

B 23-12-21 Approx. ground levels indicated to properties on Darwen Close. Terracing revised to plots 1 - 6. Plots 7 - 9 reduced by 1 unit
 A 16-09-21 Existing drainage added

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 3RR NGJ HOIdings Ltd

Planning Application



PGB Architectural Services LTD Lily Cottage, 12 Glen Avenue, Knowle Green, Preston PR3 2ZQ ☐ 07866 366565 01254 820092 info@pgb-arch.com pgb-arch.com







## Proposed Site Plan 0 1 5 10m

Note: Darwen Close properties. Ridge heights are taken from the TriCAD topographical survey. Eaves heights are generally taken from the topographical (some averaging has been undertaken for simplicity). Paving level immediately behind the properties has been calculated by counting brick courses from eaves to 2No. courses below door thresholds. 66 courses x 75mm per course = 4950mm. It has not bee possible to determine levels and gradients to the rear gardens.

E 28-03-22 Dormers Removed

130.380

- D 23-12-21 Approx. ground levels indicated to properties on Darwen Close. Terracing revised to plots 1 6. Plots 7 9 reduced by 1 unit
- C 30-09-21 Plots 1 & 2 patios/lawns revised. All drainage references removed
- B 18-05-21 Roof finish changed. Curtilage revised to Plots 7, 8 & 9
- A 19-03-21 Individual property curtilages added

| 9 No. Proposed Dwellings  | Planning Application |
|---|----------------------|
| Land to the rear of: The Dog Inn,<br>Market Place, Longridge. PR3 3RR<br>NGJ Holdings Ltd | Proposed Site Plan   |
|   |                      |



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DATE April 2020





Site Section / Street Scene looking South West



Site Section / Street Scene looking North East



Planting / Fencing (existing & new as required) blocks headlamp beams

NOTES:



Site Section / Street Scene looking North West





D 23-12-21 Approx. ground levels indicated to properties on Darwen Close. Terracing revised to plots 1 - 6. Plots 7 - 9 reduced by 1 unit Ground level to rear Plots 1 & 2 revised C 16-09-21

B18-05-21Roof finish changed to slateA06-05-21Additional site section added to illustrate headlamp beams & addition notes added to Images

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 3RR NGJ Holdings Ltd

Planning Application Site Sections / Street Scenes Renderings DATE 08/03/20

JOB NO 3156 DRAWING NO 120 revision F SCALE 1:200@A1



NOTES: 1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



Section along existing drain 0 1 2 3 4 5m

B 23-12-21 A 16-09-21 Approx. ground levels indicated to properties on Darwen Close. Terracing revised to plots 1 - 6. Plots 7 - 9 reduced by 1 unit Drain invert revised as advised

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 3RR NGJ Holdings Ltd

Planning Application Existing Drain Section JOB NO 3156 DRAWING NO 121 REVISION B SCALE 1 : 100 @ A2



DATE May 2021

1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



Ground Floor Plan 1:100

0 1 2 5m 3 4

 $GIA / Plot = 124m^2$ 

А 23-12-21 1 No. unit removed

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Planning Application Plan



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A 23-12-21 1 No. unit removed

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 NGJ Holdings Ltd Planning Application Plan

DATE 02/04/21

JOB NO 3156 DRAWING NO 140 REVISION A SCALE 1:100@A3

NOTES: 1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



1:100 4 5m

> А 23-12-21 1 No. unit removed В 25-03-2022 Dormers Removed

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 NGJ Holdings Ltd

Planning Application Plan

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DRAWING NO 150 revision B

1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



### Roof Plan 1:100 0 1 2 3 4 5 m

А 23-12-21 1 No. unit removed В 25-03-2022 Dormers Removed

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 NGJ Holdings Ltd

Planning Application Plan



DRAWING NO 160 revision B

1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



South East (Front) Elevation А North East Elevation В 1:100

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23-12-21 1 No. unit removed 25-03-2022 Dormers Removed

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 NGJ Holdings Ltd

Planning Application Elevations

DATE 02/04/21

D ARCHITECTURAL SERVICES LTD

JOB NO 3156 DRAWING NO 170 REVISION B SCALE 1:100@A3

1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



North West (Rear) Elevation



DRAWING NO 180 revision B



1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately

> PLOT 7 PLOT 8 •• 12580 5745 ≯ 木 Laundry / 565 **Basement** Storage ¥  $\mathbf{\star}$ Bath 0: 10490 900 Hall UP X 3800 Bedroom 3 Bedroom 2  $\checkmark$ 2808 2808 k ж



А 23-12-21 1 No. unit removed

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 NGJ Holdings Ltd

Planning Application Plots 7 & 8. Plan

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DATE Feb 2021

DRAWING NO 190 revision A



1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately

> PLOT 7 PLOT 8 -12630 3615 2005 Ж ★ ᅔ **UP** 3815 Snug 4342 A Hall Ü Ü × 10490 Wc. \* 6 @ ★ Sitting / Dining 5303 Kitchen 805 002 ¥ ᆇ 5760 ≯ K



А 23-12-21 1 No. unit removed

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 NGJ Holdings Ltd

Planning Application Plots 7 & 8. Plan

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DATE Feb 2021

DRAWING NO 200 revision A



1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately

PLOT 7 PLOT 7 PLOT 7 PLOT 8 PLOT 7 PLOT 8 PL



First Floor Plan

 B
 28-03-22
 Dormers removed

 A
 23-12-21
 1 No. unit removed

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 NGJ Holdings Ltd

Planning Application Plots 7 & 8. Plan

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 ■
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DATE Feb 2021

JOB NO 3156 DRAWING NO 210 REVISION B SCALE 1 : 100 @ A3 ARCHITECTURAL SERVICES <sup>ITD</sup>

1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately

Roof Plan 0 1 2 3 4 5m

> В 23-12-21 1 No. unit removed А 18-05-21 Roof finish changed to slate

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 NGJ Holdings Ltd

Planning Application Plots 7 & 8. Plan

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DRAWING NO 220 revision B







North West (Front) Elevation 1:100

1 2 3 4 5m 0



# South East (Rear) Elevation

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North East Elevation 1:100



## South West Elevation

|   |          | 1:100                        |  |
|---|----------|------------------------------|--|
| 0 | 28-03-22 | Dormers removed              |  |
| 3 | 23-12-21 | 1 No. unit removed           |  |
| 4 | 18-05-21 | Roof finish changed to slate |  |
|   |          |                              |  |

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 NGJ Holdings Ltd

Planning Application Plots 7 & 8. Elevations



JOB NO 3156 SCALE 1:100@A3

DRAWING NO 230 revision C