



RESERVED MATTERS APPLICATION
FOR
PROPOSED NEW DWELLING
AT
LAND ADJACENT TO 39 CLITHEROE ROAD, WHALLEY
DESIGN AND ACCESS STATEMENT

Job No. 4386

Rev 1.00_ May 2018

1.0 CONTEXT

1.1 INTRODUCTION

This Design and Access Statement has been prepared by Sunderland Peacock and Associates Ltd on behalf of Mr and Mrs Bentley. It forms part of a reserved matters application seeking approval of details relating to layout, scale and appearance of the building and landscaping of the site. The application follows the outline approval for one dwelling using the existing access off Clitheroe Road which was determined in October 2017, application reference 3/2017/0849.

The document provides an overview of the design considerations in conjunction with associated drawings which will demonstrate and support the design proposal.

It is to be read in conjunction with all planning drawings and supporting documentation as follows:

- SUNDERLAND PEACOCK SUPPORTING DRAWINGS:
 - 4386-E00 - Location Plan
 - 4386-E01 - Existing Site Plan
 - 4386-P01 - Proposed Site Plan
 - 4386-P02 - Proposed Floor Plans and Elevations
 - 4386-P03 - Proposed Visuals
 - 4386- 1.00- Design and Access Statement
- RYCROFT ASSOCIATES:
 - 782.1C Planting Proposals
- BOWLAND TREE CONSULTANCY:
 - Arboricultural Impact Assessment

1.2 EXISTING

The site forms part of the extensive residential curtilage of no. 39 Clitheroe Road with the existing house being positioned to the northern part of the curtilage with a separate vehicle access.

The site area is approximately 0.34 hectares with a road frontage of 36m benefiting from an existing gated vehicle access from Clitheroe Road. With the existing house to the north, there is a field separation to the south before the neighbouring house.

The site consists of a largely open space with mature trees on the frontage of Clitheroe Road forming the boundary of the site.



Figure 1_ Site location,



Figure 2_ view from adjacent side of Clitheroe Road facing the site entrance.



Figure 3_ view from west boundary looking across the site.

2.0 DESIGN

2.1 PROPOSAL

The outline approval established the access and principle of the residential development with this reserved matters application seeking the remaining matters.

The proposal has been orientated to maintain a frontage parallel to Clitheroe Road which allows for the proposal to benefit from views and access to the garden space to the rear. The proposal creates a natural boundary from Clitheroe Road through the retention of existing trees and character of the site. The access road is to the north which opens up to the driveway and access to the garage.

2.2 SCALE

The proposal consists of three distinctive elements implemented through height and materials design. These sections are connected by contrasting and subservient 'link' forms which utilise alternative materials and scales connecting the more prominent sections.

The main entrance feature is located between two of the larger elements with a double height glazed atrium and chamfered entrance form with contrasting and cladding sections.

The perpendicular roof pitch is occupied by a lower level form occupied by the garage area. Consideration has been given to this principle front elevation facing Clitheroe Road, which has resulted in the use of window openings and cladding details providing visual interest.

2.3 LAYOUT

The proposal allows for an open plan living space which is accessed from a double height and feature hallway. The hallway serves as a central area off which is a living room, study / bedroom, WC and cloaks. The kitchen / dining room provides a flexible space with a snug positioned to the south which can be further opened up to this living space. An associated utility room and garage is accessed from this space with good access to external areas and to the garden spaces.

At first floor there are three double bedrooms, a separate bathroom and one en-suite room to one side of the hallway with the rooms benefiting from the views to the western garden area. A linen store and storage area occupy the space above the garage. A master bedroom suite is located to the north section of the hallway including a dressing room and en-suite benefiting from view to the front and rear.

The inclusion on sliding door systems and glazing elements throughout the design layout provide a direct interaction with the surrounding landscape and views of the site.

2.4 APPEARANCE

The external aesthetic has been sensitively designed to respond to the site and surrounding location by integrating the use of traditional materials such as stone and slate. A contemporary aspect of the design is incorporated through glazing detailing, introduction of aluminium cladding and projecting eaves detailing. A sample of material images is illustrated in Figure 5.



Figure 4_ proposed floor plans and elevations (not to scale)

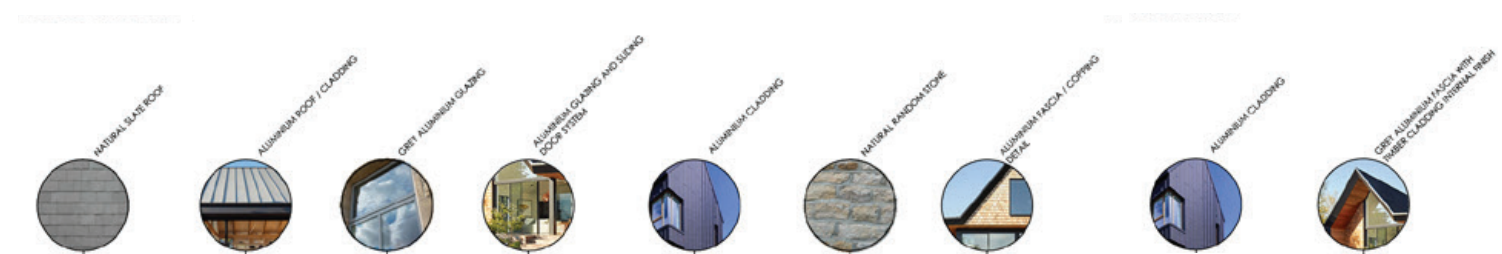


Figure 5_ Proposed sample materials

The rear elevation contains the most contemporary aspect with glazed areas providing connection to the garden as well as an aesthetically ‘floating’ top section of the house. A vertical vernacular is introduced by the stone wall piers and chimney which provides a visual break to the elevations. Glazing at first floor level continues the connection with the western views of the garden and further afield.

A band of aluminium cladding creates a contrast and softness to the connection with roof as well as providing interest to the elevations. Glazed openings provide both framed views as well as access to the surrounding garden space.

Figure 5 and 6 further demonstrates the external aesthetics of the design and detailing of the proposal.

2.5 LANDSCAPING

The existing site currently contains a number of mature trees with the majority to the perimeter and frontage onto Clitheroe Road which establishes a positive aesthetic and integration of the proposal.

The proposal does require the removal of some vegetation in order for the development to progress successfully. This application is supported by a Arboricultural Impact Assessment by Bowland Tree Consultancy which assesses the existing and proposed impact of the trees. A detailed landscaping plan has been prepared by Rycroft Associates which allows for a provision of eleven new trees and a native hedge which more than adequately mitigates for the small number of losses.

2.6 ACCESS

Access reflects the outline approval via the same entrance with numerous parking spaces provided.

2.7 UTILITIES

There is an existing sewage drain which starts in the middle-western part of the site as demonstrated in figure 7 and located on the submitted drawings. A 3m easement from the centre line of the approximate position has been established and does not impact the proposed building location. The exact position will be located on site through a detailed scanning service by the contractor prior to commencing works on site. A condition survey of the pipe will also be carried to assess if it can be used by the proposal.

3.0 CONCLUSION

The principle of the replacement dwelling has been approved through an outline application approval therefore this proposal is to be determined on the layout, scale, appearance and landscaping of the building. The proposal which forms the basis of this application has been designed to provide a positive visual impact on the site and a quality architectural design for the site and surrounding area.



Figure 6_ Proposed sample materials

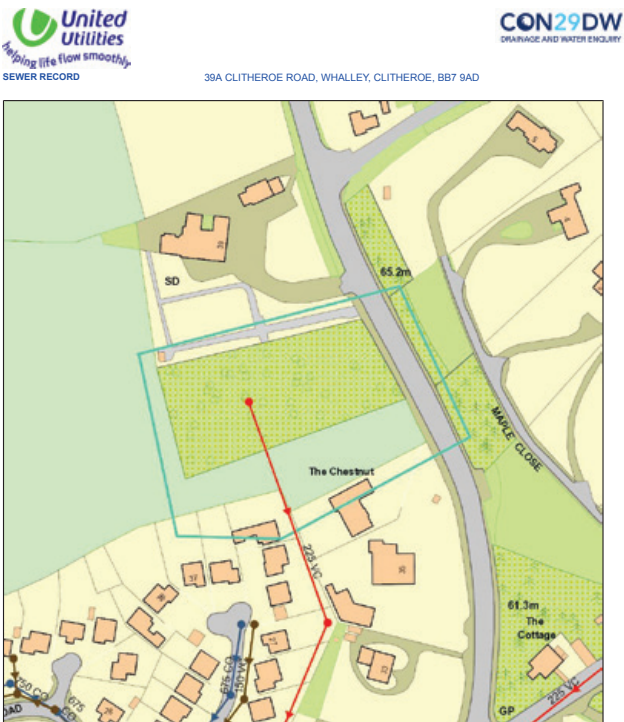


Figure 7_ United Utilities site plan



RESERVED MATTERS APPLICATION
FOR
PROPOSED NEW DWELLING
AT
LAND ADJACENT TO 39 CLITHEROE ROAD, WHALLEY
DESIGN AND ACCESS STATEMENT