

PROPOSED REDEVELOPMENT AT WOODLANDS

HOTHERSALL, BOROUGH OF RIBBLE VALLEY, LANCASHIRE



HERITAGE ASSESSMENT

GARRY MILLER
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1: EXECUTIVE SUMMARY

This report supports proposed redevelopment at Woodlands, a derelict semi-detached house at Hothersall in the borough of Ribble Valley, Lancashire. Woodlands is neither statutorily nor locally listed and therefore in planning terms is considered an undesignated heritage asset.

Proposals have been submitted to Ribble Valley Borough Council for demolition of Woodlands and replacement by a new detached dwelling to the west. The heritage issue raised by the proposal is its impact upon the significance (i.e. heritage interest and value) of the undesignated building. The scope and purpose of this report is to identify the significance of Woodlands and to assess the proposal's impact upon it.

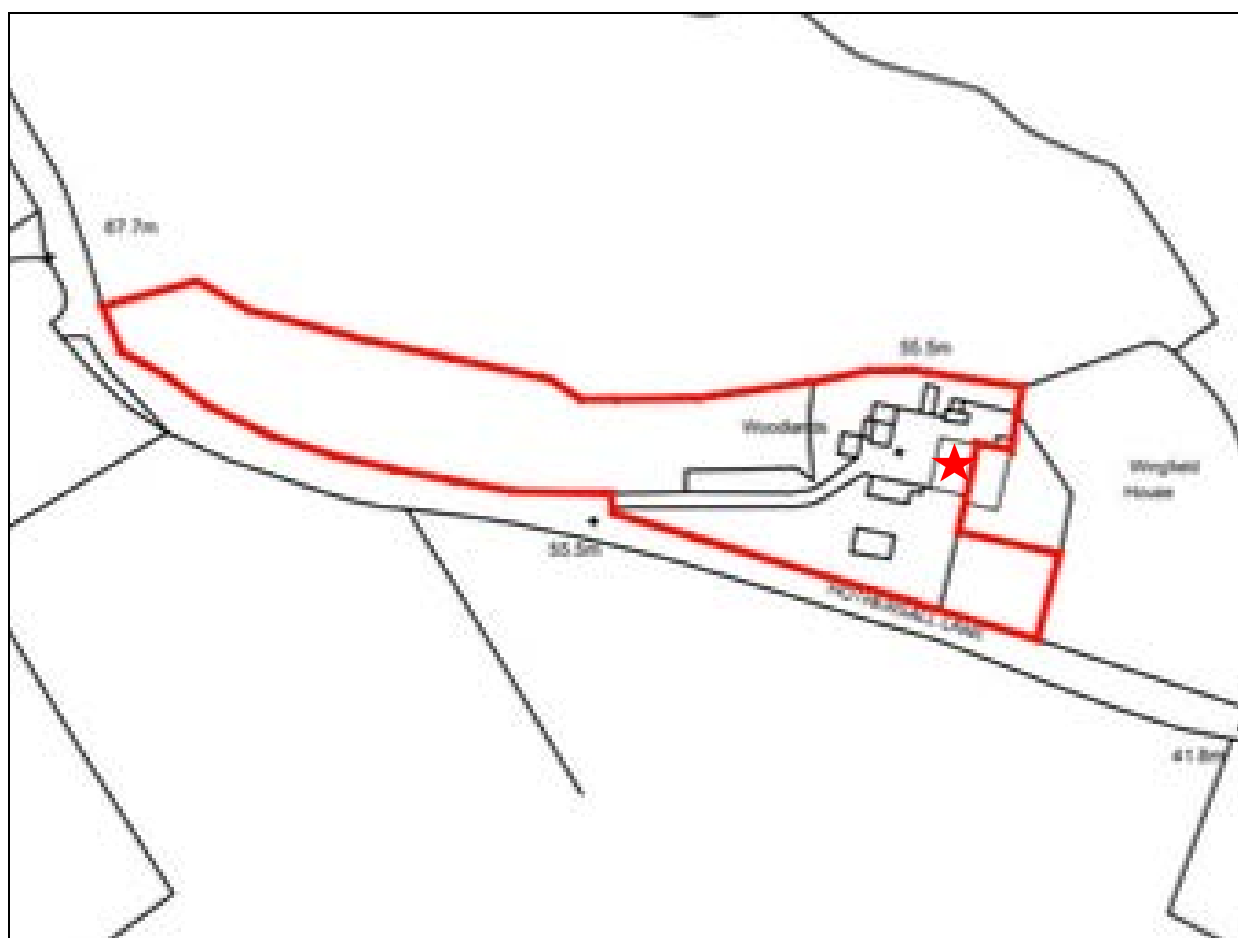
Woodlands is a narrow two-storey property of circa 1860-1880 attached back-to-back at the west end of an earlier villa named Wingfield House. Historic mapping shows that Wingfield House existed by the mid-1840s but a building of different form occupied the site of Woodlands. Woodlands was probably built as a service annexe to replace this predecessor, but by 1912 was a separate property. While Wingfield House is today occupied as a separate private residence, Woodlands is vacant and derelict. Associated with Woodlands are two mid-20th century modern outbuildings of no heritage interest.

Woodlands itself is of no particular architectural interest and therefore its significance resides primarily in the historical sense, i.e. a structure of circa 1860-1880 built on to a superior early 19th century house to replace an earlier range. The dereliction of the building has compromised the low level of interest its fabric possesses. Woodlands is therefore considered to be of low significance, and this significance extends to the purely local context only, i.e. to Hothersall rather than Ribble Valley as a borough.

National planning guidance requires a balanced judgment where undesignated heritage assets are affected, one which balances the scale of harm against the significance of the asset. The proposal will result in the total loss of Woodlands. Given that its significance is low, it is considered the proposal to demolish is not unreasonable. Consent should therefore be granted.

2: THE SITE

The application building is located at Hotherersall, a rural civil parish in the borough of Ribble Valley, Lancashire. Woodlands is situated on the north bank of the Ribble on the north side of Hotherersall Lane, from which it is reached by a short unmade track. It is a narrow semi-detached probably mid-later 19th century house added back-to-back at the west end of an earlier property now named Wingfield House. While the latter is occupied as a separate private residence, Woodlands is vacant and derelict. Associated with Woodlands are two modern outbuildings, both derelict and of no heritage interest.



Map 1. Location of the application site (Woodlands indicated)



1. Woodlands: the main west-facing elevation



2. South elevation, showing back-to-back arrangement with Wingfield House on right

3: THE PROPOSAL/SCOPE OF THIS REPORT

3.1 Designations

Woodlands is neither statutorily nor locally listed and therefore in planning terms is considered an undesignated heritage asset.

3.2 The proposal

Proposals have been submitted to Ribble Valley Borough Council for demolition of Woodlands and replacement by a new detached dwelling to the west.

3.3 Heritage impact

The heritage issue raised by the proposal is its impact upon the significance (i.e. heritage interest and value) of the undesignated building.

3.4 Scope and purpose of this report

Paragraph 189 of the National Planning Policy Framework states local planning authorities should require an applicant to describe the significance of the heritage assets affected, including the contribution made by their setting. The scope and purpose of this report is therefore to describe the significance of the affected heritage assets and to assess the impact of the proposal upon this significance. In accordance with paragraph 189, it is considered the level of detail is proportionate to the importance of the heritage asset, and no more than is necessary to understand the proposal's impact. The report is to be read in conjunction with other documentation supporting the application.

3.5 Report structure

This is as follows:

1. A brief summary of the historical background relating to the site (Section 4)
2. A description of the undesignated building (Section 5)

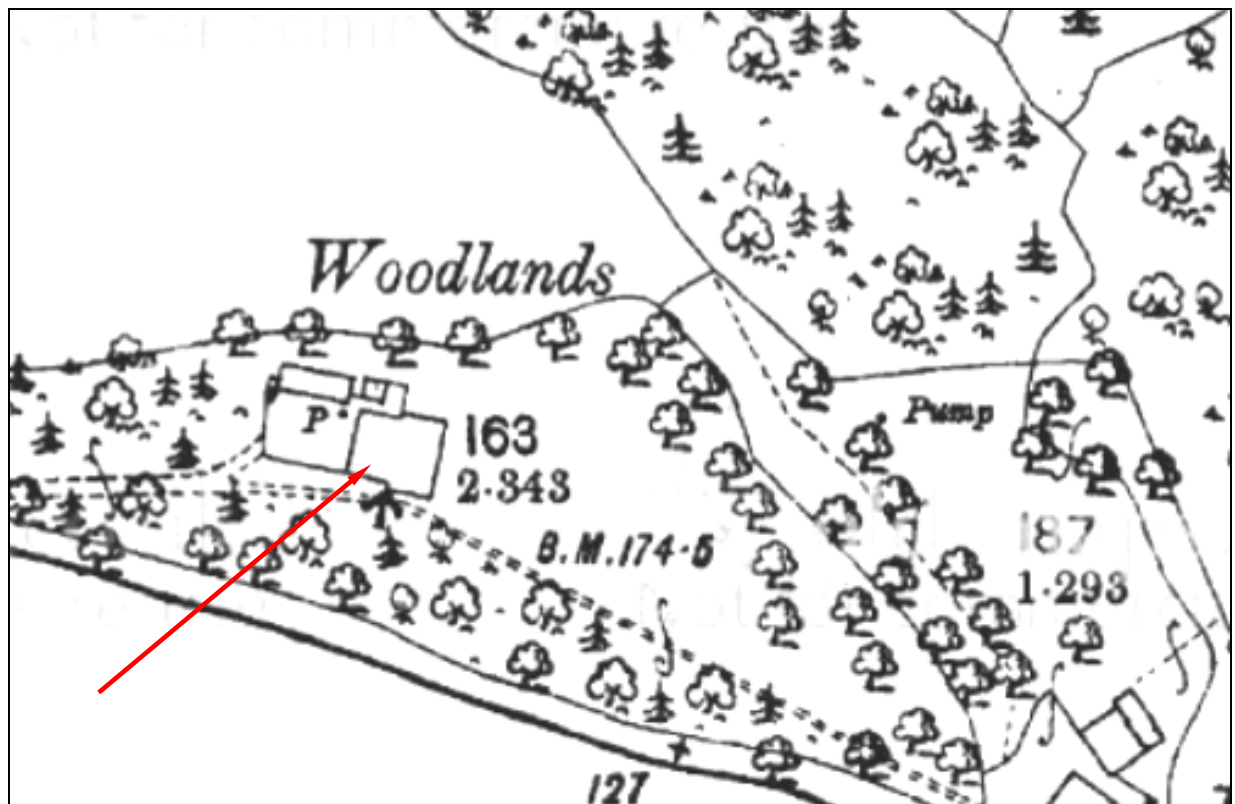
3. A summary of its heritage significance (Section 6)
4. A summary of the heritage planning policies against which the application will be assessed (Section 7)
5. An assessment within this context of the proposal's impact upon the significance of the undesignated building (Section 8)

4: HISTORICAL SUMMARY

Historic mapping shows a single building of different form, also named Woodlands, existed on the site by the mid-1840s (Map 2, below). This comprised a north-south wing at the east end and an L-shaped range to the west with a short projection (a porch?) on its south elevation. The north-south wing ultimately became the present Wingfield House, while the range was the predecessor of Woodlands. A lack of outbuildings suggests this was a villa residence rather than a farm. Wingfield House may originally have been added as a wing, but with the demolition of the range it assumed the role of the superior element of the building. This had occurred by 1893 (Map 3), when the present Woodlands had appeared. Although the building is shown as one dwelling. Woodlands' inferior appearance to Wingfield House suggests it had an ancillary role. Two outbuildings to the north, the larger probably a stable, had also been built but both had gone by 1912 (Map 4). By this time, the present Woodlands is shown as a separate dwelling. Thereafter little change occurred until the mid-20th century when a clutter of smallholding-type structures had appeared by 1967 (Map 5), the survivors of which are the two present outbuildings. By this time the two dwellings were known by their present names.



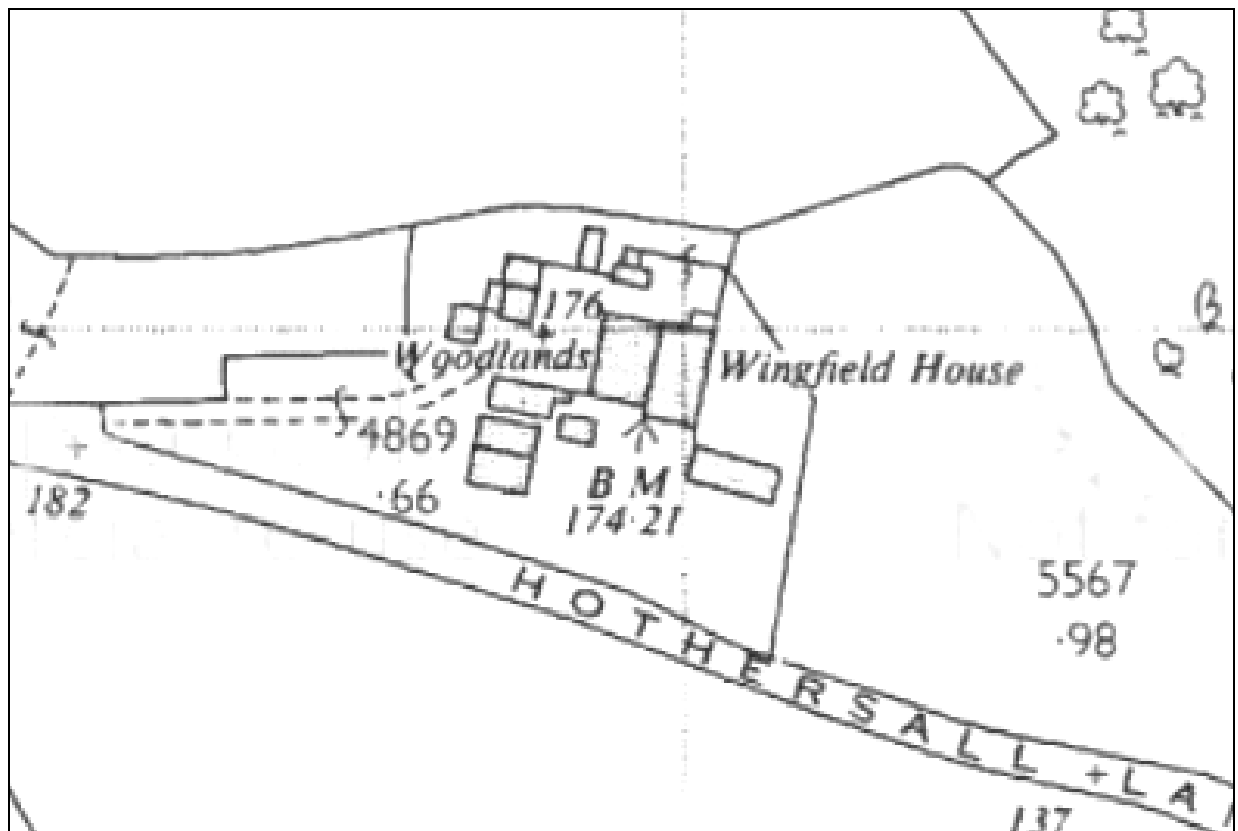
Map 2. A building of different footprint is shown by the 1844 six-inch OS mapping



Map 3. The building is shown in its present form but as a single property by the 25-inch OS mapping of 1893



Map 4. The edition of 1912 shows two separate dwellings



Map 5. By 1967 the properties were identified by their present names

5: DESCRIPTION OF THE BUILDING

5.1 Overview

Woodland is a narrow two-storey property built back-to-back with Wingfield House and probably originally ancillary to it. It has been unoccupied for some time and is now derelict. Architecturally, it is of no particular interest.

5.2 Setting

Woodlands occupies an elevated position upon a bank above Hothersall Lane and in public views is primarily seen end-on from the lane directly in front of the site (Plate 2). The derelict outbuildings occupy the foreground. Further along the lane, the views become restricted by the topography and foliage. The house appears in these views as distinctly secondary to Wingfield House, whose hipped roof and rusticated quoins clearly denote it is a building of higher status.

5.3 Date

Map evidence shows Woodlands was built between 1844 and 1893. Its appearance suggests the period 1860-1880 seems most likely.

5.4 Exterior

Overall, Woodlands has a plain and functional appearance. The main west-facing elevation is of three bays, with the entrance offcentre between the second and third. This has an eight-panel door of Georgian style (and therefore probably reused) within a plain architrave. The windows are four-pane horned sashes, also with plain architraves. The ground floor window of the first bay has been converted to a doorway and a late 20th century porch added. The north and south end gables each have one window per floor, the former offcentre and the latter centred. There are two stone chimneys, placed centrally on the ridge and at eaves level at the south end of the west elevation.

5.5 Interior

- a. **Layout.** The internal arrangement is unusual, more that of a cottage rather than a polite residence. The narrow full-length first bay is a scullery. The middle bay is divided between a kitchen accessed directly from the front entrance, and a stair lobby behind it. The third bay is a parlour.
- b. **Features.** The building is internally derelict with the ceiling in the first bay collapsed, along with the staircase. The scullery is modern and of no interest. The kitchen has a large fireplace that would originally have accommodated a range, with typical plain stone surround. The staircase is of typical later 19th century appearance with heavily moulded newel but plain balusters. The parlour has four-panel doors to the kitchen and stair, and a 1950s tiled fireplace. The upper floor was not accessible.



3. *The principal west-facing elevation*



4. South gable, showing contrast with Wingfield House



5. North elevation and Wingfield House beyond



6. The paneled door is of Georgian style and has probably been reused



7. Windows are typical mid-later 19th century four-paned horned sashes



8. *The kitchen fireplace in the middle bay*



9. *Third bay parlour with its 1950s tiled fireplace on the front wall*



10. Looking out from third bay showing doors to kitchen (left) and rear stair lobby



11. The derelict staircase has typical later 19th century appearance



12. Scullery in narrow first bay

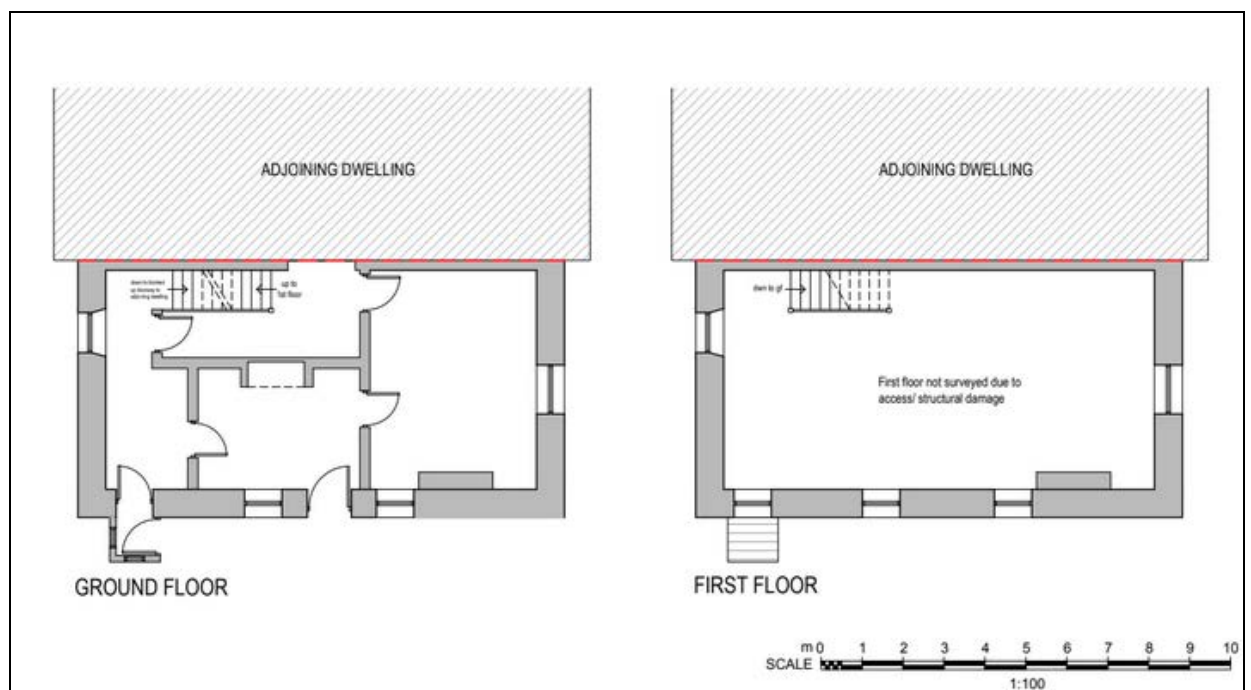


Figure 1. Floor plans of Woodlands as existing (Graham Anthony Associates)

6: SUMMARY OF SIGNIFICANCE

6.1 Introduction

Paragraph 129 of the National Planning Policy Framework states local planning authorities should identify and assess the particular significance of a heritage asset, including its setting, and take this into account when considering the impact of a proposal in order to avoid or minimize conflict between the asset's conservation and any aspect of the proposal. Significance is defined in the NPPF Glossary as:

The value of a heritage asset to this and future generations because of its heritage interest. That interest may be archaeological, architectural, artistic or historic. Significance derives not only from a heritage asset's physical presence, but also from its setting.

6.2 Significance of Woodlands

The building is of no particular architectural interest and therefore its significance resides primarily in the historical sense, i.e. a range of circa 1860-1880 built on to a superior early 19th century house to replace an earlier rear wing. The dereliction of the building has compromised the low level of interest its fabric possesses. Woodlands is therefore considered to be of low significance, and this significance extends to the purely local context only, i.e. to Hotherersall rather than Ribbles Valley as a borough.

7: PLANNING POLICY CONTEXT

The national planning context is established by Chapter 16 of the Revised National Planning Policy Framework (*Conserving and Enhancing the Historic Environment*, July 2018). Paragraph 192 states that in determining applications, local planning authorities should take account of:

- *The desirability of sustaining and enhancing the significance of heritage assets, and putting them to viable uses consistent with their conservation*
- *The positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality, and*
- *The desirability of new development making a positive contribution to local character and distinctiveness*

Regarding undesignated heritage assets such as Woodlands, paragraph 197 states:

The effect of an application on the significance of a non-designated heritage asset should be taken into account in determining the application. In weighing applications that directly or indirectly affect non-designated heritage assets, a balanced judgement will be required having regard to the scale of any harm or loss and the significance of the heritage asset.

The most up-to-date local policy relating to the historic environment is Key Statement EN5 of the Ribble Valley Core Strategy 2008-2028, adopted December 16, 2014. The portions relevant to the present application state:

There will be a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings. The Historic Environment and its Heritage Assets and their settings will be conserved and enhanced in a manner appropriate to their significance for their heritage value; their important contribution to local character, distinctiveness and sense of place; and to wider social, cultural and environmental benefits. This will be achieved through:

- *Recognising that the best way of ensuring the long term protection of heritage assets is to ensure a viable use that optimises opportunities for sustaining and enhancing its significance.*
- *Considering any development proposals which may impact on a heritage asset or their setting through seeking benefits that conserve and enhance their significance and avoids any substantial harm to the heritage asset.*
- *Requiring all development proposals to make a positive contribution to local distinctiveness/sense of place.*

8: IMPACT OF THE PROPOSAL

8.1 Summary of the scheme

The proposal seeks demolition of Woodlands and erection of a new detached dwelling to the west, as shown the submitted drawing numbered GA3108-PSP-01.

8.2 Summary of impact

Paragraph 197 of the revised NPPF requires a balanced judgment where undesignated heritage assets are affected, one which balances the scale of harm against the significance of the heritage asset. It has been demonstrated in this report that Woodlands is a building whose significance is low and extends to the purely local context only. The proposal will result in the total loss of the building. Given that its significance is low, it is therefore considered the proposal to demolish is not unreasonable.

8.3 Conclusion

For the reasons stated above, the proposal satisfies the requirements of national planning guidance as stated in paragraph 197 and therefore consent should be granted.

APPENDIX: GARRY MILLER HISTORIC BUILDING CONSULTANCY

Garry Miller is an architectural historian who has spent more than 40 years studying buildings of town and countryside, in particular those of North West England. His career as a consultant began in the mid-1980s with the Preston-based Nigel Morgan Historic Building Consultancy, of which he became a partner in 1992 upon its rebranding as Datestone. In 1997 he was commissioned by the Heritage Trust for the North West, a buildings preservation trust based at Barrowford, Lancashire, to produce an in-depth regional study of vernacular houses in southwest Lancashire: the result, *Historic Houses in Lancashire: The Douglas Valley, 1300-1770* was published in 2002. The book was described as ‘*scholarship as its best*’ by *Country Life* (June 2003), and ‘*well analysed and presented*’ in *Transactions of the Ancient Monuments Society* (Vol 48, 2004); and was extensively cited in the revised *Buildings of England* volume on Liverpool and Southwest Lancashire (2006). Research on the houses of Georgian and Regency Liverpool has also been undertaken, with a view to future publication. Following the success of his Douglas Valley book, Garry Miller established his own consultancy, producing analytical and interpretive reports on historic buildings and advising planning applications affecting the historic environment. His field of operation extends throughout the North West, Midlands, North Wales and parts of Cumbria and North and West Yorkshire, and projects range from the £40m Wolstenholme Square redevelopment in central Liverpool to the Grade I Barkisland Hall, Ripponden, West Yorkshire and to cottage extensions and barn conversions. Several local authorities have cited his assessments as examples of best practice, and reports on more than 100 buildings or sites are produced annually.