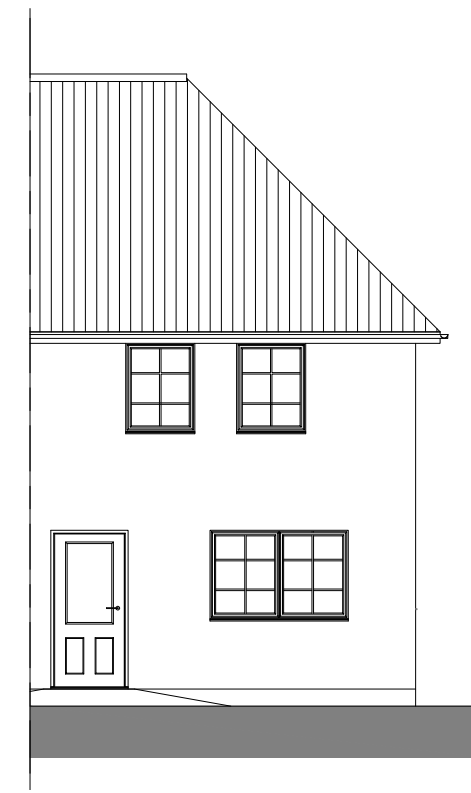
Floor Area: 749 ft<sup>2</sup> / 69.6 m<sup>2</sup>  
 Sales Name: TYPE 50 - Stone  
 House Type Code: B50F 00EC  
 Spec: AFFORDABLE Drawing No:01 Date: April 2018  
 Drawn: AM Checked: RS Scale: 1 : 100@A3



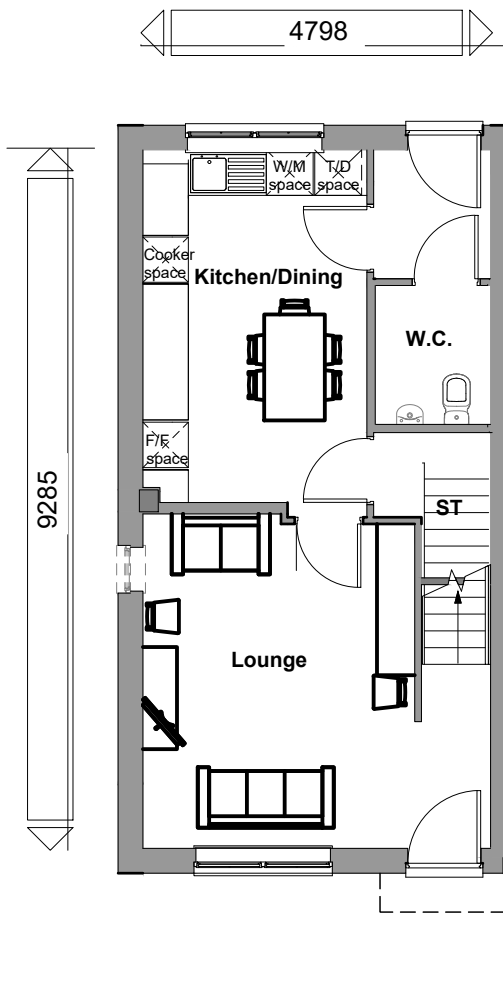
**FRONT ELEVATION**



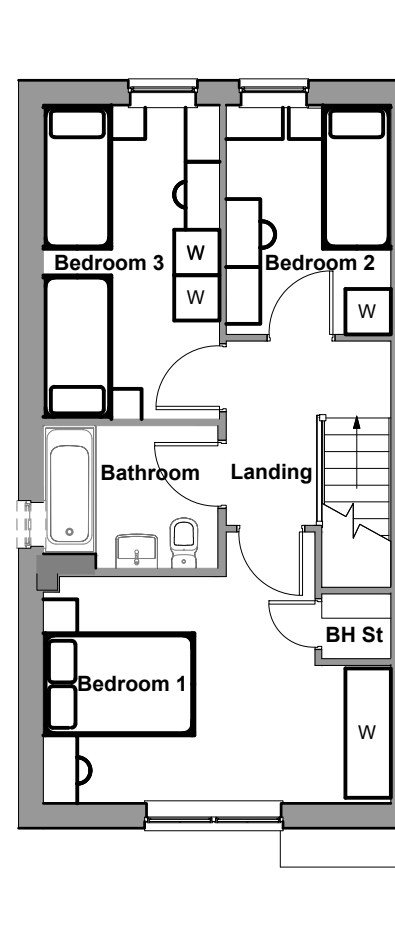
**SIDE ELEVATION**



**REAR ELEVATION**



**GROUND FLOOR**



**FIRST FLOOR**

M4 (2) CATEGORY 2 : ACCESSIBLE AND ADAPTABLE DWELLINGS COMPLIANT

Floor Area: 927 ft<sup>2</sup> / 86.2 m<sup>2</sup>

Sales Name: TYPE 52 - Stone

House Type Code: B52F 00EC

Spec: AFFORDABLE Drawing No:01

Drawn: AM

Date: May, 2018

Checked: RS

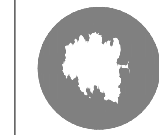
Scale: 1 : 100@A3

**WARNING TO HOUSE-PURCHASERS**

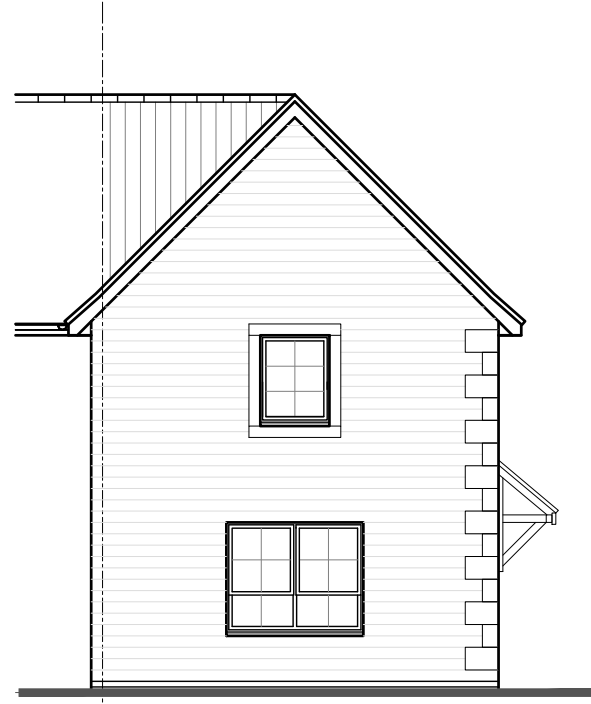
Buyers are warned that this is a working drawing and the contents of this drawing may be subject to change during the progress of the building. The layout, construction, materials, finishes, fixtures, fittings, etc. may differ from those shown on this drawing. Buyers are advised to check with the Sales Adviser whether any alterations have been made to this drawing. The contents of this drawing do not constitute a contract, part of any contract or warranty unless specifically incorporated into the contract. They should not be relied upon for the purposes of entering into a contract to purchase any property.

**Planning AS**

Rev	Description	Date
B	Refer to Data Sheet for full revision description	June 2018
C	Refer to Data Sheet for full revision details	Aug 2018
D	Refer to Data Sheet for full revision description	Oct 2018



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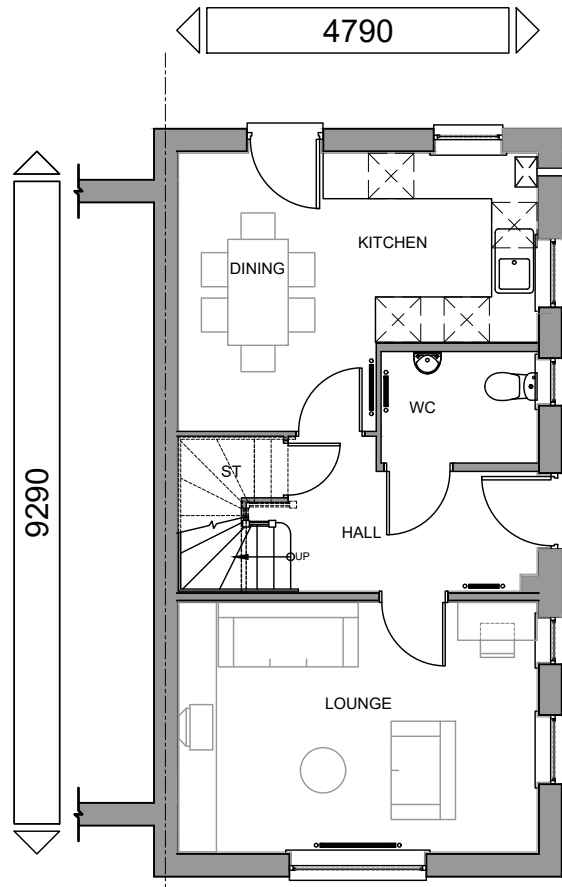
**SIDE ELEVATION**



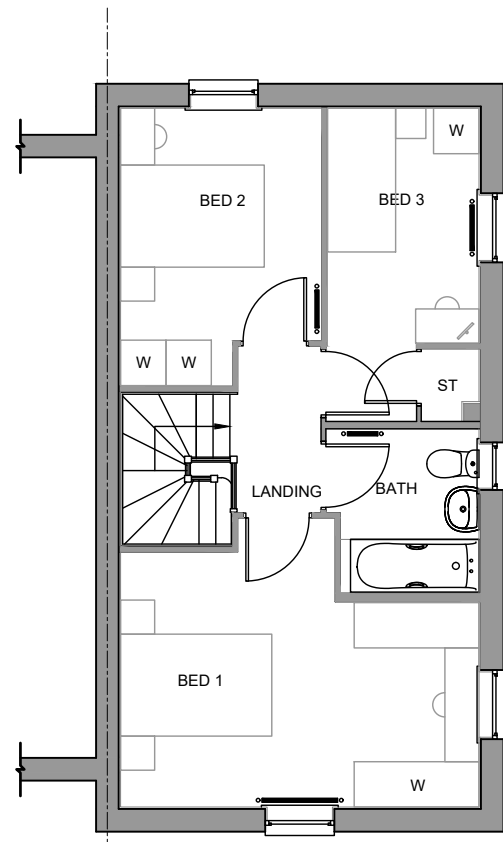
**FRONT ELEVATION**



**REAR ELEVATION**



**GROUND FLOOR PLAN**



**FIRST FLOOR PLAN**

M4(2) CAT 2: ACCESSIBLE AND ADAPTABLE DWELLINGS COMPLIANT

TOTAL FLOOR AREA : TYPE 55 - 89 m2 / 958 Sqft 3B/5P

Sales Name: **TYPE 55 - Stone**

House Type Code: **B55F 00EC**

Spec: **AFFORDABLE** Drawing No: 01

Drawn: SH

Date: JUN 2016

Checked:

Scale: 1:100 @ A3

**PLANNING DRAWINGS**

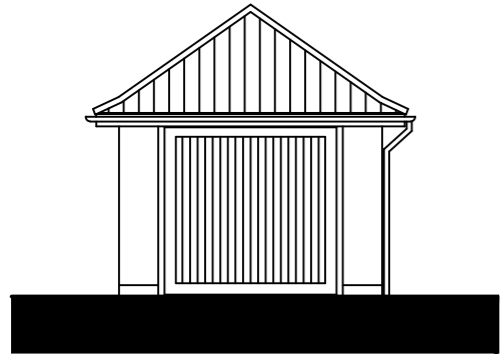
Rev: A Description: Section / Side Elevation removed. Bed 1 and 2 furniture layout revised. Date: Mar 17

**WARNING TO HOUSE-PURCHASERS:**  
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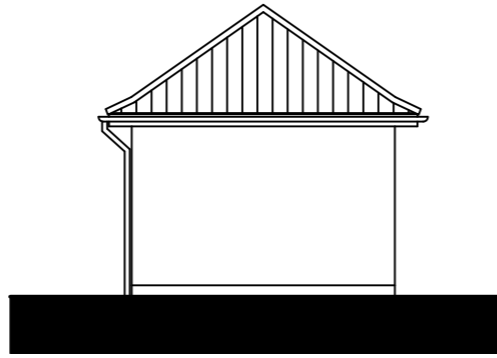


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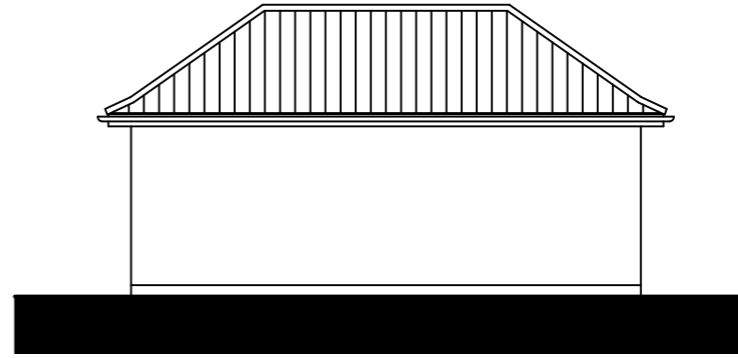
Group Design & Technical Department  
Ground Floor South - The Quadrant  
Kingfisher Boulevard  
Newburn Riverside - Newcastle Upon Tyne  
NE15 8NZ



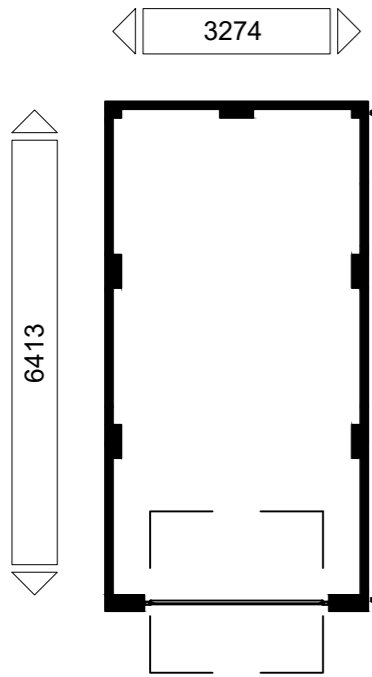
**FRONT ELEVATION**



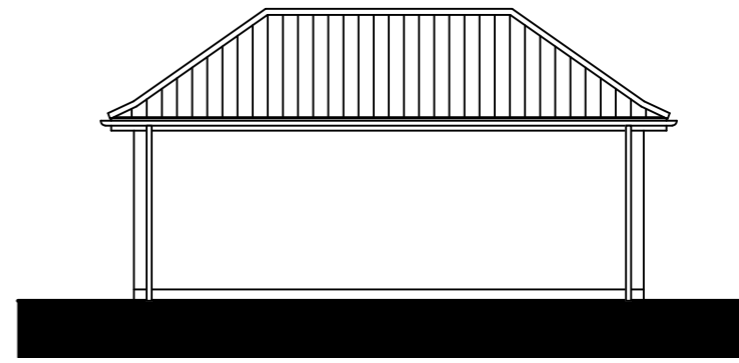
**REAR ELEVATION**



**SIDE ELEVATION**



**GROUND FLOOR**



**SIDE ELEVATION**

LSG1H8 GTO CODE: GLD8 SDHR

Floor Area: 226 ft<sup>2</sup> / 21.0 m<sup>2</sup>

Sales Name: Single Garage

House Type Code: Dual Branded Garages - 6x3

Drawing No: LSG1H8

Date: April 2016

Drawn: GDT

Checked: GDT

Scale: 1 : 100 @A3

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**Planning**

Rev	Description	Date



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TRADES ADVERTISING LIMITED