



# **Arboricultural Impact Assessment Overview**

in Respect of a Proposal to Demolish Existing  
Dwelling and Construct a Replacement Dwelling at



**Ashcroft, Mill Lane, Waddington,  
Lancashire, BB7 3JJ**

Prepared by:

**Bowland**   
Tree Consultancy Ltd

November 2020

# ARBORICULTURAL IMPACT ASSESSMENT OVERVIEW ASHCROFT, MILL LANE, WADDINGTON

---

## **CONTENTS**

1. TREE SURVEY SCHEDULE & BS5837: 2012 TABLE 1
2. TEMPORARY PROTECTIVE FENCING SPECIFICATION
3. TREE CONSTRAINTS PLAN
4. TREE IMPACT PLAN



## Contact Details

Bowland Tree Consultancy Ltd  
Unit Two  
First Floor  
11 Cannon Street  
Preston  
Lancashire  
PR1 3NR

T: 01772 437150  
E: [info@bowlandtreeconsultancy.co.uk](mailto:info@bowlandtreeconsultancy.co.uk)

# ARBORICULTURAL IMPACT ASSESSMENT OVERVIEW

## ASHCROFT, MILL LANE, WADDINGTON

---

### **Project Details**

**Project No.:** BTC2113

**Site:** Ashcroft, Mill Lane, Waddington, Lancashire, BB7 3JJ

**Client:** Debi Barrientos

**Council:** Ribble Valley Borough Council

**Survey Date:** 18 November 2020

**Surveyed by:** Joseph Lambert BSc(Hons) FdSc MArborA

**Prepared by:** Joseph Lambert BSc(Hons) FdSc MArborA & Jacob Croasdale FdSc

**Checked by:** Phill Harris MSc BSc(Hons) HND MArborA CEnv MICFor

**Date of Issue:** 30 November 2020

**Version No:** 1

## **DISCLAIMER**

**Survey Limitations:** Unless otherwise stated all trees are surveyed from ground level using non-invasive techniques. The disclosure of hidden crown and stem defects, in particular where they may be above a reachable height or where trees are ivy clad or in areas of ground vegetation, cannot therefore be expected. All obvious defects, however, are reported. Detailed tree safety appraisals are only carried out under specific written instructions. Comments upon evident tree safety relate to the condition of said tree at the time of the survey only.

Unless otherwise stated all trees should be re-inspected annually in order to appraise their on-going mechanical integrity and physiological condition. It should, however, be recognised that tree condition is subject to change, for example due to the effects of disease, decay, high winds, development works, etc. Changes in land use or site conditions (e.g. development that increases access frequency) and the occurrence of severe weather incidents are also significant considerations with regards tree structural integrity and trees should therefore be re-assessed in the context of such changes and/or incidents and inspected at intervals relative to identified and varying site conditions and associated risks.

Where trees are located wholly or partially on neighbouring private third-party land then said land is not accessed and our inspection is therefore restricted to what can reasonably be seen from within the site. Stem diameters of trees located on such land are estimated. Any subsequent comments and judgments made in respect of such trees are based on these restrictions and are our preliminary opinion only. Recommendations for works to neighbouring third-party trees are only made where a potentially unacceptable risk to persons and/or property has been identified during our survey. Where significant structural defects of third-party trees are identified and associated management works are considered essential to negate any risk of harm and/or damage then we will first attempt to inform the site occupier of the issues and, if not possible, then inform the relevant Council. Where a more detailed assessment is considered necessary then appropriate recommendations are set out in the Tree Survey Schedule.

Where tree stem locations are not included on the plan(s) provided then they are plotted at the time of the survey using, where appropriate and/or practicable, a combination of measurement triangulation and GPS co-ordination. Where this is not possible then locations are estimated. Restrictions in these respects are detailed in the report.

The tree survey and any report information provided is intended as a guide to identify key tree related constraints to site development only. As such, the potential influence of trees upon existing or proposed buildings or other structures resulting from the effects of their roots abstracting water from shrinkable load-bearing soils is not considered herein. The tree survey information in its current form should not therefore be considered sufficient to determine appropriate foundation depths for new buildings. Accordingly, an updated survey, with reference to the current NHBC Standards Chapter 4.2 - Building Near Trees, must therefore be prepared for the specific purpose of informing suitable foundation depths subsequent to planning approval being granted. The advice of a structural engineer must also be sought with regard to appropriate foundation depths for new buildings.

**Copyright & Non-Disclosure Notice:** The content and layout of this report are subject to copyright owned by Bowland Tree Consultancy Ltd, save to the extent that copyright has been legally assigned to us by another party or is used by Bowland Tree Consultancy Ltd under license. This report may not be copied or used without our prior written agreement for any purpose other than those indicated.

**Third Parties:** Any disclosure of this document to a third party is subject to this disclaimer. The report was prepared by Bowland Tree Consultancy Ltd at the instruction of and for use by our client, as named. This report does not in any way constitute advice to any third party who is able to access it by any means. Bowland Tree Consultancy Ltd excludes to the fullest extent lawfully permitted all liability whatsoever for any loss or damage arising from reliance on the contents of this report.

**Statutory Tree Protection:** It is the client's responsibility to check for the presence of any statutory tree protection measures, such as the site's location within a Conservation Area and/or the presence of any Tree Preservation Orders, directly with the applicable Council's planning department prior to scheduling or carrying out any tree works. In turn, it is also the client's responsibility to check for the need for a felling licence with the Forestry Commission prior to scheduling or carrying out any tree works. Bowland Tree Consultancy Ltd cannot be held responsible for any decisions made by the client to prune or remove trees where any such statutory protection exists.

TREE SURVEY SCHEDULE FOR ARBORICULTURAL IMPACT ASSESSMENT							
<b>Site:</b>	Ashcroft, Mill Lane, Waddington, Lancashire, BB7 3JJ						
<b>Client:</b>	Debi Barrientos						

<b>Surveyor:</b>	Joseph Lambert BSc(Hons) FdSc MArborA
<b>Survey Date:</b>	18 November 2020
<b>Job Reference:</b>	BTC2113

<b>Page:</b> 1 of 3
---------------------

No.	Species	Height	Stem Diam.	Branch Spread	Branch & Canopy Clearances	Life Stage	PC	General Observations and Comments	Management Recommendations	ERC	Cat. Grade	RPA (m²)	RPA Radius (m)	
T1	Common Ash	5	130	N E S W	1 1 1 1	N/A 1.5	Y	P	▪ Canopy showing a severe reduction in vitality and severe dieback due to colonisation by Ash Dieback Disease.	▪ Remove tree due to colonisation by Ash Dieback Disease.	<10	U	8	1.56
T2	Goat Willow	5	1x150 1x120 (ts)#	N E S W	2.5 2.5 2 2.5	0 0.5	SM	G	▪ Twin stemmed from ground level, not accessed to inspect in detail. ▪ Root Protection Area (RPA) outside redline boundary and thus projected to be protected by site boundary fencing (see TIP)..	▪ Retain tree in context of proposed development.	10+	C1	17	2.31
T3	Common Elder	3.5	2x80 1x50 (ms)	N E S W	2 3 1 0	N/A 0.5	Y	M	▪ Severe stem lean to east from ground level and highly biased canopy to east. ▪ Located within boundary stock fencing.	▪ Remove tree due to poor form and stem location within fencing.	<10	U	7	1.48
T4	Goat Willow	7.5	320	N E S W	5 5 2.5 0	1.8-S 2	SM	M	▪ Severe stem lean to east from ground level. ▪ Main stem has sustained a torsional failure from a height of approximately 1.5m with large longitudinal split and stem and canopy subsequently resting on top of group G2 to north. ▪ Previously pollarded at a height of approximately 2.5m.	▪ Remove tree due to evident significant structural failure.	<10	U	46	3.84
T5	Common Alder	13.5	3x340 1x270 (ms)	N E S W	5.5 6.5 5.5 5.5	0 2	EM	G	▪ Four stems arise at ground level. ▪ Three stems to south-east encroaching into adjacent open drainage ditch have previously been removed between ground level and approximately 1m with dysfunctional stumps remaining and regrowth up to 2m in height. ▪ Remaining stumps, and resultant large wounds, have potential to impact upon tree stability in long term due to projected establishment of basal decay. ▪ Stem to east encroaching onto low stone wall and path and causing minor progressive displacement to wall and paving. ▪ Wooden and wire boundary fencing between stems. ▪ Canopy pruned to south to clear overhead telephone line and to north-east to clear dwelling.	▪ Remove tree in order to construct development as proposed. ▪ Replace with new tree of suitable species elsewhere on site to compensate for loss. NB: Provision of new tree planting can be assured through imposition of a suitably worded planning condition to a planning approval by the Local Planning Authority (LPA).	10+	C1	190	7.77

#### Headings and Abbreviations:

<b>No.</b>	Allocated sequential reference number - Tree ('T'), Group ('G'), Woodland ('W') or Hedge ('H') reference number - refer to plan and to numbered tags where applicable
<b>Species:</b>	Common name
<b>Height:</b>	In metres, to half nearest metre – where possible approximately 80% are measured using an electronic clinometer and the remainder estimated against the measured trees. In the case of Groups and Woodlands the measurement listed is that of the highest tree
<b>Stem Diam.:</b>	Stem diameter in millimetres, to nearest 10mm - measured and calculated as per Annex C of BS5837:2012. MS = multi-stemmed, TS = twin-stemmed
<b>Branch Spread:</b>	Crown radius measured (or estimated where considered appropriate) from the four cardinal points (north, east, south and west) to give an accurate visual representation of the crown
<b>Branch &amp; Canopy Clearances:</b>	Existing height above ground level, in metres, of first significant branch and direction of growth (e.g. 2.5-N) and of canopy at lowest point – to inform on crown to height ratio, potential for shading, etc.
<b>Life Stage:</b>	Estimated age class - Y = young, SM = semi-mature, EM = early-mature, M = mature, PM = post-mature
<b>PC:</b>	Physiological Condition - a measure of the tree(s)' overall vitality, i.e. D = Dead, MD = Moribund, P = Poor, M = Moderate, G = Good
<b>General Observations and Comments:</b>	Comments relating to the tree(s)' overall condition and any other pertinent factors including structural defects, current and potential direct structural damage, physiological decline, poor form, etc.
<b>Management Recommendations:</b>	Either Preliminary or In Consideration of the Proposal - In the case of Arboricultural Constraints Surveys the recommended management works only take existing site and tree circumstances and conditions into account and not proposed developments. Arboricultural Impact Assessment and Method Statement related Surveys take the proposed development into consideration with recommendations made accordingly. More than one option may be given if considered appropriate
<b>ERC:</b>	Estimated Remaining Contribution - in years as per BS5837:2012 (i.e. <10, 10+, 20+, 40+)
<b>Cat. Grade:</b>	Category Grading - tree retention value listed as U, A, B or C - in accordance with BS5837:2012 Table 1
<b>RPA m²:</b>	Root Protection Area in m² - calculated area around the tree that must be appropriately protected throughout the development process in order avoid root damage
<b>RPA Radius (m):</b>	Root Protection Area Radius - in metres measured from the centre of the stem to the line of tree protection
<b># (Estimated Dimensions):</b>	Where trees are located off-site, or are inaccessible for any other reason, and accurate measurements or other information cannot be taken then the information provided is estimated and is duly suffixed with a "#" symbol

TREE SURVEY SCHEDULE FOR ARBORICULTURAL IMPACT ASSESSMENT							
Site:		Ashcroft, Mill Lane, Waddington, Lancashire, BB7 3JJ					
Client:		Debi Barrientos					

Surveyor:	Joseph Lambert BSc(Hons) FdSc MArborA
Survey Date:	18 November 2020
Job Reference:	BTC2113

No.	Species	Height	Stem Diam.	Branch Spread		Branch & Canopy Clearances	Life Stage	PC	General Observations and Comments	Management Recommendations	ERC	Cat. Grade	RPA (m²)	RPA Radius (m)
T6	Lawson Cypress	6	1x250 1x180 (ts)	N E S W	3.5 3.5 3.5 3.5	0.5 1	SM	M	<ul style="list-style-type: none"><li>Stem bifurcates at a height of approximately 0.75m with a very tight union.</li><li>Multiple stems from a height of approximately 2m.</li><li>Suppressed by larger tree T5 above.</li></ul>	<ul style="list-style-type: none"><li>Remove tree in order to construct development as proposed.</li><li>Replace with new tree of suitable species elsewhere on site to compensate for loss. NB: Provision of new tree planting can be assured through imposition of a suitably worded planning condition to a planning approval by the LPA.</li></ul>	10+	C1	43	3.7
T7	Common Alder	10.5	4x370 (ms)#	N E S W	5.5 5.5 5.5 5.5	0 2	M	G	<ul style="list-style-type: none"><li>Located in neighbouring land, which was not accessed to inspect in detail.</li><li>Multiple stems from ground level.</li><li>Concrete drive, stone wall and garage building to east projected to have restricted root growth, with RPA consequently offset into field to north-west.</li><li>Stem of approximately 200mm diameter to south at a height of approximately 300mm has evidently previously been removed flush with stem and further stem of approximately 150mm diameter removed on north side at a height of approximately 1m with stub of approximately 0.5m length.</li><li>Height evidently previously reduced, with wounds up to approximately 150mm diameter, to clear overhead high voltage powerlines, but establishment of regrowth has resulted in canopy coming into contact with cables.</li><li>Canopy in close proximity to roof of garage to north-east.</li></ul>	<ul style="list-style-type: none"><li>Client or tree owner to notify utility provider of tree contact with high voltage powerlines.</li><li>Prune tree's canopy to attain a clearance of approximately 4.5m from ground level over existing driveway and garage to prevent damage to canopy during access for works below.</li><li>Carry out works to demolish adjacent garage to north-east in strict accordance with sections 7.2 and 7.3 of BS5837:2012.</li><li>Carry out works to replace existing hard surfaced driveway in strict accordance with section 7 of BS5837:2012, using hand held tools and hand working methods to outside perimeter of indicated RPA.</li><li>Install proposed post and rail fencing within RPA in strict accordance with BS5837:2012 section 7 and:<ul style="list-style-type: none"><li>Position fencing posts to avoid substantial tree roots, on advice of project arboriculturist.</li><li>Dig post holes using hand tools only and holes with impermeable sheeting prior to pouring of wet concrete.</li></ul></li></ul>	20+	C1	248	8.88
G1	approx. 5no. Damson, 1no. Goat Willow	≤ 4	≤ 120	N E S W	≤ 2 ≤ 2 ≤ 2 ≤ 2	N/A ≥ 0	Y-SM	M	<ul style="list-style-type: none"><li>Closely spaced group in area of reeds and wet ground to north of property.</li><li>Located immediately below low voltage overhead powerlines.</li><li>Stem of Damson to north enveloped into stock fence.</li><li>Very limited future potential due to waterlogged ground and location below overhead powerlines which will result in repeated pruning for clearances.</li></ul>	<ul style="list-style-type: none"><li>Remove group due to very limited future potential.</li></ul>	<10	U	≤ 7	≤ 1.44

TREE SURVEY SCHEDULE FOR ARBORICULTURAL IMPACT ASSESSMENT							
<b>Site:</b>		Ashcroft, Mill Lane, Waddington, Lancashire, BB7 3JJ					
<b>Client:</b>		Debi Barrientos					

<b>Surveyor:</b>	Joseph Lambert BSc(Hons) FdSc MArborA
<b>Survey Date:</b>	18 November 2020
<b>Job Reference:</b>	BTC2113

<b>Page:</b> 3 of 3
---------------------

No.	Species	Height	Stem Diam.	Branch Spread	Branch & Canopy Clearances	Life Stage	PC	General Observations and Comments	Management Recommendations	ERC	Cat. Grade	RPA (m²)	RPA Radius (m)	
G2	6no. Leyland Cypress	≤ 4	≤ 310	N E S W	≤ 1 ≤ 3.5 ≤ 1.5 ≤ 3.5	N/A ≥ 0	SM	M	<ul style="list-style-type: none"><li>▪ Very closely spaced group forming boundary feature.</li><li>▪ Trees within group topped at a height of approximately 3.5m.</li><li>▪ Two previous trees to north have evidently previously failed at rootplate revealing waterlogged ground below.</li><li>▪ Multiple tightly spaced stems arise from approximately 0.5m with bark inclusions, and subsequently measured below this on a clear stem.</li><li>▪ Little live foliage for tree size.</li><li>▪ Adjacent Goat Willow to south-west has partially failed over top of group.</li><li>▪ Group has very limited future potential.</li></ul>	<ul style="list-style-type: none"><li>▪ Remove group due to very limited future potential. NB: Group's removal will create sufficient space for replacement tree planting visible from road frontage to compensate for necessary loss of trees T5 and T6 in order to construct proposed development.</li></ul>	<10	U	≤ 43	≤ 3.72
G3	5no. Lawson Cypress, 1no. Common Hawthorn, 1no. Goat Willow	≤ 8	≤ 1x180 1x170 (ts)	N E S W	≤ 3.5 ≤ 3 ≤ 3.5 ≤ 3.5	N/A ≥ 0	Y-SM	M/G	<ul style="list-style-type: none"><li>▪ Closely spaced roughly linear group.</li><li>▪ Goat Willow and Hawthorn both twin stemmed from ground level and stems located along wire fence to north of ditch.</li><li>▪ Goat Willow has evident decay pocket to stem arising to south at a height of approximately 0.5m and of approximately 500mm length and 75mm width.</li><li>▪ Canopies fouling overhead telephone line and suppressed to east by tree T4.</li></ul>	<ul style="list-style-type: none"><li>▪ Retain group in context of proposed development.</li><li>▪ Ensure protection of RPA throughout development through establishment of Construction Exclusion Zone (CEZ) in accordance with appended temporary fencing specification (see TIP).</li><li>▪ Prune trees' canopies to attain sufficient clearances to overhead telephone line.</li></ul>	10+	C1/2	≤ 28	≤ 2.97
H1	Leyland Cypress 'Green Spire'	≈ 2	≈ 75	≈ 2 Wide	N/A 0	SM	G	<ul style="list-style-type: none"><li>▪ Managed hedge located along road frontage of property.</li></ul>	<ul style="list-style-type: none"><li>▪ Remove hedge in order to construct development as proposed. NB: New boundary hedging proposed to east, south and west of property, which is projected to compensate for loss (see TIP).</li></ul>	10+	C2	N/A	≈ 1	



**BS5837:2012 Table 1 – Cascade Chart for Tree Quality Assessment**

Category and definition	Criteria (including subcategories where appropriate)			Identification on plan
Trees unsuitable for retention (see Note)				
<b>Category U</b>  Those in such a condition that they cannot realistically be retained as living trees in the context of the current land use for longer than 10 years	<ul style="list-style-type: none"><li>Trees that have a serious, irremediable, structural defect, such that their early loss is expected due to collapse, including those that will become unviable after removal of other category U trees (e.g. where, for whatever reason, the loss of companion shelter cannot be mitigated by pruning)</li><li>Trees that are dead or are showing signs of significant, immediate, and irreversible overall decline</li><li>Trees infected with pathogens of significance to the health and/or safety of other trees nearby, or very low quality trees suppressing adjacent trees of better quality</li></ul> <i>Note: Category U trees can have existing or potential conservation value which it might be desirable to preserve; see BS5837:2012 paragraph 4.5.7.</i>			Red
	1. Mainly arboricultural qualities	2. Mainly landscape qualities	3. Mainly cultural values, including conservation	
Trees to be considered for retention				
<b>Category A</b>  Trees of high quality with an estimated remaining life expectancy of at least 40 years	Trees that are particularly good examples of their species, especially if rare or unusual; or those that are essential components of groups or formal or semi-formal arboricultural features (e.g. the dominant and/or principal trees within an avenue)	Trees, groups or woodlands of particular visual importance as arboricultural and/or landscape features	Trees, groups or woodlands of significant conservation, historical, commemorative or other value (e.g. veteran trees or wood-pasture)	Green
<b>Category B</b>  Those of moderate quality and value: those in such a condition as to make a significant contribution. A minimum of 20 years is suggested.	Trees that might be included in the high category, but are downgraded because of impaired condition. Examples include the presence of remediable defects including unsympathetic past management and minor storm damage	Trees present in numbers, usually as groups or woodlands, so they form distinct landscape features which attract a higher collective rating than they might as individuals. But which are not, individually, essential components of formal or semi-formal arboricultural features. For example, trees of moderate quality within an avenue that includes better, A category specimens. Or trees which are internal to the site, therefore individually having little visual impact on the wider locality	Trees with clearly identifiable conservation or other cultural benefits	Blue
<b>Category C</b>  Those trees of low quality and value: currently in adequate condition to remain until new planting could be established - a minimum of 10 years is suggested - or young trees with a stem diameter below 150 mm	Trees not qualifying in higher categories	Trees present in groups or woodlands, but without this conferring on them significantly greater landscape value, and/or trees offering low or only temporary screening benefit	Trees with very limited conservation or other cultural benefits	Grey
	Note – Whilst C category trees will usually not be retained where they would impose a significant constraint on development, young trees with a stem diameter of less than 150mm should be considered for relocation			



## **- TEMPORARY PROTECTIVE FENCING & GROUND PROTECTION SPECIFICATION -**

**Construction Exclusion Zones (CEZs)**, shall be enclosed by **Temporary Protective Fencing** and/or, where necessary, **Temporary Ground Protection Measures**. The fencing/ground protection Type(s), locations, and extents shall be agreed, in writing, with the Local Planning Authority (LPA). In turn, the **Temporary Protective Fencing** and/or **Temporary Ground Protection Measures** shall:

1. be constructed as in accordance with the Type 1, Type 2 or Type 3 'Temporary Protective Fencing Construction' sections and, where applicable the 'Temporary Ground Protection Measures' section, as detailed herein and agreed, in advance with the LPA;
2. be retained in place throughout the development process until completion of the project, and only removed following receipt of written permission from the LPA;
3. be sited in the area(s) defined by the Root Protection Areas on the associated Tree Impact Plan, or as the CEZs on the Tree Protection Plan;
4. be erected prior to any construction, demolition or excavation works and remain in place for the duration of the project;
5. preclude any delivery of site accommodation and/or materials and/or plant machinery;
6. preclude all construction related activity, with the sole exception of specified arboricultural works and any other works to be carried out under supervision that have been agreed by all parties;
7. preclude the storage of all development related materials and substances including fuels, oils, additives, cement and/or any other deleterious substance; and
8. be affixed with a 600mm x 300mm warning sign reading "TREE PROTECTION AREA KEEP OUT" (see Figure 1, below), at every 10.0 metre length of protective fencing.
9. Important: Any incursion into CEZs must be by prior arrangement, following consultation with the LPA.

Figure 1: CEZ Warning Sign

**– TREE PROTECTION AREA –  
KEEP OUT!**

**(TOWN & COUNTRY PLANNING ACT 1990)**

**THE TREES ENCLOSED BY THIS FENCE ARE PROTECTED BY PLANNING  
CONDITIONS AND/OR SUBJECTS OF A 'TREE PRESERVATION ORDER',  
THE CONTRAVENTION OF WHICH MAY LEAD TO CRIMINAL  
PROSECUTION**

THE FOLLOWING MUST BE OBSERVED BY ALL PERSONNEL:

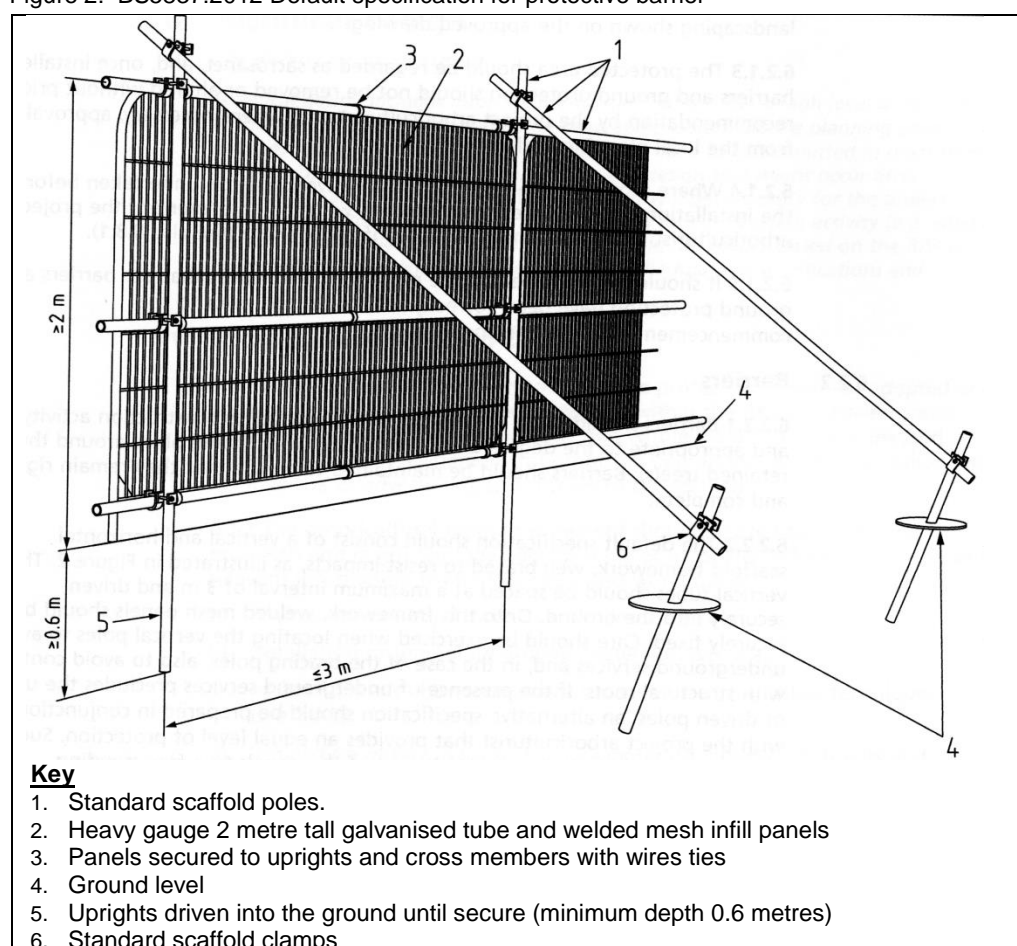
- THE PROTECTIVE FENCING MUST NOT BE MOVED
- NO PERSON SHALL ENTER THE CONSTRUCTION EXCLUSION ZONE
- NO MACHINE, PLANT OR VEHICLES SHALL ENTER THE EXCLUSION ZONE
- NO MATERIALS SHALL BE STORED IN THE EXCLUSION ZONE
- NO SPOIL SHALL BE DEPOSITED IN THE EXCLUSION ZONE
- NO EXCAVATION SHALL OCCUR IN THE EXCLUSION ZONE
- NO FIRES SHALL BE LIT IN THE EXCLUSION ZONE

**ANY INCURSION INTO THE EXCLUSION ZONE MUST BE WITH THE  
WRITTEN PERMISSION OF THE LOCAL PLANNING AUTHORITY**

**Type 1 (i.e. 'Default') Temporary Protective Fencing Construction** (see Figure 2, below)

1. Temporary protective fencing panels shall be weldmesh "Heras" panels of at least 2.0 metres in height.
2. The panels shall butt together and be securely fixed to a scaffold framework, as per points 3 to 5 of Figure 2, overleaf.
3. The scaffold framework shall comprise of upright poles of at least 3.0 metres in length driven no less than 0.6 metres into the ground at maximum 3.0 metre centres with horizontal and diagonal poles fixed to the uprights, as per points 4 to 5.
4. The two horizontal rail poles shall be attached to the uprights at heights of 0.6 and 1.8 metres with 3 no. clamps to each joint.
5. The diagonal scaffold pole struts be clamped to the top rail of the scaffold framework at a 45° angle and extend back into the CEZ and clamped to a 0.7 metre length of scaffold tube that shall be driven no less than 0.5m into the ground.
6. No fixing shall be made to any tree and all possible precautions shall be taken to prevent damage to tree roots when locating posts.
7. A 600mm x 300mm warning sign reading "TREE PROTECTION AREA KEEP OUT" (see Figure 1) shall be fixed to every 10.0 metre length of protective fencing.
8. On completion of erection, and prior to any demolition or construction works, site preparation, excavation or delivery of plant and materials, the Consulting Arboriculturist or the LPA Tree Officer, as agreed, shall inspect the Temporary Protective Fencing.

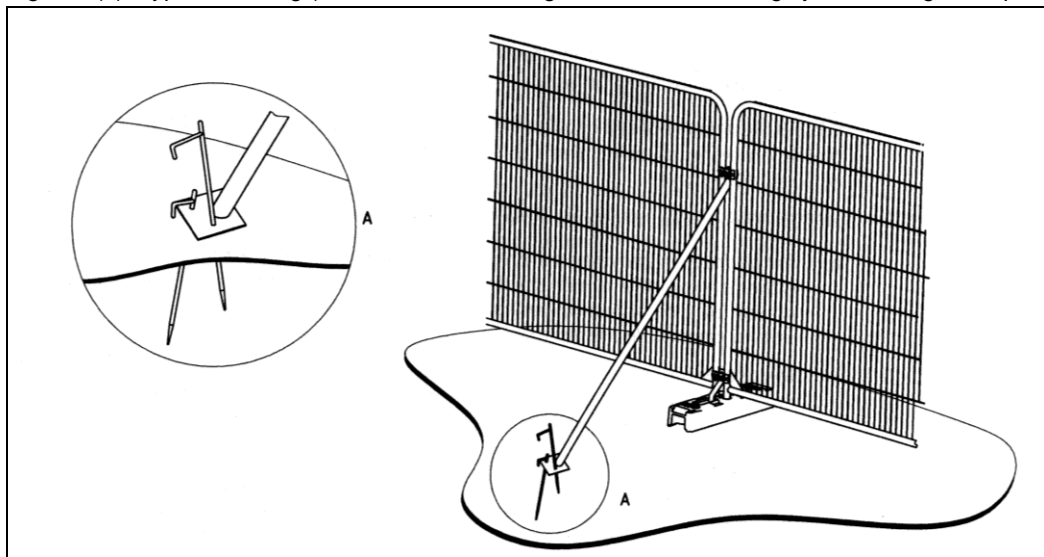
Figure 2: BS5837:2012 Default specification for protective barrier



### **Type 2 Temporary Protective Fencing Construction** (see Figure 3(a), below)

1. Temporary protective fencing panels shall be weldmesh "Heras" panels of at least 2.0 metres in height.
2. The panels shall stand on rubber or concrete feet.
3. The panels shall butt together, and be joined together using a minimum of two anti-tamper couplers, installed so that they can only be removed from inside the fence.
4. The distance between the fence couplers shall be at least 1.0 metre, and shall be uniform throughout the fence.
5. The panels shall be supported on the inner side by stabiliser struts, which shall be clamped to the scaffold framework at a 45° angle and extend back into the CEZ and shall be attached to a base plate, which shall be secured to the ground with pins (Figure 3a).
6. No fixing shall be made to any tree and all possible precautions shall be taken to prevent damage to tree roots when locating posts.
7. A 600mm x 300mm warning sign reading "TREE PROTECTION AREA KEEP OUT" (see Figure 1) shall be fixed to every 10.0 metre length of protective fencing.
8. On completion of erection, and prior to any demolition or construction works, site preparation, excavation or delivery of plant and materials, the Consulting Arboriculturist or the LPA Tree Officer, as agreed, shall inspect the Temporary Protective Fencing.

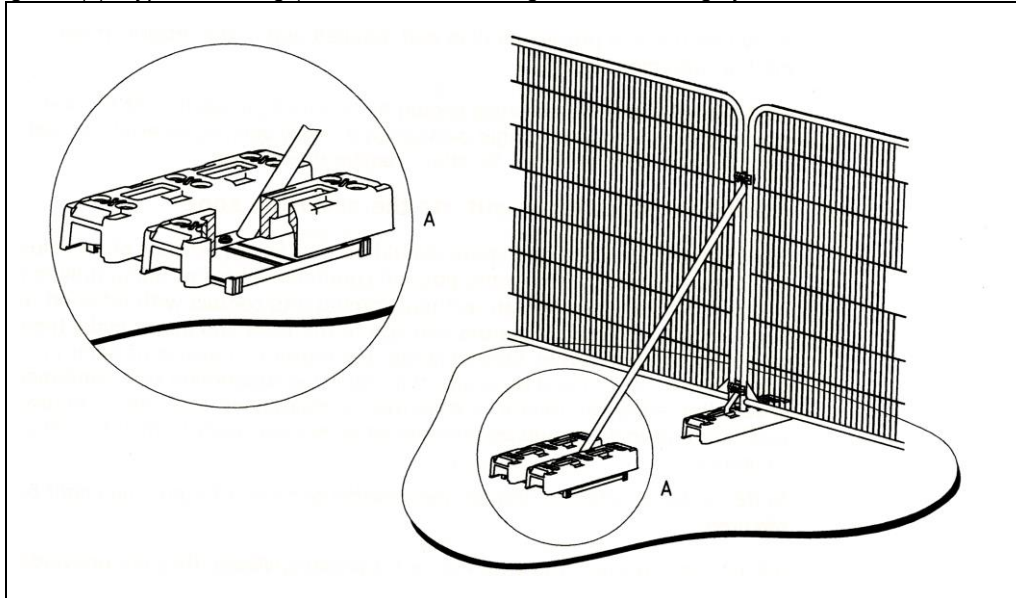
Figure 3(a): Type 2 Fencing (BS5837:2012 above-ground strut stabilising system with ground pins)



### **Type 3 Temporary Protective Fencing Construction** (see Figure 3(b), overleaf)

1. Temporary protective fencing panels shall be weldmesh "Heras" panels of at least 2.0 metres in height.
2. The panels shall stand on rubber or concrete feet.
3. The panels shall butt together, and be joined together using a minimum of two anti-tamper couplers, installed so that they can only be removed from inside the fence.
4. The distance between the fence couplers shall be at least 1.0 metre, and shall be uniform throughout the fence.
5. The panels shall be supported on the inner side by stabiliser struts, which shall be clamped to the scaffold framework at a 45° angle and extend back into the CEZ and shall be attached to a block tray base (Figure 3b).
6. No fixing shall be made to any tree and all possible precautions shall be taken to prevent damage to tree roots when locating posts.
7. A 600mm x 300mm warning sign reading "TREE PROTECTION AREA KEEP OUT" (see Figure 1) shall be fixed to every 10.0 metre length of protective fencing.
8. On completion of erection, and prior to any demolition or construction works, site preparation, excavation or delivery of plant and materials, the Consulting Arboriculturist or the LPA Tree Officer, as agreed, shall inspect the Temporary Protective Fencing.

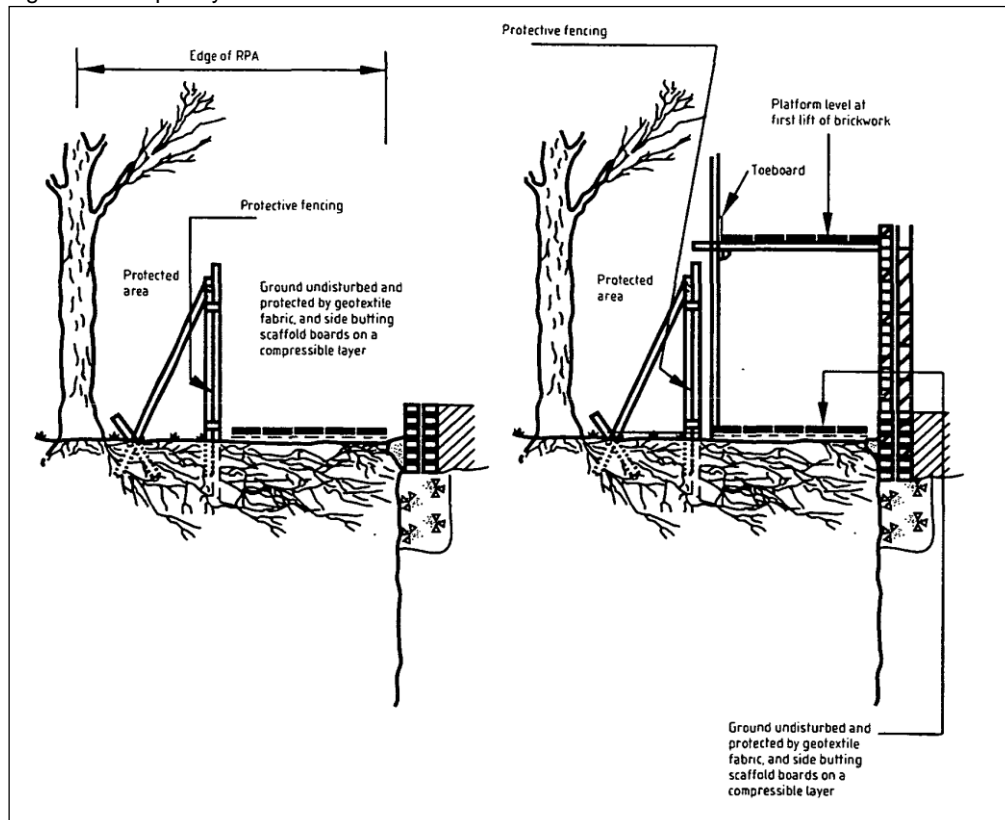
Figure 3(b): Type 3 Fencing (BS5837:2012 above-ground stabilising system with strut on block tray)

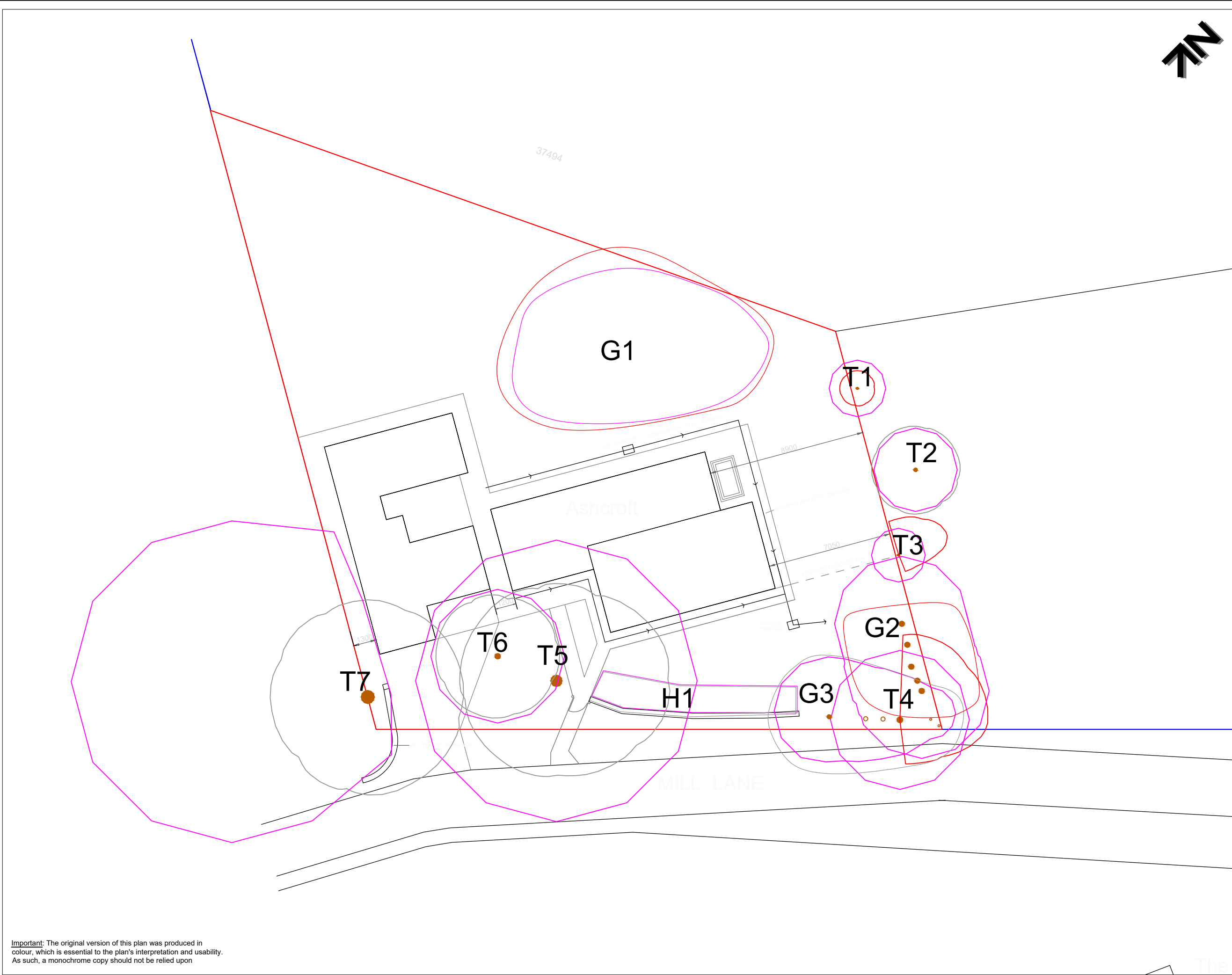


### Temporary Ground Protection

1. Any necessary Temporary Ground Protection areas shall conform to Figure 4, below, unless otherwise agreed with the LPA.
2. The Ground Protection Area shall be left undisturbed and covered by a semi-permeable geotextile membrane which shall, in turn, be covered by a compressible layer consisting of a material such as woodchip.
3. Side-butting scaffold boards shall then be fitted to cover the Ground Protection Area.
4. On completion of installation, and prior to any demolition or construction works, site preparation, excavation or delivery of plant and materials, the Consulting Arboriculturist or the LPA Tree Officer, as agreed, shall inspect the Temporary Ground Protection.
5. The Temporary Ground Protection shall remain in place until completion of the project and only removed following receipt of written permission from the LPA.

Figure 4: Temporary Ground Protection – Recommended Construction





**KEY**

T = Individual Tree  
G = Group  
H = Hedge

Please refer to associated Tree Survey Schedule and appendices for specific details in respect of items below:

**Tree Categorisations:**

Those to be Considered for Retention:

Category 'A' Tree/Group/Hedge  
*Those of a High Quality with an Estimated Remaining Life Expectancy of at Least 40 Years*

Category 'B' Tree/Group/Hedge  
*Those of a Moderate Quality with an Estimated Remaining Life Expectancy of at Least 20 Years*

Category 'C' Tree/Group/Hedge  
*Those of Low Quality with an Estimated Remaining Life Expectancy of at Least 10 Years, or Young Trees*

Those Considered Unsuitable for Retention:

Category 'U' Tree/Group/Hedge  
*Those in Such a Condition that they Cannot Realistically be Retained as Living Trees in the Context of the Current Land Use for Longer Than 10 Years*

Note: The stem locations of trees T1, T2 and T3, and the stems locations and full extents of the groups, were not included on the site plan provided, and were subsequently plotted by the arboriculturist at the time of the survey using GPS and, where possible, measurement from existing site features. As such, the locations of the trees cannot therefore be considered to be entirely accurate

**Root Protection Areas (RPAs):**

RPAs  
Area(s) of Ground Around Trees that Should be Protected Throughout Development Works with Protective Fencing to form a Construction Exclusion Zone - see Temporary Protective Fencing Specification

**Project:**  
ASHCROFT  
MILL LANE  
WADDINGTON  
LANCASHIRE  
BB7 3JJ

**Client:**  
DEBI BARRIENTOS

**Title:**  
**TREE CONSTRAINTS PLAN**  
in Respect of a Proposal to Demolish Existing Dwelling and Construct a Replacement Dwelling

Scale: 1:200@A3  
Date: November 2020  
Drawn by: JC & JL  
Checked by: PH

**Bowland**  
Tree Consultancy Ltd  
e: info@bowlandtreeconsultancy.co.uk  
t: 01772 437150

Ref: BTC2113-TCP Rev:

Important: The original version of this plan was produced in colour, which is essential to the plan's interpretation and usability. As such, a monochrome copy should not be relied upon





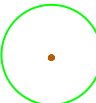
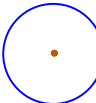
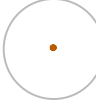
**KEY**

T = Individual Tree  
G = Group


Please refer to associated Tree Survey Schedule and appendices for specific details in respect of items below:

**Tree Categorisations:**

Those to be Considered for Retention:

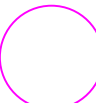
-  Category 'A' Tree/Group  
Those of a High Quality with an Estimated Remaining Life Expectancy of at Least 40 Years
-  Category 'B' Tree/Group  
Those of a Moderate Quality with an Estimated Remaining Life Expectancy of at Least 20 Years
-  Category 'C' Tree/Group  
Those of Low Quality with an Estimated Remaining Life Expectancy of at Least 10 Years, or Young Trees

Those Considered Unsuitable for Retention:

-  Category 'U' Tree/Group  
Those in Such a Condition that they Cannot Realistically be Retained as Living Trees in the Context of the Current Land Use for Longer Than 10 Years

Note 1: The stem locations of trees T1, T2 and T3, and the stems locations and full extents of the groups, were not included on the site plan provided, and were subsequently plotted by the arboriculturist at the time of the survey using GPS and, where possible, measurement from existing site features. As such, the locations of the trees cannot therefore be considered to be entirely accurate  
Note 2: Trees with numbers detailed in grey are proposed for removal in the context of the proposed development

**Root Protection Areas (RPAs):**

-  RPAs  
Area(s) of Ground Around Trees that Should be Protected Throughout Development Works with Protective Fencing to form a Construction Exclusion Zone - see Temporary Protective Fencing Specification

**Project:**

ASHCROFT  
MILL LANE  
WADDINGTON  
LANCASHIRE  
BB7 3JJ

**Client:**

DEBI BARRIENTOS

**Title:**

**TREE IMPACT PLAN**

In Respect of Proposed to Demolish Existing Dwelling and Construct a Replacement Dwelling

Scale: 1:200@A3  
Date: November 2020  
Drawn by: JC & JL  
Checked by: PH



Ref: BTC2113-TIP

Rev:

Post and rail fencing to boundary to be constructed in accordance with section 7 of BS5837:2012 where within RPA of tree T7 (see TSS)

Demolition of existing garage to be carried out in strict accordance with BS5837:2012 sections 7.2 and 7.3

Removal and replacement of existing hard surfaced driveway to perimeter of indicated RPA of tree T7 to be carried out using hand tools and hand working methods only

Existing stone wall adjacent to tree to be retained and any necessary structural repairs carried out using hand tools only

Bin collection point positioned to east of driveway entrance

Sufficient space available, following removal of 'U' category tree T4 and group G2, for replacement tree planting in this area, where it will be visible from road frontage (see TSS)

Important: The original version of this plan was produced in colour, which is essential to the plan's interpretation and usability. As such, a monochrome copy should not be relied upon