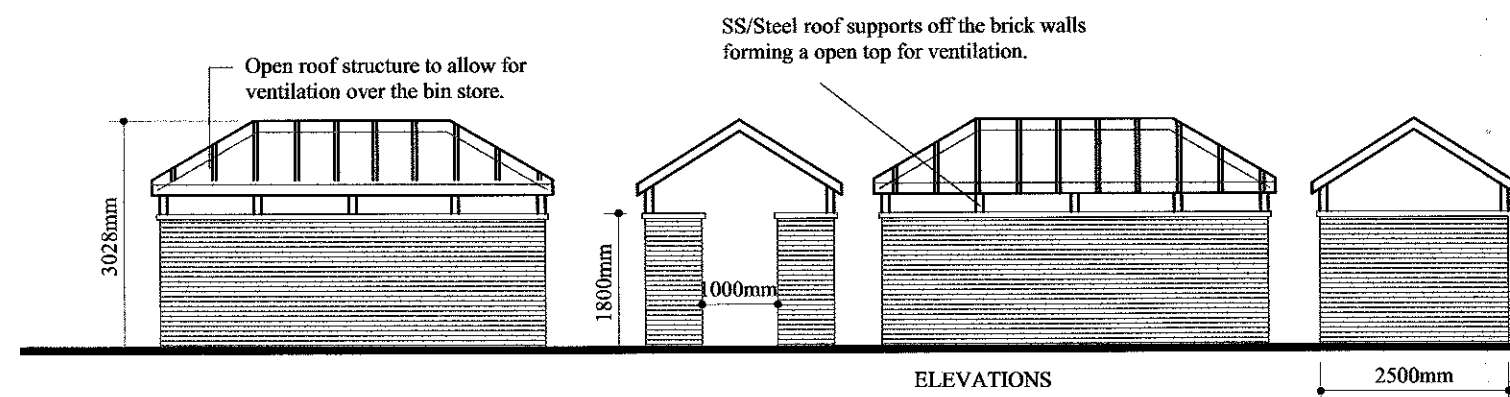
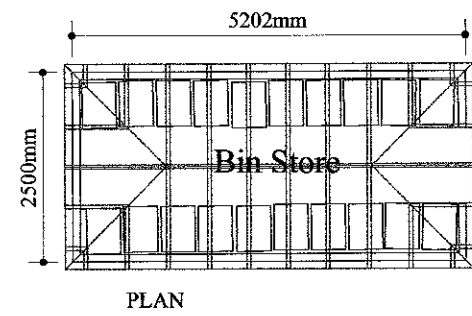


PROPOSED SIDE ELEVATION TO ST PAUL'S TERRACE

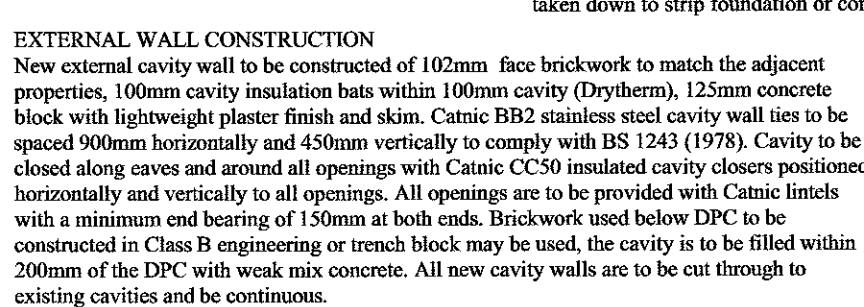


ELEVATIONS



PLAN

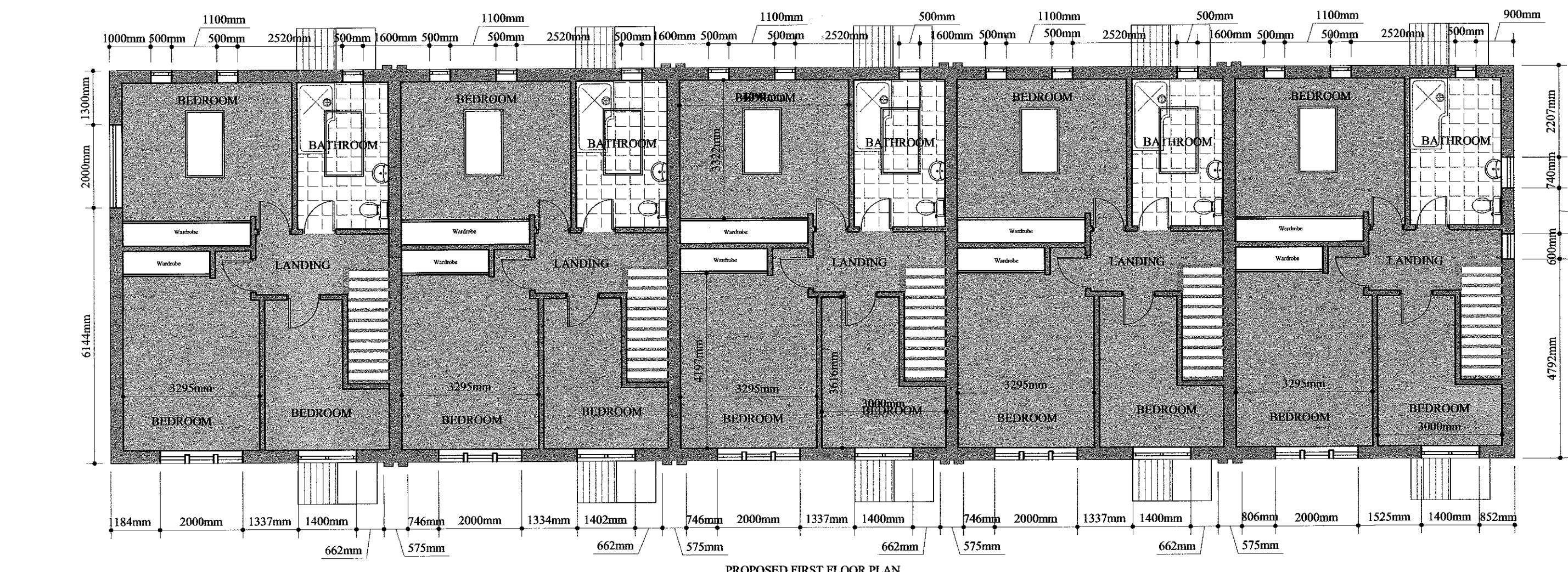
PROPOSED SIDE ELEVATION TO CLUB



HEATING
Heating to be provided by low pressure radiators with a fan assisted combi boiler. The installation is to be fitted in accordance with the Gas Regulations with a CORGI registered fitter.

UNVENTED SYSTEMS
All unvented systems are to have an expansion pipe piped to the external elevation and extended down to floor level.

PROPOSED GROUND FLOOR PLAN



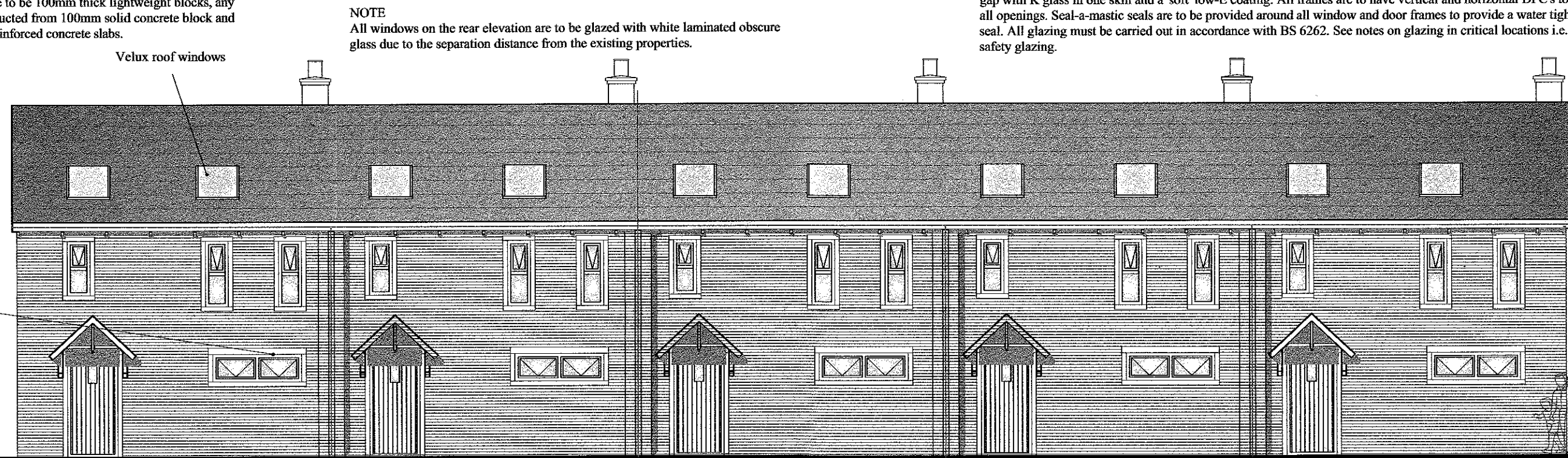
PROPOSED FIRST FLOOR PLAN

INTERNAL PARTITIONING - SOLID FLOOR

Partition walls constructed of concrete floor slab are to be 100mm thick lightweight blocks, any internal load bearing partition walls are to be constructed from 100mm solid concrete block and taken down to strip foundation or constructed on reinforced concrete slabs.

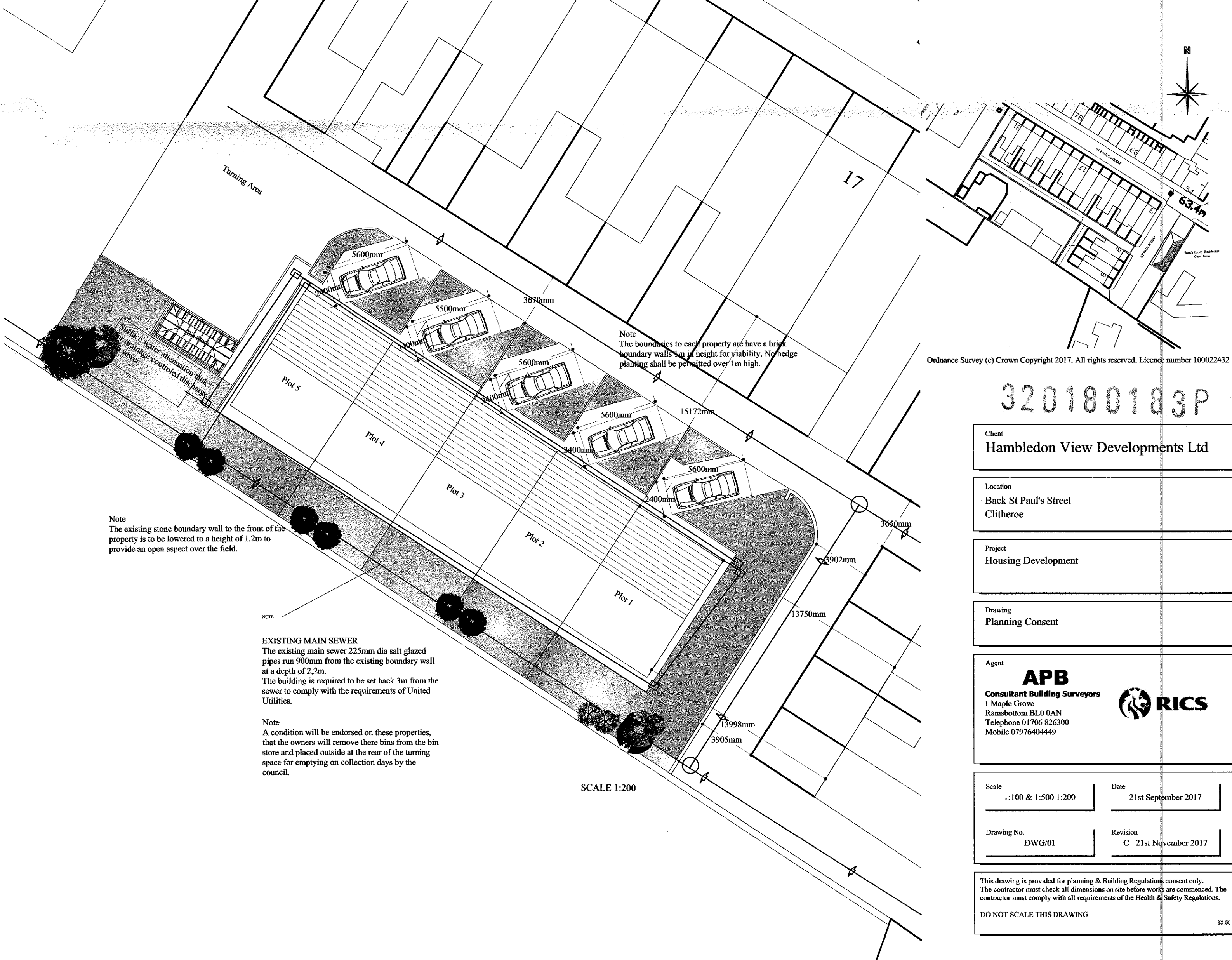
NOTE
R.W.P. Are to be fixed in the recessed brick pier as shown.

PROPOSED FRONT ELEVATION



PROPOSED REAR ELEVATION

NOTE
All windows on the rear elevation are to be glazed with white laminated obscure glass due to the separation distance from the existing properties.



SUSPENDED TIMBER FLOOR CONSTRUCTION
Floor to be constructed of 25mm thick T&G floor boards with a density of 15kg/m² on 220 x 50mm gauged s/w floor joists (grade SC3) at 400mm centres. Joists spanning onto party wall are to be fixed with Catic joist hangers built into brickwork. Ceiling to be 12mm plasterboard nailed to underside of joists with plaster skim finish. Lateral support to be provided at 2m centres with galvanised m/s straps type L 30 x 5mm extended across 3 joists. Catic m/s herring bone strutting ref. HRB6, is to be provided along mid-span of floor joist, last joist to be packed off the brick/blockwork.

TOP WATER DRAINAGE
All top water drainage are to be 100mm underground PVC-U or Supersleeve with flexible joints piping to be laid at a minimum fall of 1:40. Drains passing under the building are to be protected by surrounded with 100mm (min) granular material and where passing through a wall a suitably sized lintel is to be provided over the opening ensuring that a 50mm space is maintained around the pipe. Openings must be masked to prevent fill. All underground drainage to comply with BS 8301 (1985), new gullies to be provided with rodding access, separate drainage systems are to be combined at the last manhole depending on existing drainage systems.

WASTE PIPES
All waste pipes are to be a minimum of 38mm dia. to wash hand basins and sinks, pipes are to be fitted with 75mm deep seal traps or anti-vac traps if connected directly to a soil and vent pipe. 40mm waste pipes are to be provided to bath and showers. Soil and vent pipes are to be 100mm dia and terminated 1m above any opening windows adjacent to the stack, a suitable bird cage is to be fitted to the top of the stack. Alternatively an air admittance valve may be used above the last stack connection. All installations are to comply with the Approved Document Part H and BS 5572 (1978).

INTERNAL PARTITIONING
All non-load bearing partitions are to be constructed of 100 x 50mm s/w studs at 450mm centres on 100 x 75mm sole plate fixed to the floor. Partition to be insulated with Rockwool bats for sound insulation and covered with 12.5mm thick plasterboard with a density of 10kg/m² and skim to both sides.

GROUND FLOOR CONSTRUCTION (SOLID)
New ground floor to be construction, clean stone well compacted to form levels with sand binding. 1200 gauge polythene DPM to be turned up at the edges and linked in to the DPC. kinkspan Kooltherm K3 board 150mm thick with a top layer of 1000 gauge DPM membrane, slab 200mm concrete C25 with one layer of A142 anti clanking steel reinforcement to be place 50mm from the top of the slab.
U value 0.22

INSULATION
Insulation of the roof space is to be 100mm thick Rockwool mineral wool roll bats laid between ceiling joists over 12.5mm foil backed plasterboard, with a further 250mm fibreglass laid across to give a total thickness of 350mm. The insulation is to be extended over the timber wall plates off the internal wall maintaining a minimum 50mm air gap between the insulation and the sarking felt to ensure through ventilation of the roof space.

STAIRCASE
The new staircase shall comply with Part K of the Approved Document. The maximum rise and going for a private stair shall be any rise between 155mm and 220mm used with any going between 245mm and 260mm or any rise between 165mm and 200mm used with any going between 223mm and 300mm. The pitch of the staircase shall be no greater than 42 degrees, with a minimum headroom of 2m. The handrail is to be a minimum of 900mm high. Balustrades are to be 1m high and capable of resisting a horizontal force of at least 0.36kN/m for each meter length. Maximum openings in the balustrades shall be no greater than 100mm and rails are to be vertical so as not to allow children to readily climb the guarding. Guarding to external balconies and roof edges to be a minimum of 1100mm high and resist a horizontal force of 0.74kN/m.

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Client	Hambledon View Developments Ltd
Location	Back St Paul's Street Chitheroe
Project	Housing Development
Drawing	Planning Consent
Agent	APB Consultant Building Surveyors 1 Maple Grove Ranabottom BL8 0AN Telephone 01706 826300 Mobile 07976404449
Scale	1:100 & 1:500 1:200
Date	21st September 2017
Drawing No.	DWG/01
Revision	C 21st November 2017

This drawing is provided for planning & Building Regulations consent only.
The contractor must check all dimensions on site before work is commenced. The contractor must comply with all requirements of the Health & Safety Regulations.
DO NOT SCALE THIS DRAWING