

**Heritage Statement**  
**in connection with proposed works to The Three Millstones Public**  
**House, West Bradford**

Prepared By

Ian Rowan MSc PGDip

May 2018

## **Contents**

<b>1</b>	<b>Executive Summary</b>	<b>3</b>
<b>2</b>	<b>Introduction</b>	<b>4</b>
<b>3</b>	<b>General Description</b>	<b>5</b>
<b>4</b>	<b>Heritage Appraisal</b>	<b>19</b>
<b>5</b>	<b>Analysis of the Proposals</b>	<b>25</b>
<b>6</b>	<b>Summary &amp; Conclusions</b>	<b>32</b>

## **Executive Summary**

- 1.1 This statement supports a proposal to redevelop the 1<sup>st</sup> floor of The Three Milstones Public House, West Bradford, a Grade II Listed Building.
- 1.2 At present the 1<sup>st</sup> floor has fallen into a state of disrepair and has been vacant. The building still retains high levels of significance externally, particularly the front elevation and the proposed scheme will convert the 1<sup>st</sup> floor into guest accommodation.
- 1.3 There is an opportunity to enhance significance by bringing the 1<sup>st</sup> floor back into use, to help maintain its presence in the village, reintroduce much of the original plan form, and continue to contribute positively to the streetscene in the area, whilst conserving the listed building.
- 1.4 On this basis the proposal is deemed compliant with both national and local policy.

## **2 INTRODUCTION**

### **Purpose and Format**

- 2.1 This Heritage Statement has been prepared to assess and inform proposals to convert the 1<sup>st</sup> floor of the Three Millstones Public House and restaurant into hotel accommodation, incidental to the use of the building as a public house. Owing to the listed nature of the building in line with the requirements of planning law and policy, care is needed to ensure the heritage significance of the building is not unduly harmed.
- 2.2 In essence the Heritage Statement assesses heritage significance and guides proposals for change in a manner that conserves significance. The approach adheres to the principle of 'intelligently managing change', which lies at the heart of national planning policy for conservation of the historic built environment.
- 2.3 The statement has been prepared in accordance with the general guidelines set out in the Historic England publications 'Informed Conservation'<sup>1</sup> and 'Conservation Principles, Policies and Guidance'<sup>2</sup> and in particular responds to the heritage policies outlined in Chapter 12 of the National Planning Policy Framework (DCLG, 2012). The legal context is set by the Planning (Listed Buildings and Conservation Areas) Act of 1990. In terms of local planning policy, Key Statement EN5 and Policy DME 4 of the Ribble Valley Core Strategy are of relevance and needs to be given the appropriate weighting.

### **The Author**

- 2.4 Ian Rowan, the author is a qualified Planning & Conservation Officer. With a background of over 28 years in Planning, Regeneration & Conservation, Ian holds a Masters Degree in Environmental Planning and a Post Graduate Diploma in Conservation & Regeneration, and has specialised in Conservation Planning for the past 14 years.

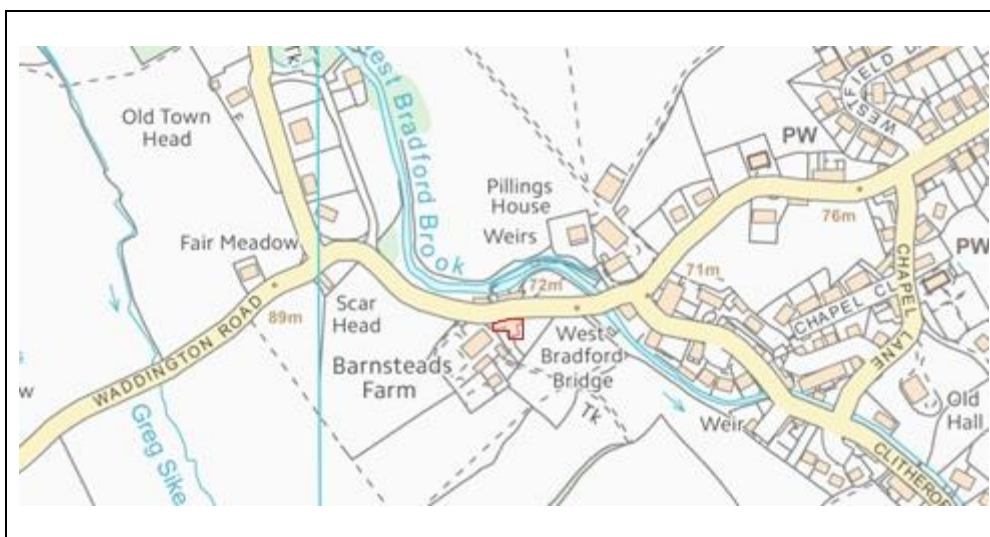
## Methods of Research and Investigation

2.5 Inspections of the site were carried out in May 2018 to assess its physical nature. Background research has also been conducted to ascertain all relevant contextual matters appertaining to the proposals. The scope of this research has, in accordance with the NPPF, been proportionate to the nature of the proposed works, with particular emphasis placed upon identifying and conserving heritage significance.

## 3 GENERAL DESCRIPTION

### Site Location

3.1 The Three Millstones is located on Waddington Road within West Bradford and a site location plan is given below.



### Site Description & Brief History

3.2 The site comprises of an altered late 18<sup>th</sup> Century public house. It is located within the village of West Bradford. It sits at the back of pavement, taking access to the pub direct from the pavement, and also from the car park to the side and rear. It comprises of a 2 storey vernacular building, stone slate over whitewashed rubble stone.

- 3.3 West Bradford is located approximately 2 miles to the north of Clitheroe. The proposals building is on the southern side of Waddington Road, and to the east and south is a car park to the pub, whilst to the north is a terraced row of cottages. To the rear of the building, (west), is an area of open land and a car park.
- 3.4 Historic maps showing the development of the site from the 1840s to the present day follow in figures 2-6. The mapping confirms that the building was extended to the east in the late 19<sup>th</sup> / early 20<sup>th</sup> Century, by a small outrigger to the side. This was removed in the mid 20<sup>th</sup> Century, and has also had another small outrigger added since the 1970s in this location. The building has been further extended to the rear since then.
- 3.5 The interior of the building has been altered over the course of time. The original form has been altered via a new ground floor extension to the rear, and the public house has a contemporary décor and feel. At 1<sup>st</sup> and floor level, years of vacancy have taken their toll and little survives of the historic fabric, and those remnants still evident are in extremely poor state of repair.



Figure 2 – 1840s Ordnance Survey Map

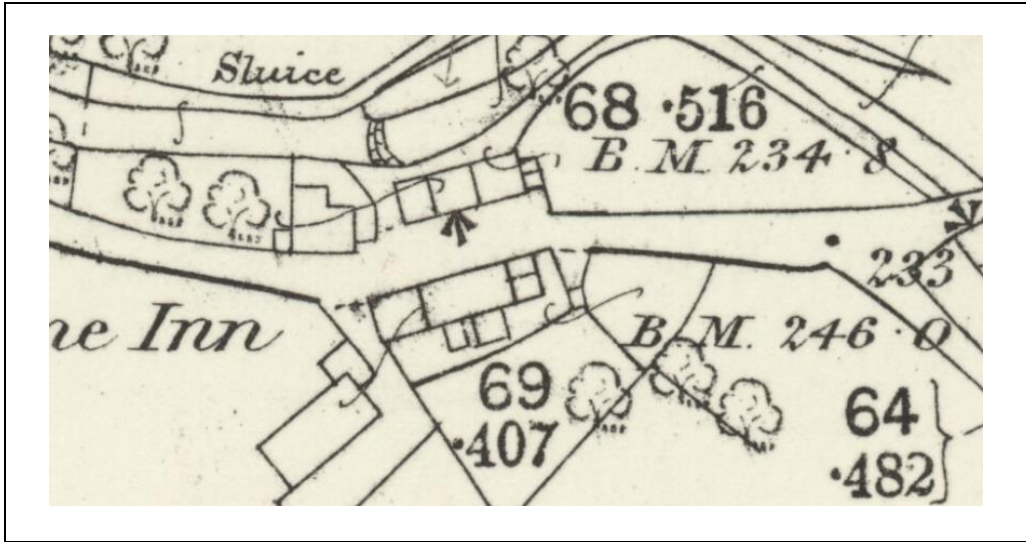


Figure 3 – 1884 Ordnance Survey

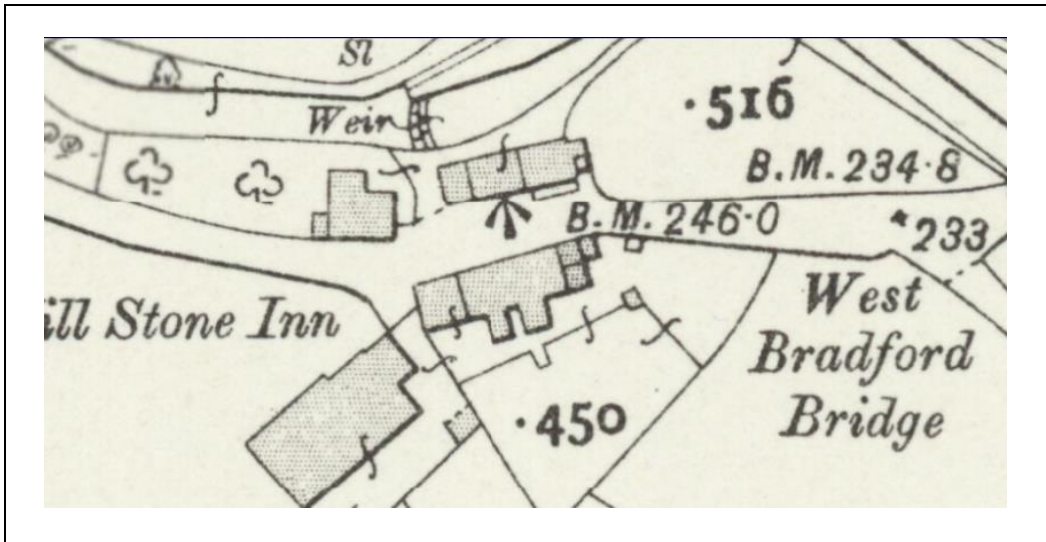


Figure 4 – 1910 Ordnance Survey

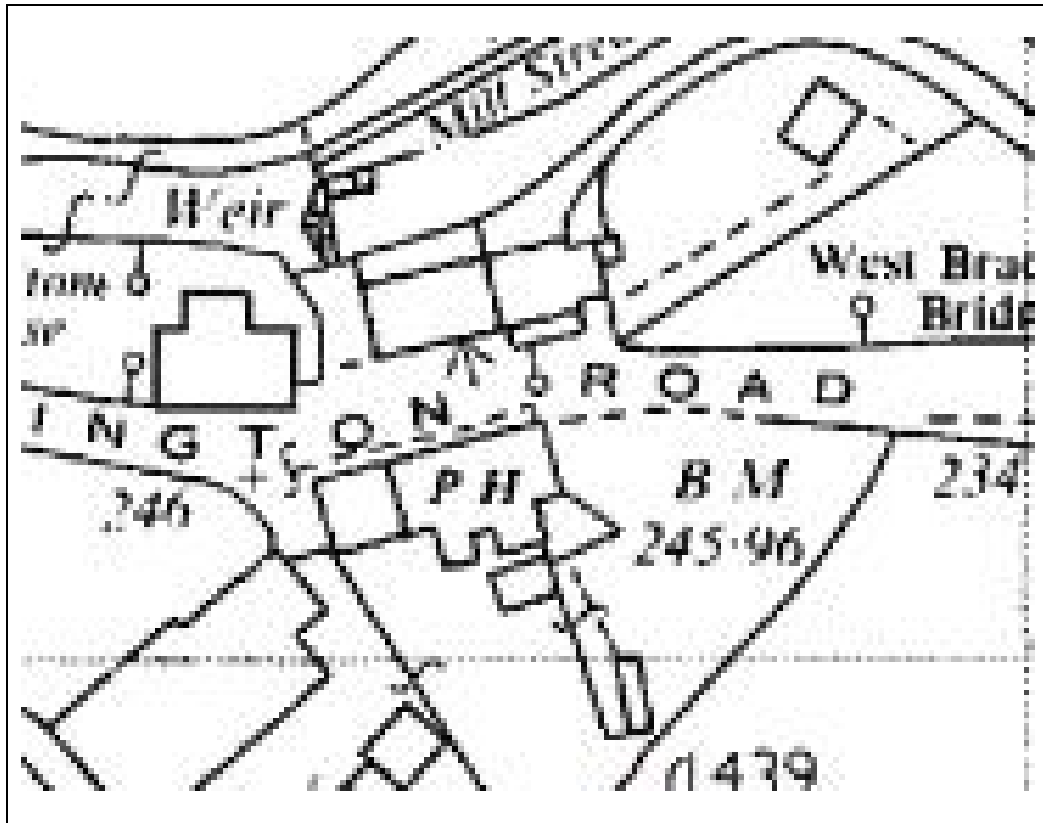


Figure 5 – 1969 Ordnance Survey

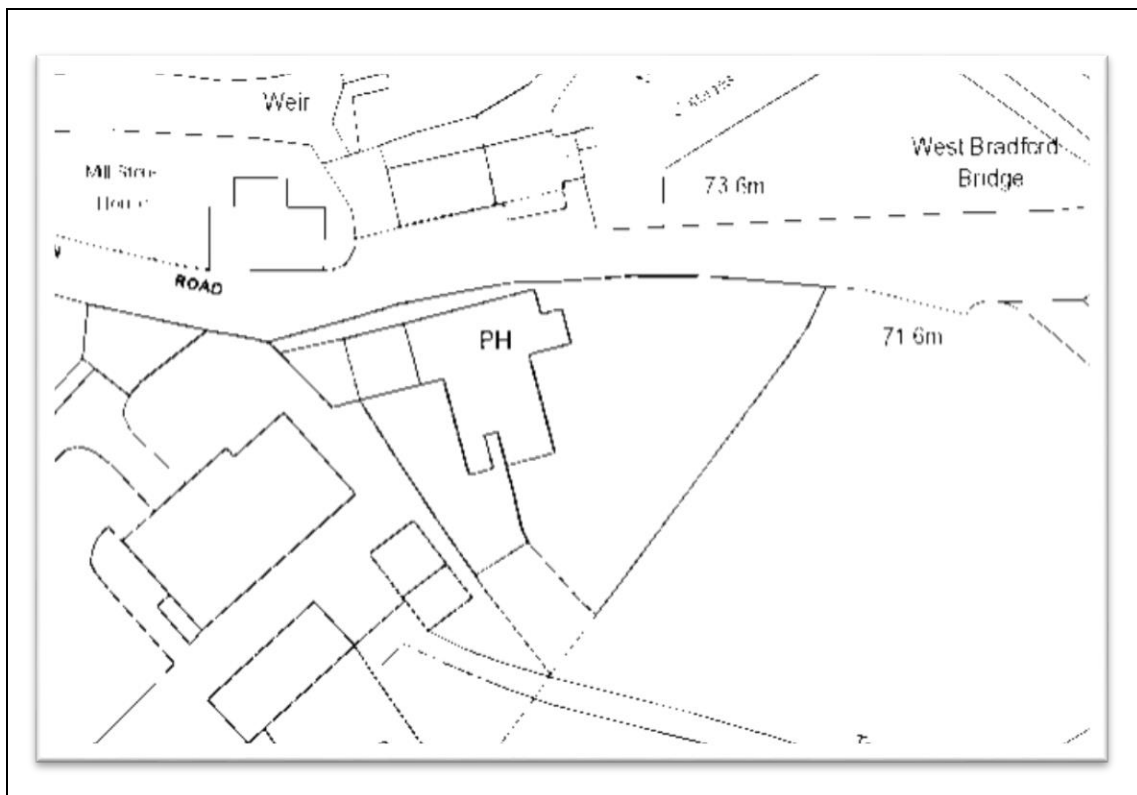


Figure 6 – Current Ordnance Survey

## Heritage Asset Designations

- 3.6 The building is Grade II Listed, and is also located within the Whitchurch Conservation Area. The Listing description is provided below.

### **WEST BRADFORD WADDINGTON ROAD**

**10/138 The Three Millstones (formerly listed as Millstone Inn)  
16.11.1954 - II**

***Public house, late C18th. Slobbered rubble with stone slate roof. 2 storeys. Main part of facade of 2 bays with end stacks and central door. Windows tripartite with plain stone surrounds and square mullions, the central lights being sashed with glazing bars. The door has a plain stone surround. To the left is a later bay having sashed windows with glazing bars and plain stone surrounds. To the right is a further part of the building having a tripartite window on the ground floor similar to the others, and at the far right a wide entrance with plain reveals. Interior. The room to the left of the door has a moulded shouldered fireplace with moulded cornice mantel.***

## Photographic Survey

- 3.8 There follows a selection of photographs showing the relevant features of the site.



Figure 7 – Front Elevation



Figure 8 – Side Elevation & Opposite Terrace Cottages



Figure 9 – Rear Elevation and Extension



Figure 10 – Rear extension



Figure 11 – Side Elevation



Figure 12 – Rear Elevation



Figure 13 – 1<sup>st</sup> floor looking to front of premises



Figure 14 – 1<sup>st</sup> floor, looking to front of premises



Figure 15 – Lathe and Plaster

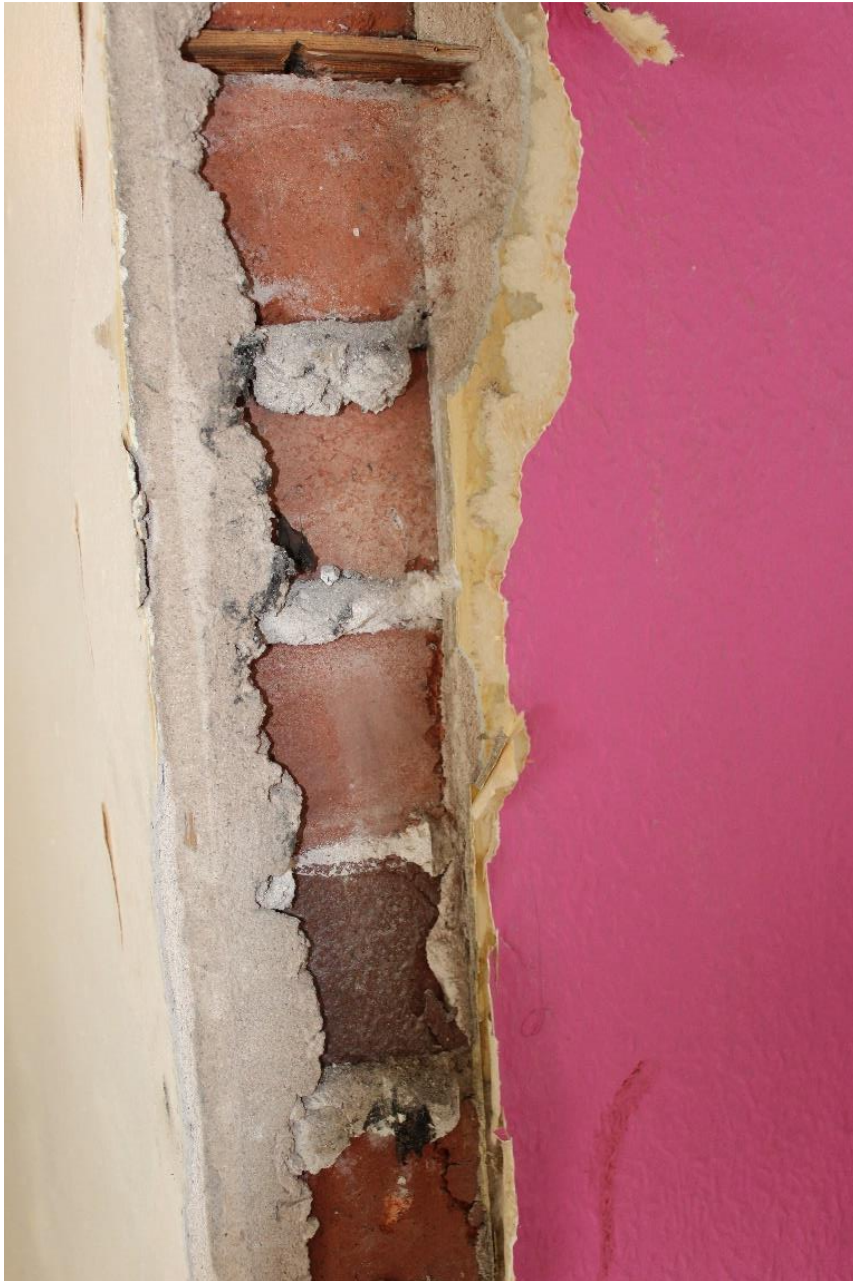


Figure 16 – Evidence of later brick wall and plaster



Figure 17 – Ground Floor, Bar



Figure 18 – Ground Floor, restaurant



Figure 19 – Ground Floor



Figure 20 – Rear extension



Figure 21 – Existing 1<sup>st</sup> Floor Door to Rear



Figure 22 – Fireplace

## **4 Heritage Appraisal**

### **Introduction**

- 4.1 The following heritage appraisal adheres to guidance published by Historic England (2008) and relates specifically to the requirement contained in clause 128 of the National Planning Policy Framework (2012), given in extract below:
- 4.2 *"In determining applications, local planning authorities should require an applicant to describe the significance of any heritage assets affected, including any contribution made by their setting. The level of detail should be proportionate to the assets' importance and no more than is sufficient to understand the potential impact of the proposal on their significance. As a minimum the relevant historic environment record should have been consulted and the heritage assets assessed using appropriate expertise where necessary."*
- 4.3 The appraisal begins by identifying the potential range of heritage values attributed to the site in its spatial context, before evaluating these values and expressing them concisely within a 'statement of significance'. This statement is then used as a basis for assessing the design of new proposals and ensuring that conservation of significance has been prioritised.

### **Heritage Values**

- 4.4 The following appraisal of heritage values is concerned with identifying those heritage values which establish heritage significance and which might be affected by emerging proposals for change. The values are distilled under the following headings: *evidential value; historic value; communal value; aesthetic value.*

### **Evidential Value**

- 4.5 Historic England (2008) suggests that *"Evidential value derives from the potential of a place to yield evidence about past human activity."*
- 4.6 The Three Millstones PH yields offers reasonably authentic physical evidence of an altered late 18<sup>th</sup> Century vernacular public house. Of

particular interest is the symmetrical frontage to the original 2 bay building. The intricate detailing of the tripartite sash windows indicate an element of polite architecture, popular in more genteel buildings at this time. The location of the chimney stacks also provide evidential value of the original 2 bays to the building. The building also provides evidence of the historic development of the village, and the part it would have played as a focal point. Alterations to the rear and side have compromised evidential value in these locations.

4.7 Internally the evidential value has been compromised to some extent by alterations. Evidence of original chimney breasts are retained, along with the fireplace highlighted in the listing, although the pub has been opened up around these. The chimney breast has been altered by being opened up, and has therefore had an impact upon the evidential value. The alterations to the chimney will be reinstated in a traditional manner to again preserve the evidential value.

4.8 On the first floor much of its plan form still remains. 2 internal walls have been removed, one of which shows evidence of having been constructed from lathe and plaster, the other being brick and plaster. It is possible that there are some elements of lathe and plaster remaining in the walls and ceiling, but this cannot be determined without intrusive investigation. Both of these walls are proposed to be reinstated, to maintain these elements of the original plan form. At the far western end of the 1<sup>st</sup> floor, the room contains an original stone fire surround, whilst the eastern end of the 1<sup>st</sup> floor contains a room that currently cannot be accessed for public use, and as such whilst yielding evidence of the plan form, cannot be utilised. The heights of the door openings on the 1<sup>st</sup> floor also provide physical evidence of the building period of vernacular buildings.

### **Historical Value**

4.9 Historic England (2008) suggests that - "*Historical value derives from the ways in which past people, events and aspects of life can be connected through a place to the present. It tends to be illustrative or associative.*"

4.10 The Three Millstones conserves an element of Ribble Valley's historic past, in particular of a village that still retains much of this historic value. It represents a part of the historic streetscape that readily evokes a sense of history. Despite its vernacular design and materials, elements of the external appearance relate to the more polite form of architecture synonymous with this period. The building therefore has some illustrative historic value through its ability to depict images of the past. Whilst this level of value has evolved to some extent by changes to the building and its setting, the relative intact nature of the front elevation, located adjacent the footpath still provide some notable historic value. There is no evidence to suggest there are any important historical associations.

### **Communal Value**

4.11 Historic England (2008) suggests that: "*Communal value derives from the meanings of a place for the people who relate to it, or for whom it figures in their collective experience or memory.*"

4.12 As a village pub, the building will have played an important role as a community hub, and as such will yield high communal values. As a Grade II Listed Building it will also be a source of communal value as a building of both local and national importance, as this will foster a sense of shared community pride of a building of this nature within the village as a local landmark and prominent building within the village.

### **Aesthetic Value**

4.13 Historic England (2008) suggests that: "*Aesthetic value derives from the ways in which people draw sensory and intellectual stimulation from a place.*"

4.14 The proposals building, whilst plain in nature, is a visually pleasing and attractive feature of the village. The historic aesthetic value can clearly be interpreted through the sympathetic scale of the building in relation to the village, the vernacular details such as stone slate roof and stone mullion windows, and the balanced symmetry to the original 2 bay building. The aesthetic value of the external envelope is contained mainly

in the front elevation, given the alterations to the side and rear. The front elevation is a key component of the village character and is a major contributing factor to this character. The rear extensions, whilst being constructed of harmonious materials and to a size and scale that sit with the existing building form, yield little in the way of aesthetic value.

- 4.15 The building still retains its aesthetic setting, being complementary to and complemented by its neighbouring properties, and the surrounding village streetscene.
- 4.16 Internally much aesthetic value has been lost through the course of time. The interior has a contemporary feel associated with a higher end restaurant of this type, and whilst the fire place remains, albeit with an altered chimney, there is little in the way of aesthetic value across the building, which is readily interpretable in heritage terms. This is particularly relevant at 1<sup>st</sup> floor level, with the exception of the stone lintel fire surround at the west end of the building. There are elements of older doors within the building, however, these have been cut to fit different openings which have diminished their aesthetic value.

## **Statement of Significance**

- 4.17 Having assessed the heritage values associated with the site in its spatial context, it is possible to take a more informed approach to the assessment of site significance, giving specific consideration of plans to implement change. In this context a statement of significance is given below.
- 4.18 The proposals building is a Grade II Listed Building located in the village of West Bradford of late 18<sup>th</sup> Century origin. The building has undergone alteration and extension to the side and rear and has undergone internal alterations.
- 4.19 As a Grade II Listed Building, it possesses a range of heritage values, the most important of which relates to the frontage of the building, which makes a contribution to the historic streetscape of the village, representing the authenticity of the building. Its vernacular design retains a high degree of authenticity and makes a major contribution to the visual quality and historic interest of the area.
- 4.20 There is some evidential value provided through the retention of the original parts of the building both externally and internally through the surviving plan form, as it demonstrates the building style and architectural details of the time of construction. The door heights also contribute to the evidential significance as testament to its vernacular design.
- 4.21 Historic value is provided mainly through the front elevation and its contribution to the historic streetscape, but also through its historic links to the growth of the village. There are similar levels of communal value contained within the building given its use as a public house, and its contribution to the form and character of the village.
- 4.22 Aesthetic value is high, particularly to the front elevation. Detailing such as the mullions and tripartite windows add to the aesthetic and architectural value of the building, and the building sits within the setting of the village and makes an aesthetically pleasing contribution to the streetscape. Therefore the external aesthetic value, in particular the

frontage is very high. Internally, historic aesthetic value is lower due to alterations particularly at the ground floor. At 1<sup>st</sup> floor there is little of aesthetic value, with the exception of the stone lintel fireplace.

- 4.23 In essence the significance of the building is contained within its high aesthetic values, mainly external with some contribution made by the evidential value externally and internally, whilst historic and communal values are lower.

## **5 Analysis of the Proposals**

### **General Principles**

- 5.1 General guidance on assessing proposed changes to heritage assets is given in Chapter 12 of the National Planning Policy Framework (2012). The policy establishes the premise that conserving significance should be a guiding principle when developing proposals for any new scheme. In order to satisfactorily do this, it is first necessary to conduct an appraisal of heritage values and identify the significance(s) of heritage assets before commencing with design work. Part 4 of this appraisal fulfils this need, and the findings of part 4 have informed the assessment of the new scheme. There follows, here in section 5, an objective review of the finalised scheme to verify to what extent conservation of significance has either been secured or compromised.

### **Summary of the Proposals**

- 5.2 The proposals involve the conversion of the 1<sup>st</sup> floor of the building into guest accomodaton ancillary to the use of the ground floor as a public house and restaurant. As there has been the removal of 2 sections of wall, the proposal will involve reinstatement these sections. The proposal is to reinstate section A in modern construction techniques as an honest intervention, rather than to imitate past techniques, and Section B in lathe and plaster to match original, (see figure 24).
- 5.3 There is also a small section of wall to be removed to allow the room at the eastern end of the building to be opened, and to allow the room next to it to be fully utilised. Full plans and elevations will be submitted as part of the planning and listed building applications, but sketches of the proposed layout are provided below in figures 23 – 25. The proposals have been developed giving due consideration to the buildings listed status and the desire to being it back into active use t sustain the business.

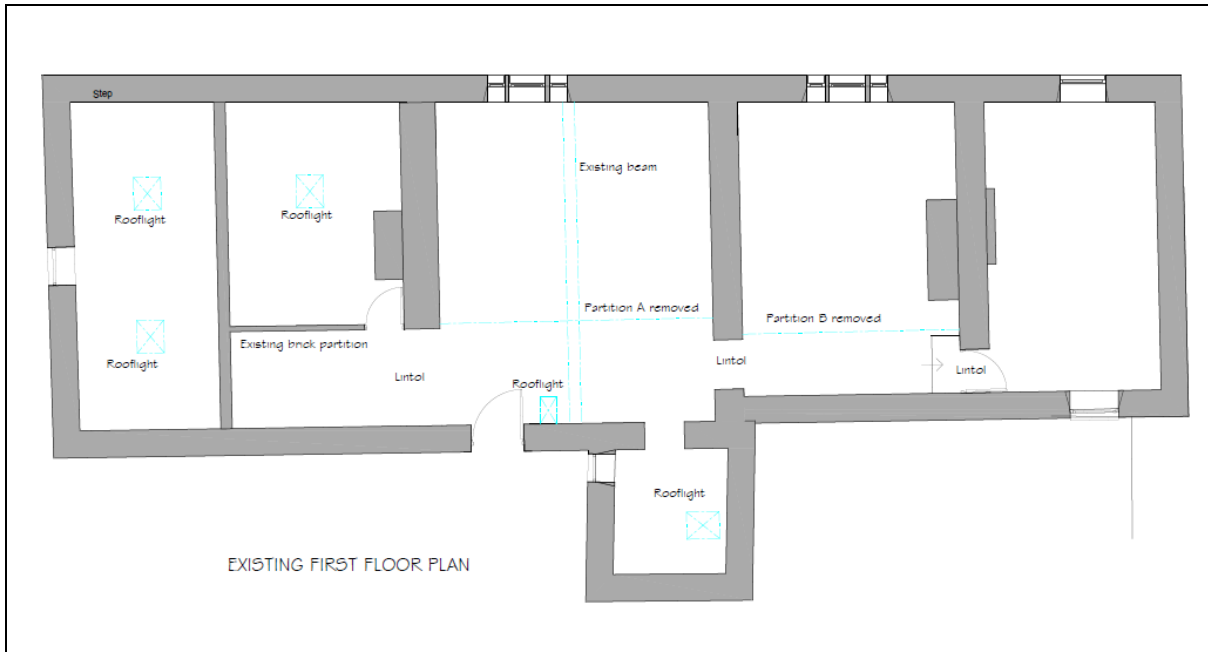


Figure 23 – Existing 1<sup>st</sup> Floor Layout

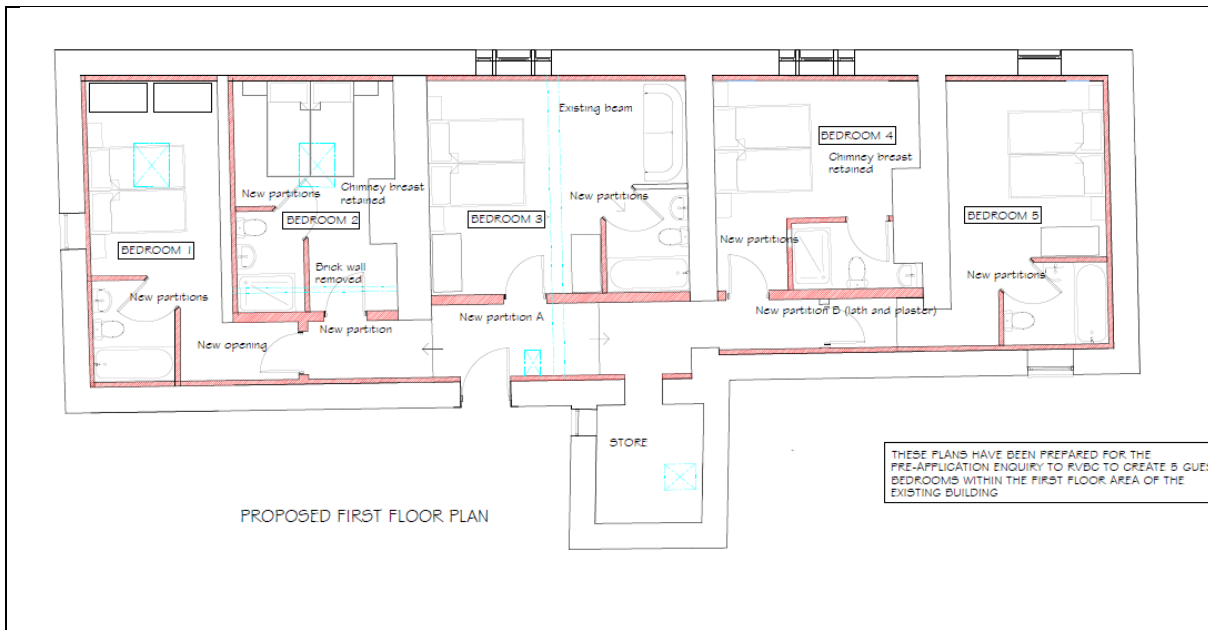


Figure 24 – Proposed 1<sup>st</sup> Floor Layout



Figure 25 – Existing & Proposed Elevations

### **Analysis of the Proposals: National Planning Policy Framework**

5.4 As discussed earlier, Section 12 (Conserving and enhancing the historic environment) of the NPPF (2012) considers heritage planning and identifies the following key drivers in the decision making process:

- *The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- *The wider social, cultural and environmental benefits that conservation of the historic environment can bring;*
- *The desirability of new development making a positive contribution to local character and distinctiveness; and*
- *Opportunities to draw on the contribution made by the historic environment to the character of a place.*

5.5 The NPPF unifies the overall approach to planning in order to ensure that deliberations over decisions relating to heritage assets are made in the full planning context, where factors other than heritage conservation may play a crucial role. Securing sustainable development is the primary driver, and in the heritage context this relies on maintaining active use, (long term), in a manner that seeks to limit potential harm to significance.

5.5 In order to establish a clearer, objective assessment of the proposals in the context of the NPPF, the following commentary considers how the proposed scheme aligns itself to the NPPF heritage policy drivers listed above.

5.6 ***The desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation -***

The primary heritage values and significance of the building are unaffected by the proposals. The building has previously been subject to a series of internal alterations and rear extension. There has previously been removal of walls at 1<sup>st</sup> floor which will be replaced to reinstate the original plan form of the upper floor. The impact of works is considered negligible in terms of the heritage values of the building, given the lower values of significance internally. Most of the works are reversible should future owners wish to revert the building back to its original form. The use of the upper floor as guest accommodation will add viability to the public house and will assist conservation of the heritage asset.

5.7 ***The wider social, cultural and environmental benefits that conservation of the historic environment can bring -***

The building represents a significant feature of the West Bradford village streetscape and contributes to the architectural and historic qualities of the place. Maintaining active use is the key to conserving and sustaining this positive contribution, and the proposals under scrutiny are specifically designed for this dual purpose. The key areas of significance yield high values, and these are retained to help conserve these values.

5.8 ***The desirability of new development making a positive contribution to local character and distinctiveness*** – The proposal is to redevelop a vacant floor and bring it back into long term viable use. There are no proposals to carry out any external works so local character and distinctiveness will be retained.

5.9 ***Opportunities to draw on the contribution made by the historic environment to the character of a place*** - The proposals seek to sustain the active use of the building in a manner which conserves the positive contribution made to the village streetscape and character, whilst also respecting the listed status of the building. An opportunity to secure the long – term future of the building without undermining the heritage values of the site is proposed.

5.10 Paragraph 132 of the NPPF states:

***"When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset's conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting."***

In this instance, and as demonstrated through the appraisal of heritage values and critical assessment of the proposed scheme, the works do not impart harm upon the significance of the building and the primary heritage values of the building are conserved. Vacancy has impacted upon the 1<sup>st</sup> floor of the building through water ingress and damage. The proposed changes ensure a low impact upon the primary heritage values of the building to halt further decline and help sustain the longer term future of the building.

## **Analysis of the Proposals: Local Planning Policy**

5.11 Current Planning Policy is provided through the Ribble Valley Core Strategy, of particular relevance are Key Statement EN5 and Policy DME 4, (point 2), which state

### **KEY STATEMENT EN5: HERITAGE ASSETS**

There will be a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings. The Historic Environment and its Heritage Assets and their settings will be conserved and enhanced in a manner appropriate to their significance for their heritage value; their important contribution to local character, distinctiveness and sense of place; and to wider social, cultural and environmental benefits. This will be achieved through:

- Recognising that the best way of ensuring the long – term protection of heritage assets is to ensure a viable use that optimises opportunities for sustaining and enhancing its significance.
- Keeping Conservation Area Appraisals under review to ensure that any development proposals respect and safeguard the character, appearance and significance of the area.
- Considering any development proposals which may impact on a heritage asset or their setting through seeking benefits that conserve and enhance their significance and avoids any substantial harm to the heritage asset.
- Requiring all development proposals to make a positive contribution to local distinctiveness/sense of place.

- The consideration of Article 4 Directions to restrict permitted development rights where the exercise of such rights would harm the historic environment.

5.12 Of particular relevance is point 1 and point 3 above. The proposed works will provide longer term protection of the listed building by providing a complementary use at the 1<sup>st</sup> floor to assist the viability of the business and therefore the heritage asset. The report has demonstrated that there will be no substantial harm to significance. The proposal also accords with the principles of Supplementary Planning Guidance – “*The Retention of Public Houses in Rural Areas*”

#### **POLICY DME4: PROTECTING HERITAGE ASSETS**

IN CONSIDERING DEVELOPMENT PROPOSALS THE COUNCIL WILL MAKE A PRESUMPTION IN FAVOUR OF THE CONSERVATION AND ENHANCEMENT OF HERITAGE ASSETS AND THEIR SETTINGS.

#### **2. LISTED BUILDINGS AND OTHER BUILDINGS OF SIGNIFICANT HERITAGE INTEREST**

ALTERATIONS OR EXTENSIONS TO LISTED BUILDINGS OR BUILDINGS OF LOCAL HERITAGE INTEREST, OR DEVELOPMENT PROPOSALS ON SITES WITHIN THEIR SETTING WHICH CAUSE HARM TO THE SIGNIFICANCE OF THE HERITAGE ASSET WILL NOT BE SUPPORTED. ANY PROPOSALS INVOLVING THE DEMOLITION OR LOSS OF IMPORTANT HISTORIC FABRIC FROM LISTED BUILDINGS WILL BE REFUSED UNLESS IT CAN BE DEMONSTRATED THAT EXCEPTIONAL CIRCUMSTANCES EXIST.

5.13 The report demonstrates that there is little or no harm to the significance of the Listed Building. The proposal will improve the poor condition of the heritage asset at 1<sup>st</sup> floor level and will offer the benefits of bringing the vacant areas back into use with a long term, viable *and* sustainable end use. The plan form of the 1<sup>st</sup> floor will be reintroduced, which will contribute to the evidential value of the building, whilst the modern method of reconstruction of these walls will be an honest intervention and not try to recreate past techniques. It has been demonstrated that the proposal conforms to NPPF and to best practice guidance.

## 6 Summary & Conclusions

- 6.1 This heritage statement has explored the potential impact of the redevelopment of a Grade II Listed Building, located within the village of West Bradford. The altered and extended late 18<sup>th</sup> Century public house is vacant at 1<sup>st</sup> floor.
- 6.2 As shown throughout this statement, the proposals acknowledge the significance of the building both as a nationally protected building, and through its contribution to the character of the area. The external envelope of the building is of the highest importance, in particular the front elevation. Change to the building is directed to the 1<sup>st</sup> floor where levels of significance have been diminished through vacancy and damage. Internal alterations will change the plan form slightly through the introduction of a stud wall at the west end of the 1<sup>st</sup> floor, whilst reintroducing the remainder of the plan form at 1<sup>st</sup> floor. This approach will conserve and enhance the significance of the listed building by bringing it back into use.
- 6.3 The proposals satisfy national and local heritage planning policy, and represent what in the context of the NPPF is described as sustainable development, and as such the proposal is wholly supportable.

---

1 Clarke, K, *Informed Conservation*, Historic England 2003

2 Historic England, *Conservation Principles, Policies and Guidance: Sustainable Management of the Historic Environment*, 2008