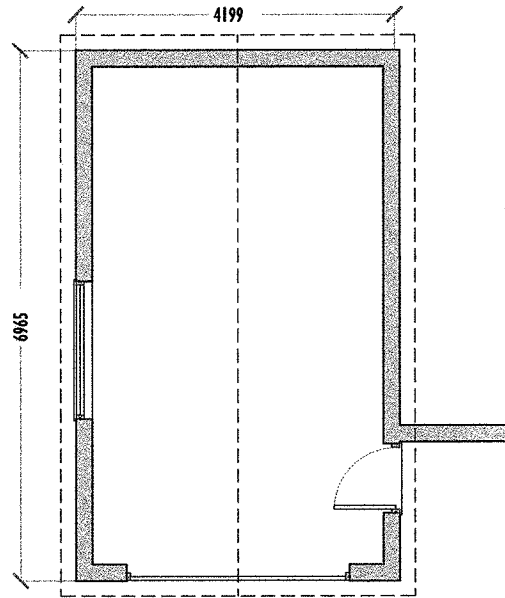
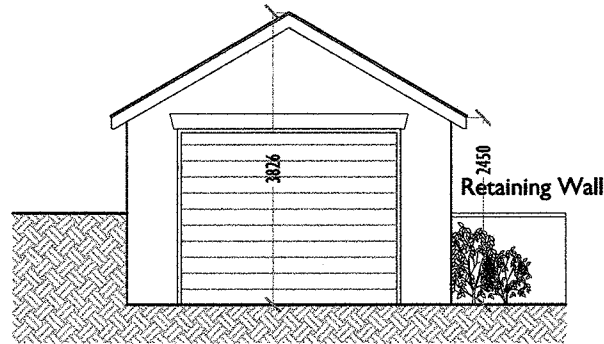


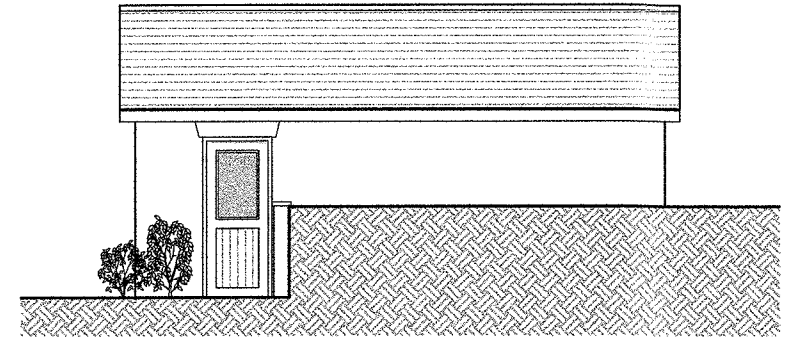
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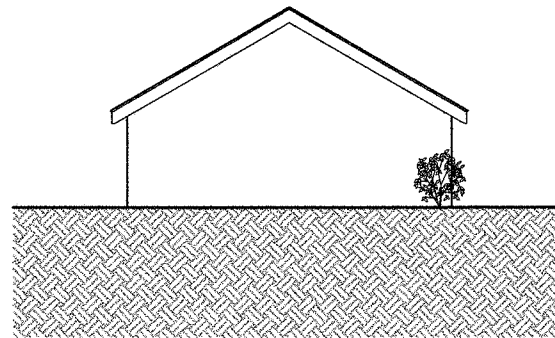
PROPOSED PLAN
Scale 1:100



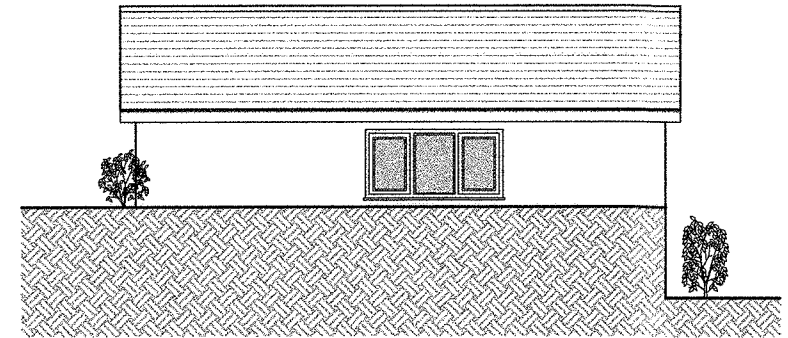
FRONT ELEVATION



SIDE ELEVATION



REAR ELEVATION

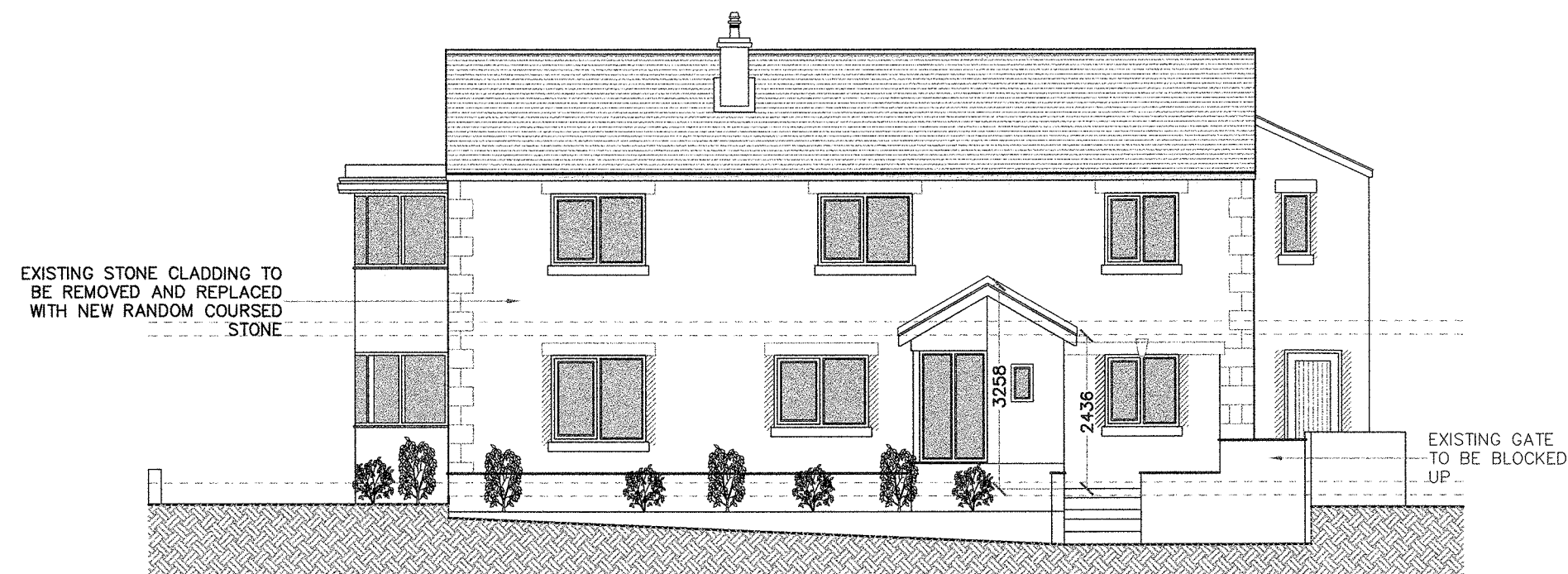


SIDE ELEVATION

PROPOSED ELEVATIONS
Scale 1:100

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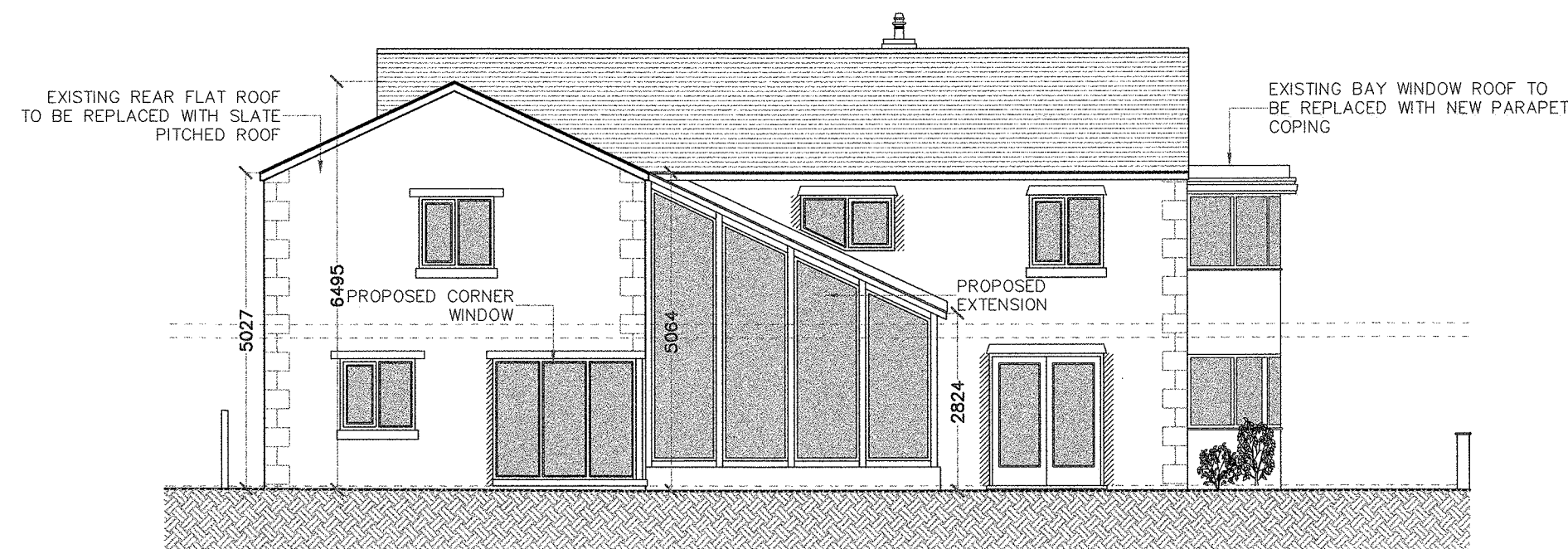
Kitchens, Cross Lane, Bashall Eaves, BB7 3NA For Ms Suzanne Howard		13 08 2018
Extensions and Interior Re-modelling PROPOSED GARAGE		2879
1:100 @ A4		SK / 02 / 01



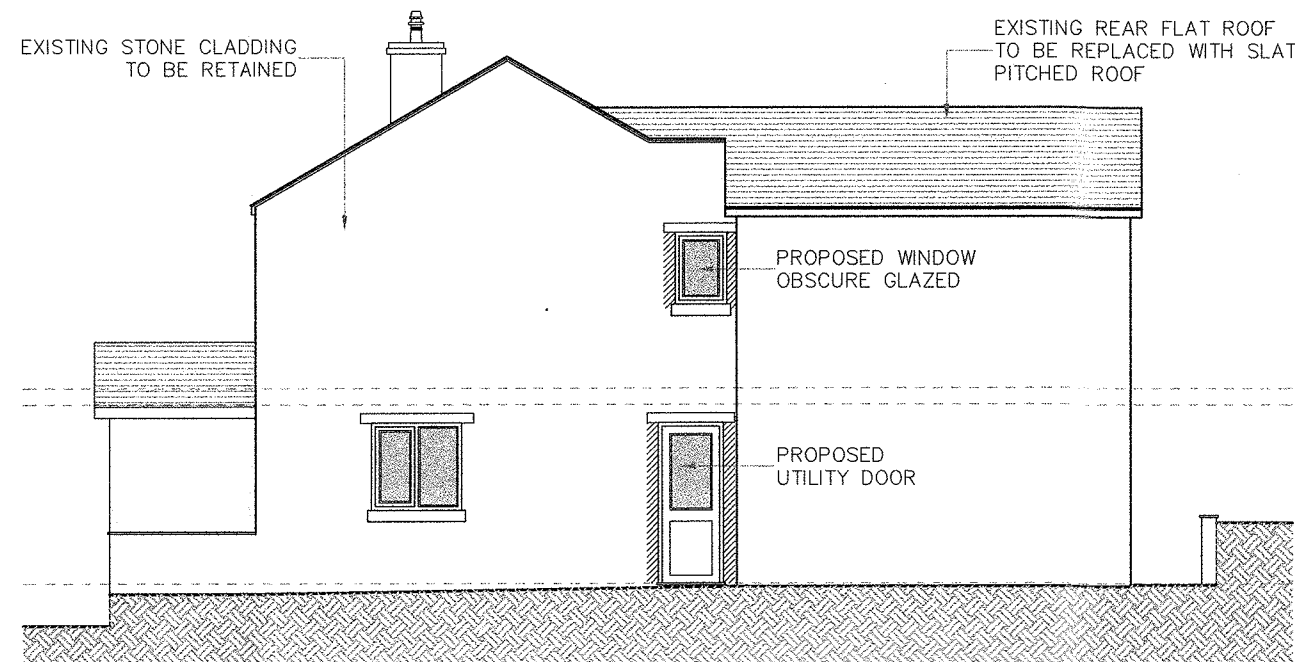
FRONT ELEVATION



SIDE ELEVATION



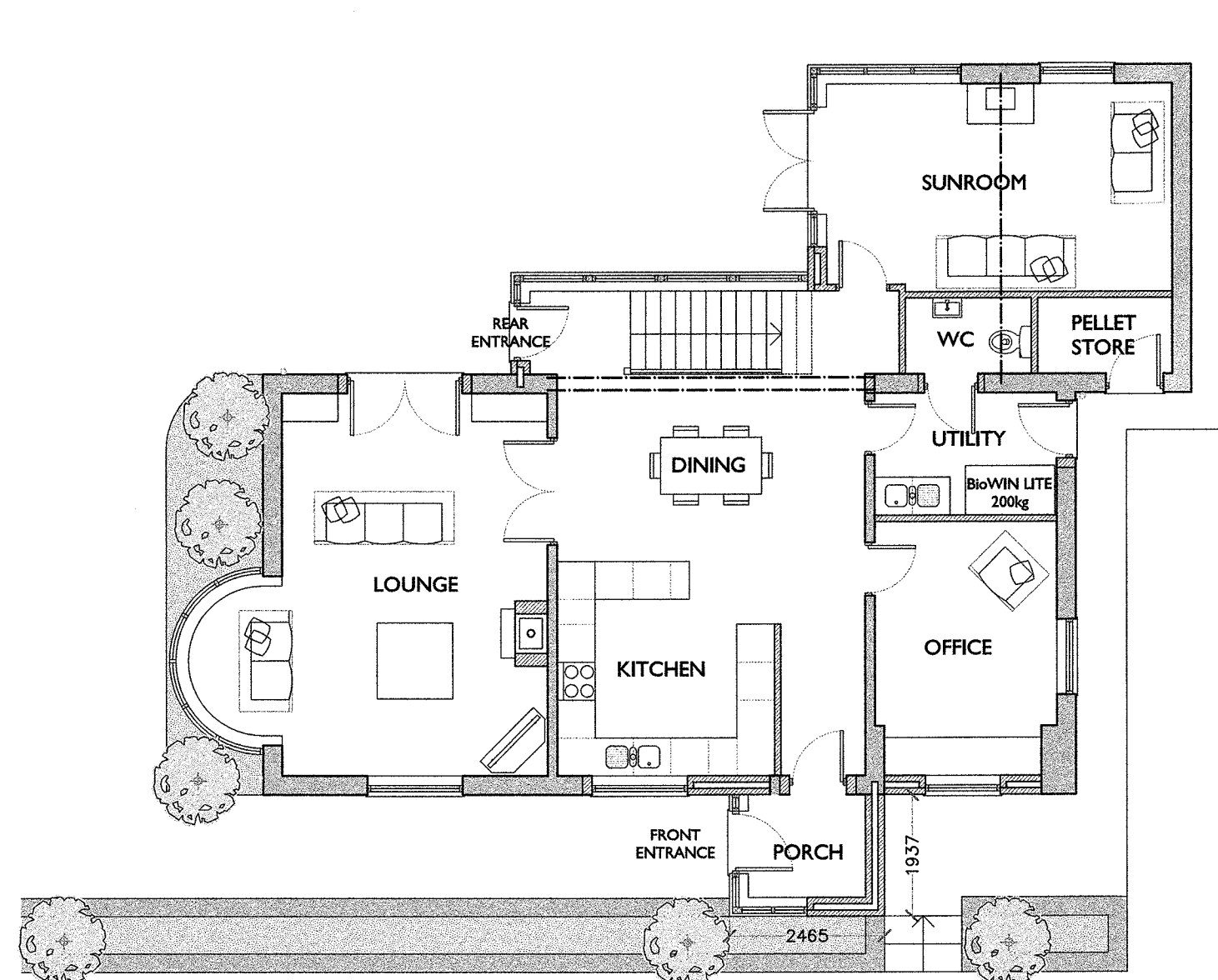
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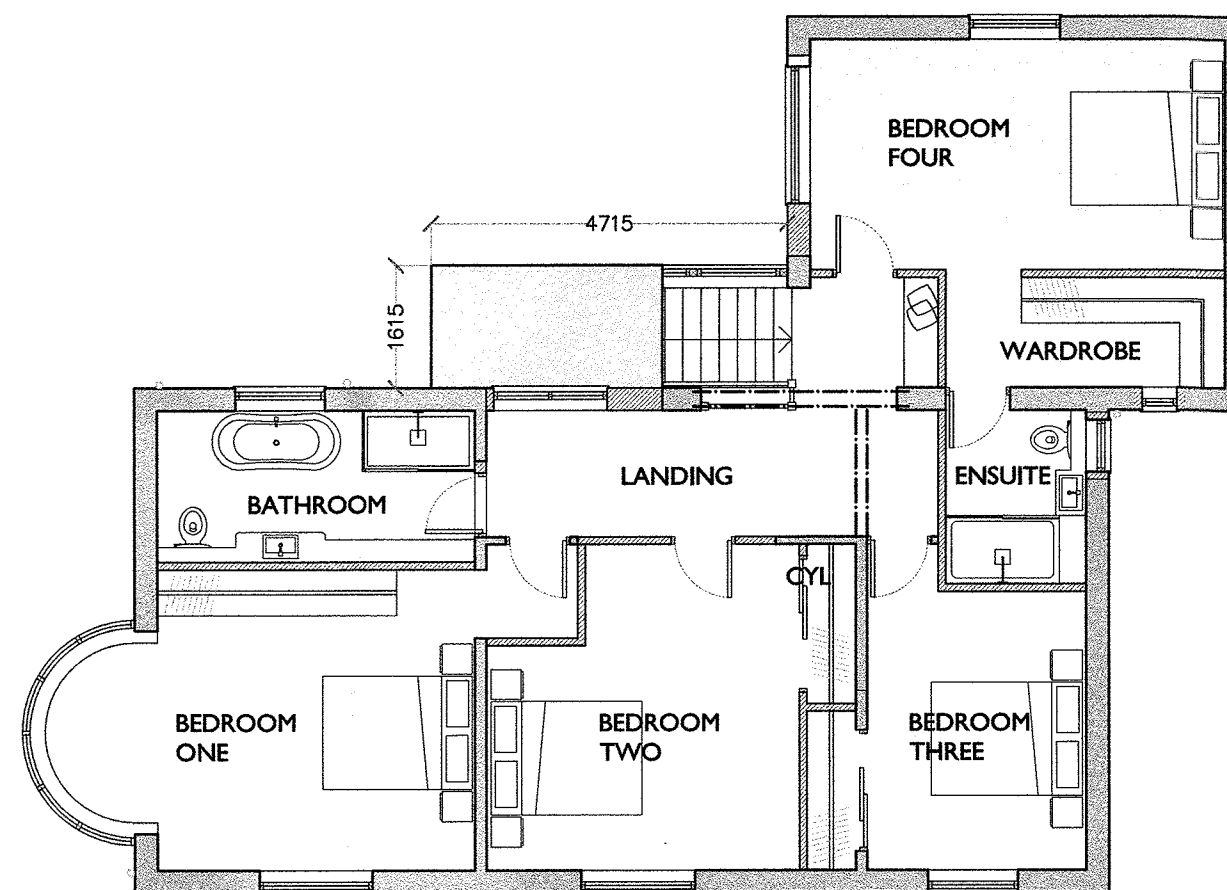
SIDE ELEVATION

PROPOSED ELEVATIONS - OPTION E

Scale 1:100



GROUND FLOOR



FIRST FLOOR

MATERIALS:

- External Walls** Existing stone cladding to be removed and replaced with random coursed stone on front and western side elevation.
Existing stone cladding to eastern elevation to be retained.
Off White K.Rend ☐ As indicated
- Roof** Welsh second hand slate
Proposed glass roof to rear extension
GRP flat roof to bay window
- Windows** Anthracite grey aluminum windows and curtain walling
With new stone heads and cills
* Fenestration as shown
- Doors** Composite Entrance Door to front and rear
UPVC Utility door with obscure glazing
Timber external store door
- Fascias** White UPVC fascias
- RWP** Black UPVC rain water pipes and down guttering

Revisions:
Height to the eaves and ridge of the proposed roof remodelling, rear extension and porch have been annotated on the drawings.

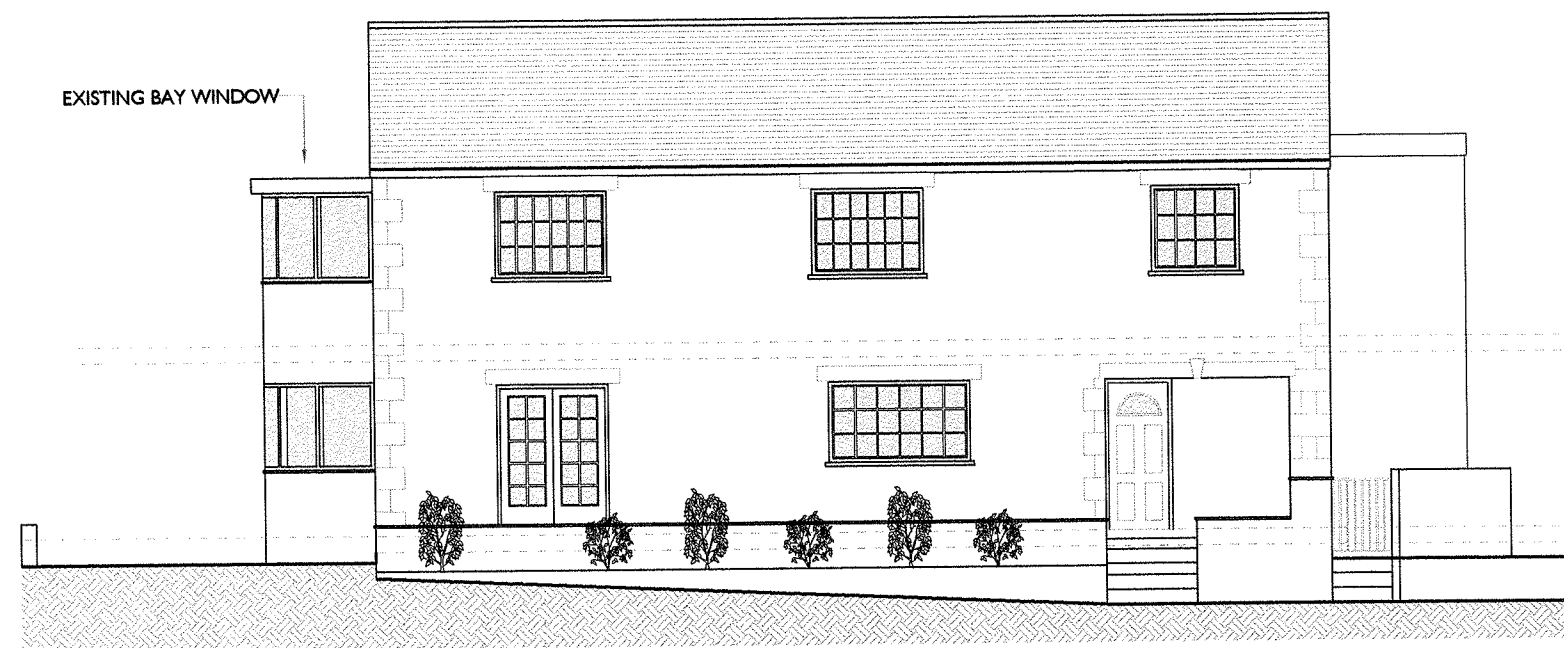
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PROPOSED PLANS - OPTION E

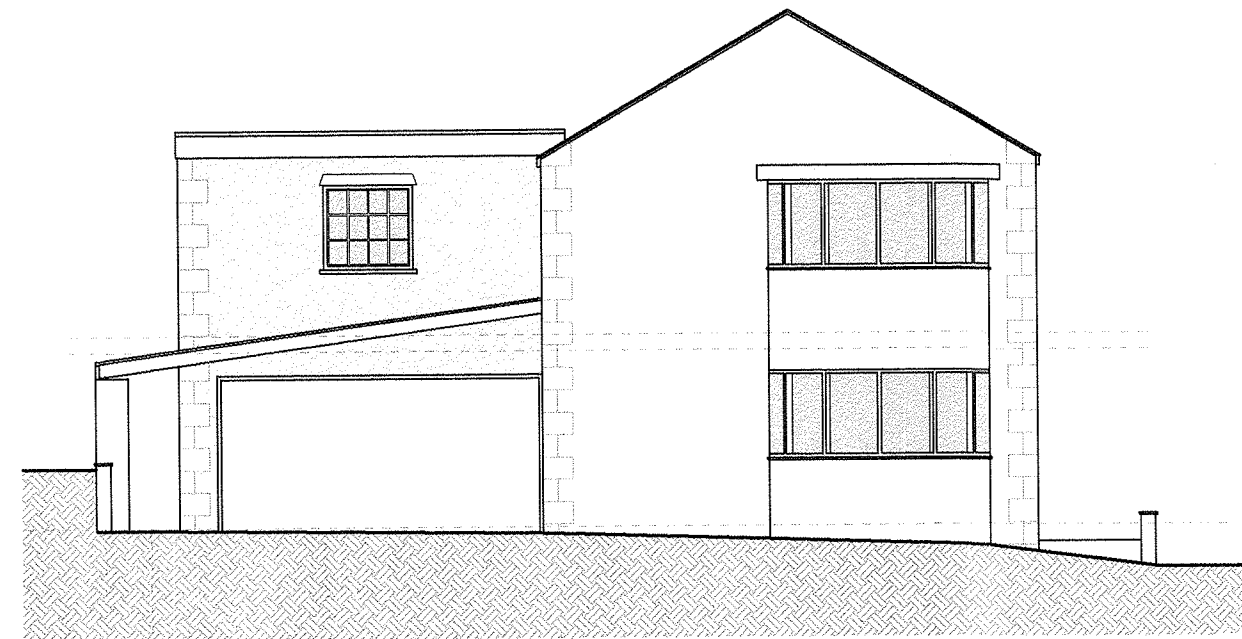
Scale 1:100

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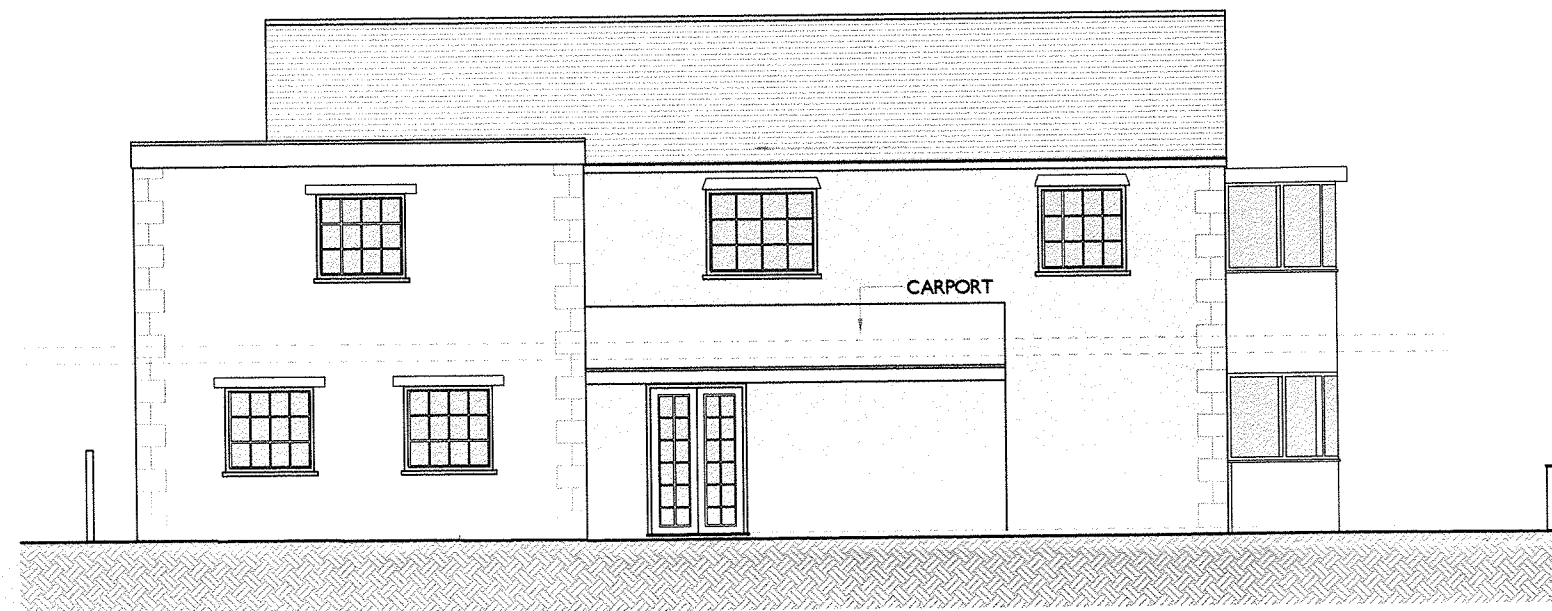
Kitchens, Cross Lane, Bashall Eaves, BB7 3NA For Ms Suzanne Howard	04 09 2018
Extensions and Interior Re-modeling PROPOSED PLANS / ELEVATIONS	2879
1:100 @ A2	PL / 00 / 01A



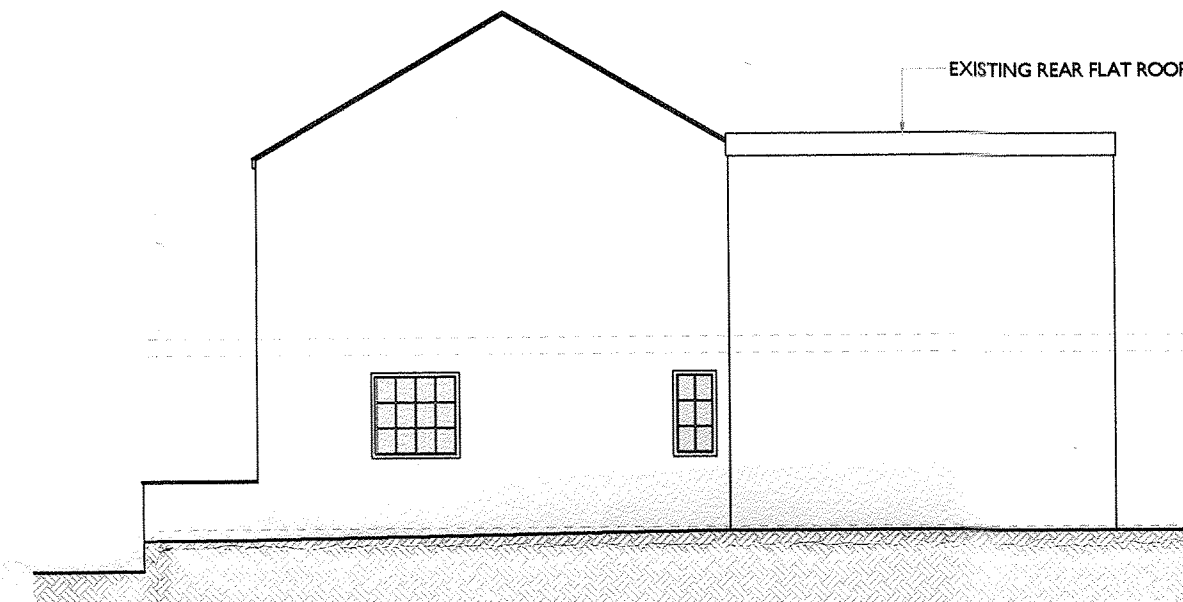
FRONT ELEVATION



SIDE ELEVATION

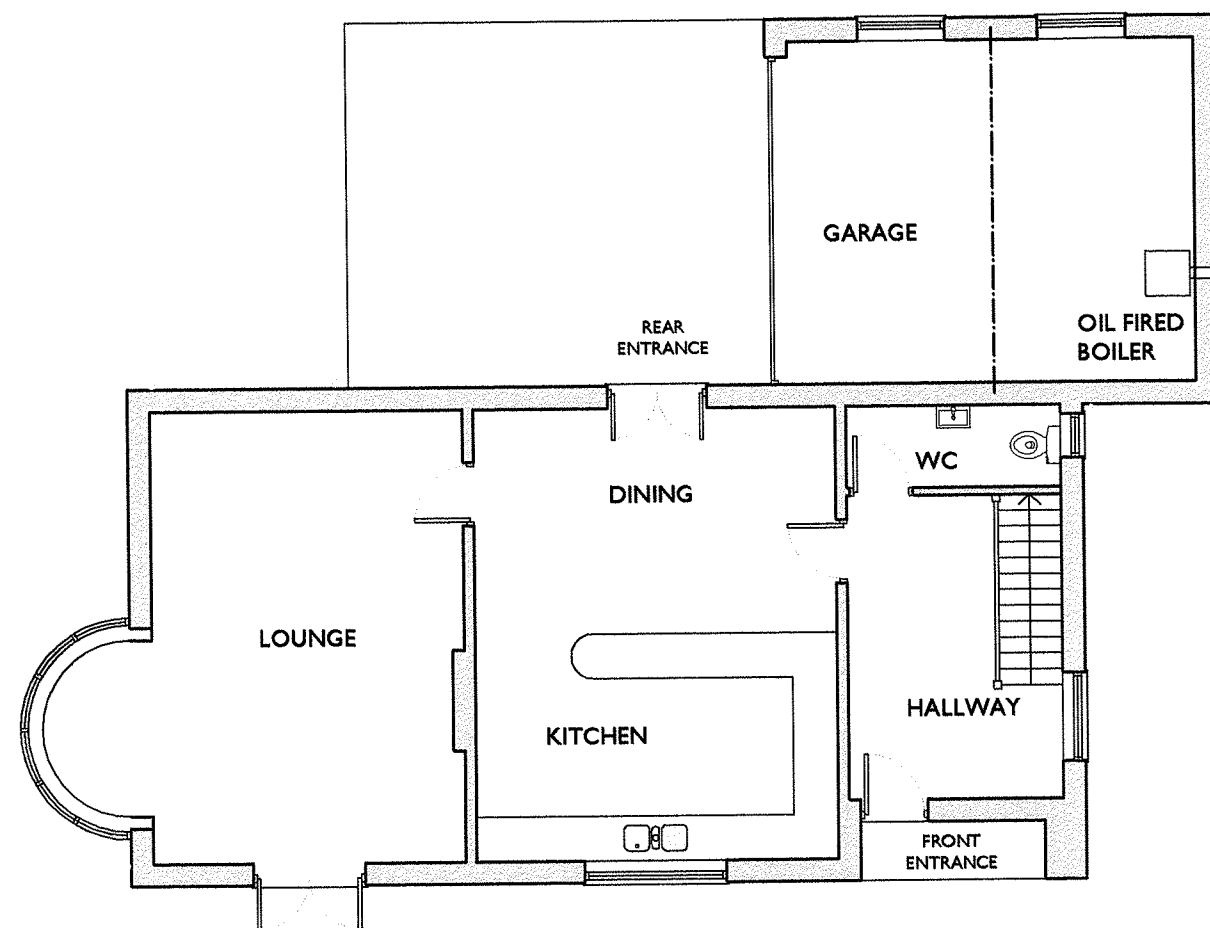


REAR ELEVATION



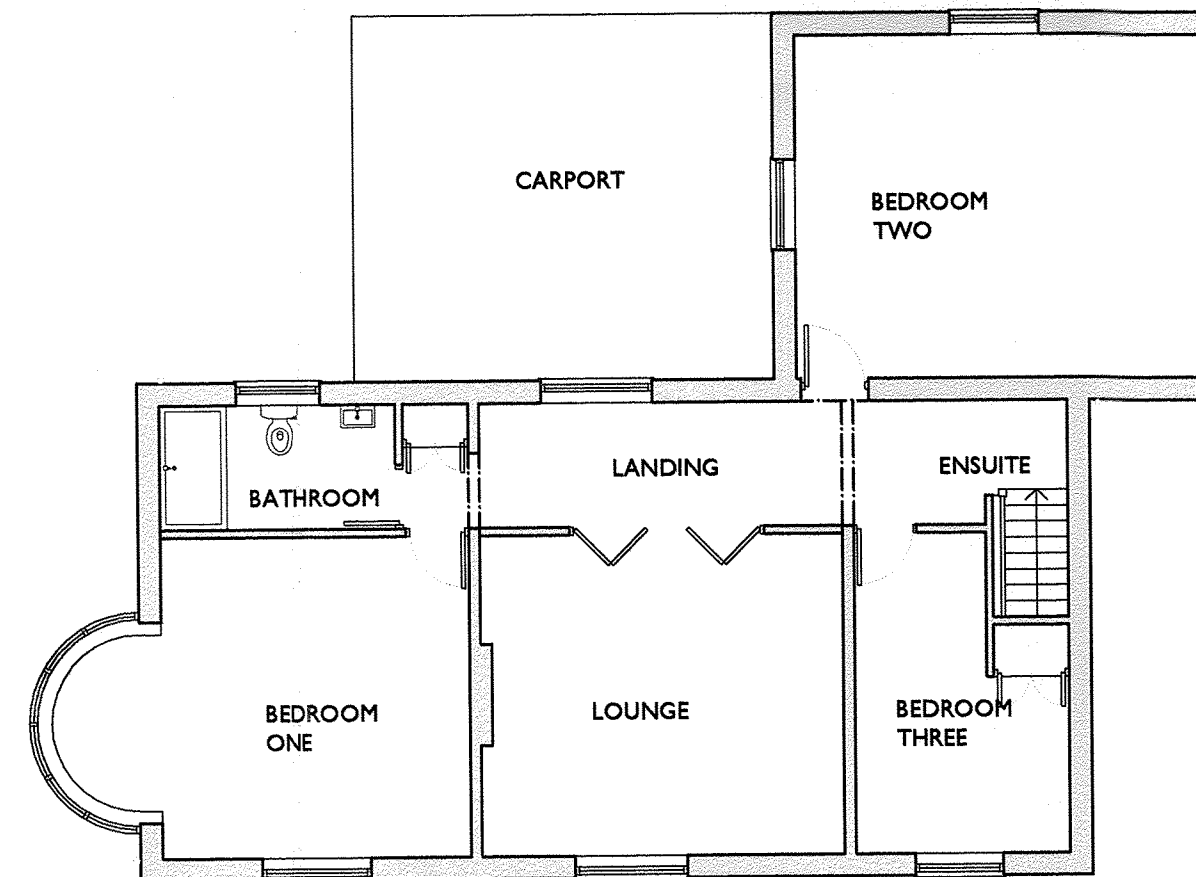
SIDE ELEVATION

EXISTING ELEVATIONS
Scale 1:100



GROUND FLOOR

EXISTING FLOOR PLAN
Scale 1:100

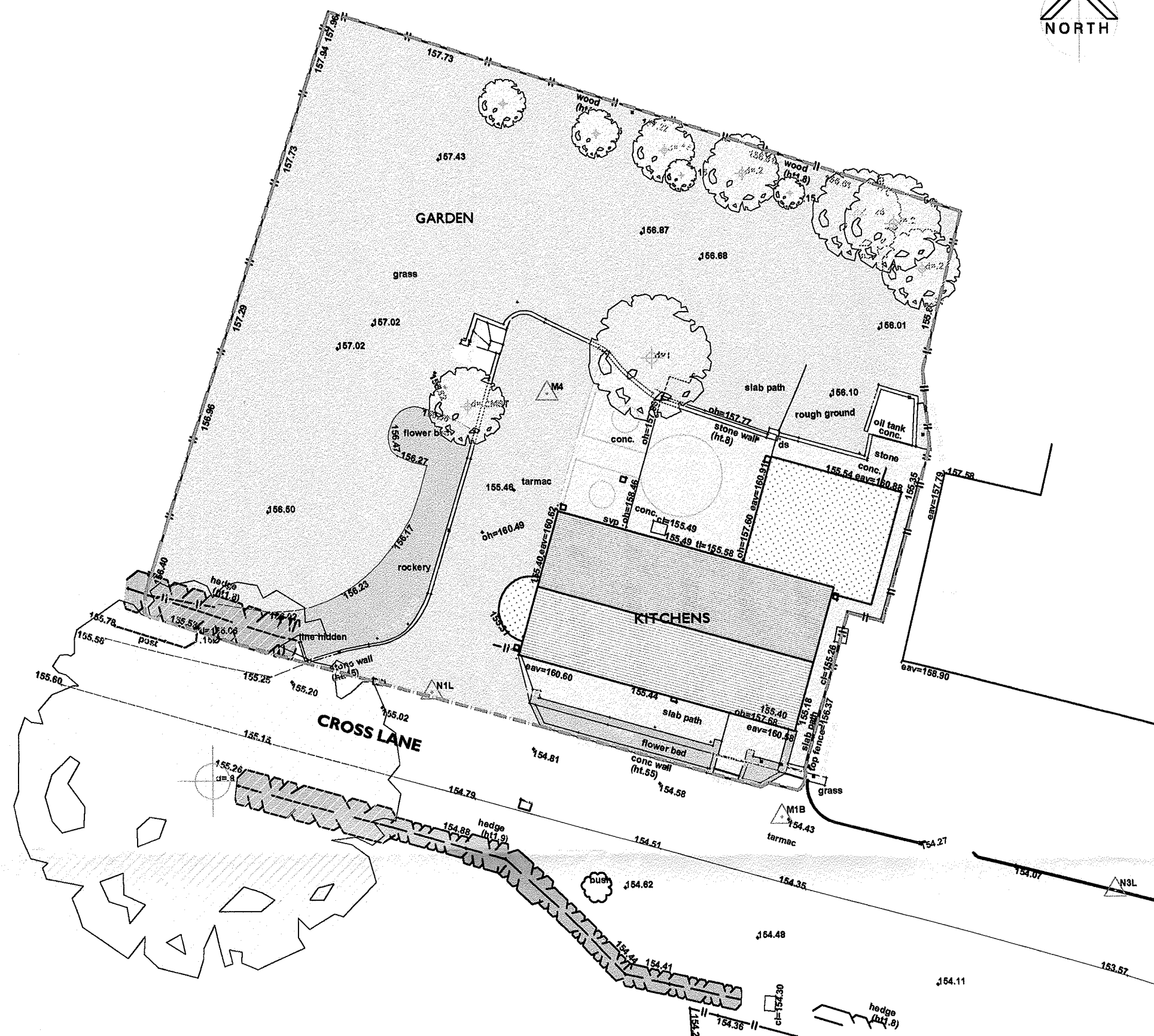


FIRST FLOOR

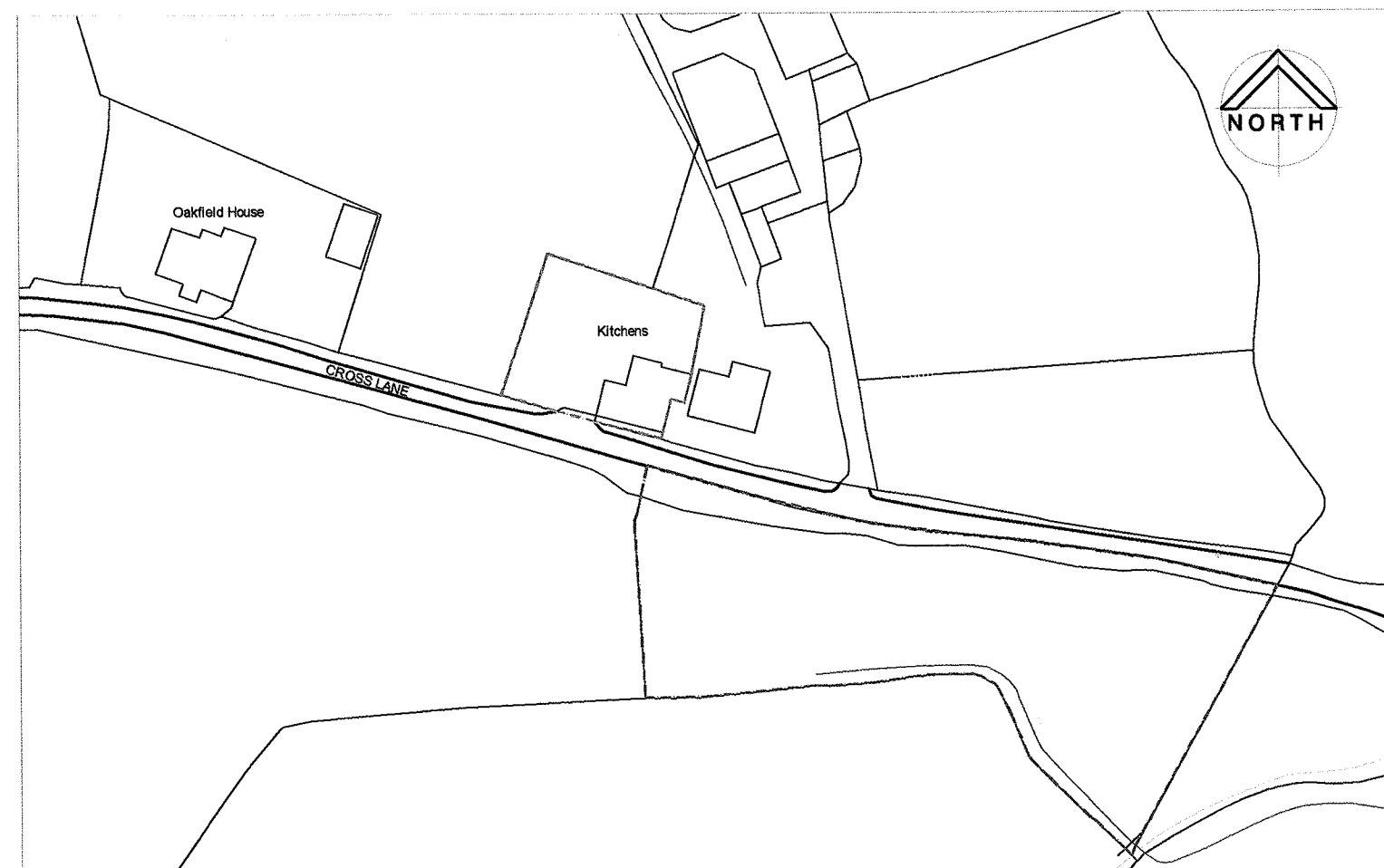
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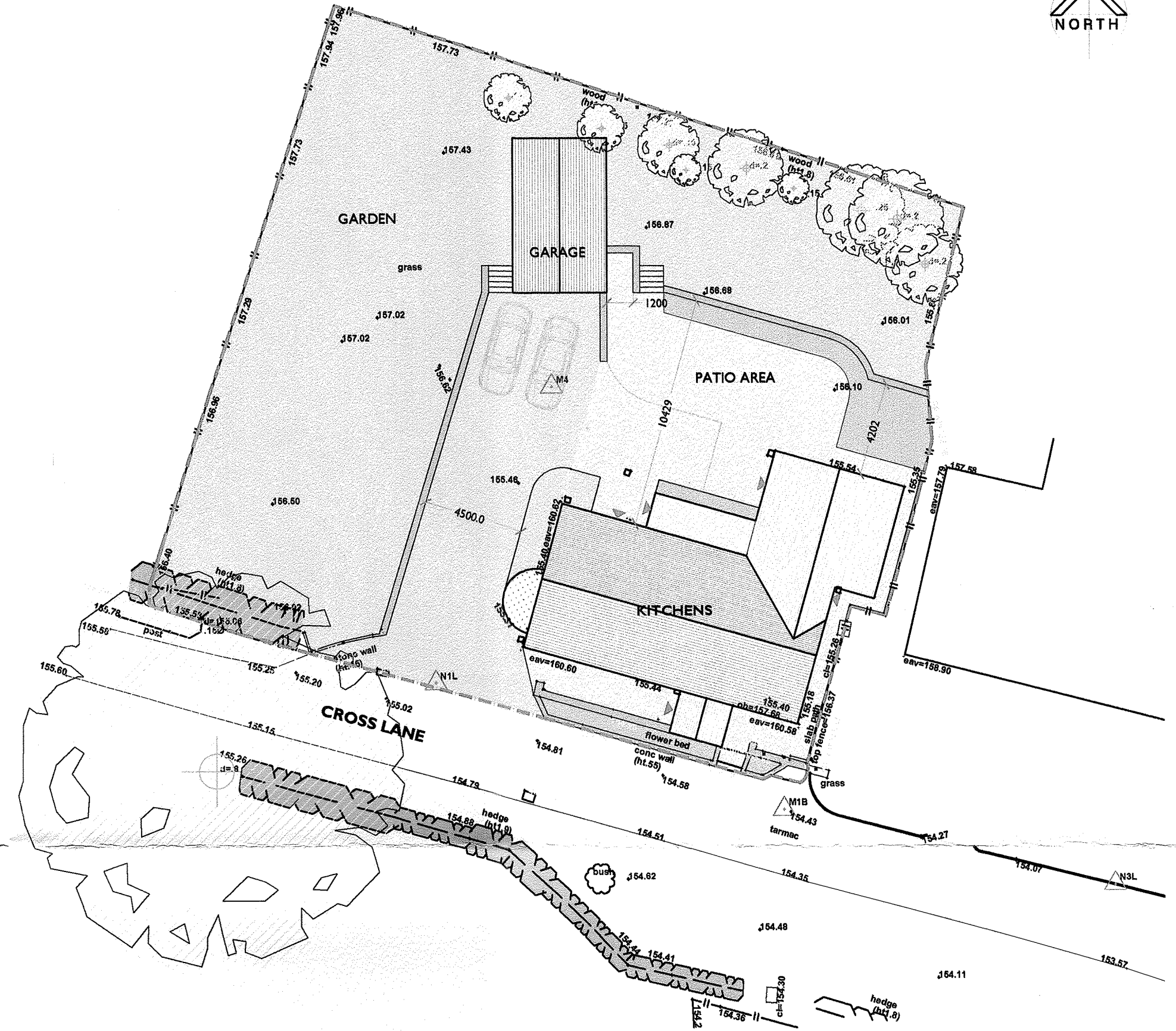
Kitchens, Cross Lane, Bashall Eaves, BB7 3NA For Ms Suzanne Howard	20 08 2018
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1:100 @ A2	EX / 00 / 01



EXISTING SITE PLAN
Scale 1:200



LOCATION PLAN
Scale 1:1250



PROPOSED SITE PLAN
Scale 1:200

ADDITIONAL INFORMATION

Storage for refuse and recycling bins to be provided in a secure location to the rear of the property.

Turning area provided to the rear (indicated with red dash), to ensure cars leave and enter the site in forward direction.



Entrance gate to be no less than 5m into the site when measured from the nearside edge of the carriageway and constructed so it opens inwards.

New surface water and foul water drainage to be connected to the existing drainage systems on site. Septic tank is located in the adjacent field, which is within the Applicant's ownership.

New retaining wall to the rear, around proposed patio area.

Existing oil tank to be removed and new wood pellet boiler to be installed within the property.

KEY

-  LAWN GARDEN
-  PATHWAYS / PATIO AREA: PAVED
-  DRIVEWAY: TARMAC
-  PLANTING AREAS
-  SITE APPLICATION AREA

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Extensions and Interior Re-modelling EXISTING / PROPOSED SITE PLANS	2879
1:200 / 1:1250 @ A2	SK / 32 / 01A