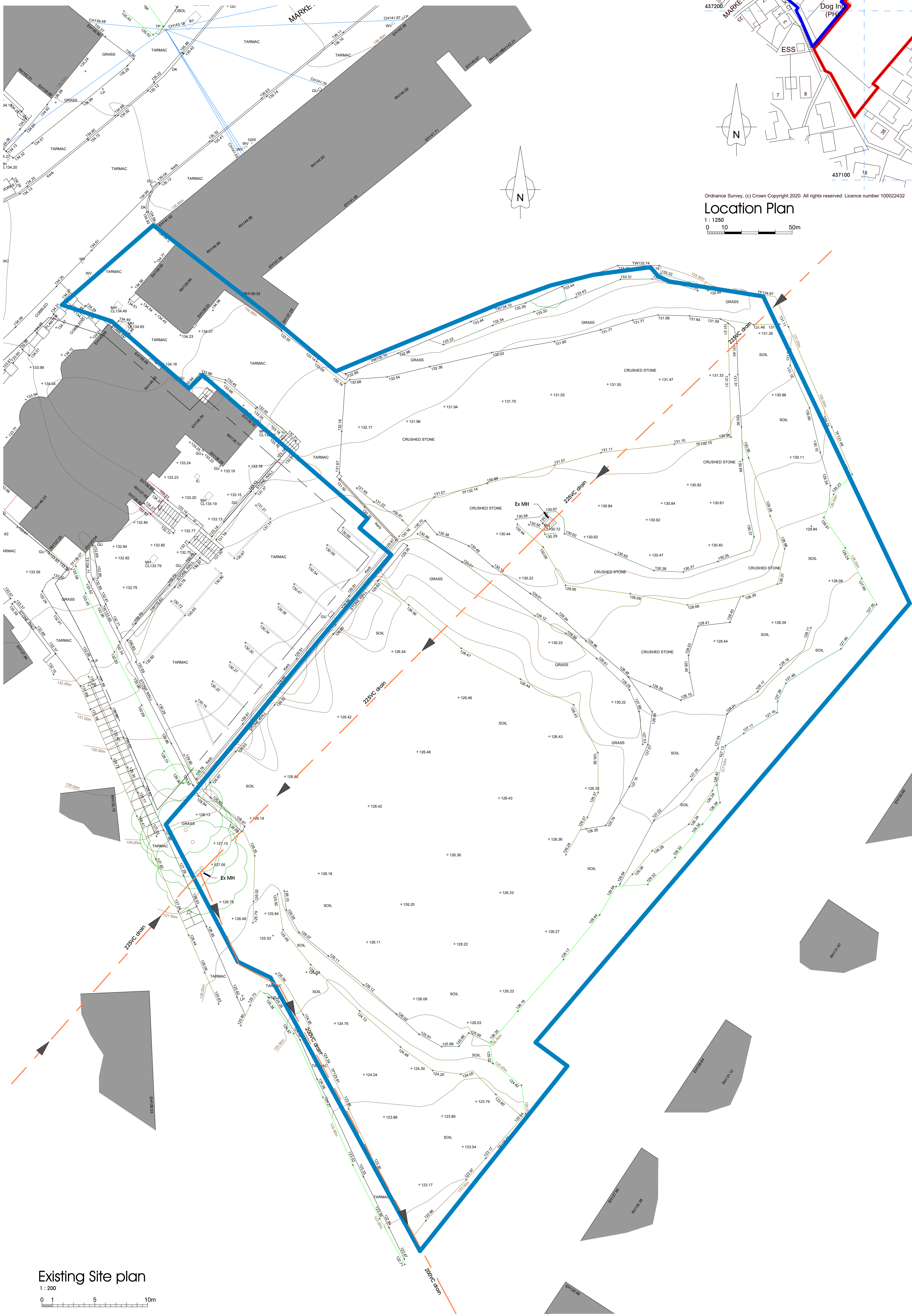


Location Plan

1 : 1250

0 10 50m

Ordinance Survey, (c) Crown Copyright 2020. All rights reserved. Licence number 100022432



B 23-12-21 Approx. ground levels indicated to properties on Darwen Close. Terracing revised to plots 1 - 6. Plots 7 - 9 reduced by 1 unit  
A 16-09-21 Existing drainage added

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge. PR3 3RR  
NGJ Holdings Ltd

## Planning Application Location & Existing Site Plans

DATE April 2020

JOB NO 3156  
DRAWING NO 100  
REVISION B  
SCALE As indicated @  
A1

**PGB**  
ARCHITECTURAL  
SERVICES LTD



NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect Immediately



E	28-03-22	Dormers Removed
D	23-12-21	Approx. ground levels indicated to properties on Darwen Close. Terracing revised to plots 1 - 6. Plots 7 - 9 reduced by 1 unit
C	30-09-21	Plots 1 & 2 patio/lawns revised. All drainage references removed
B	18-05-21	Road finish changed. Curtilage revised to Plots 7, 8 & 9
A	19-03-21	Individual property curtilages added

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge, PR3 3RR  
NGJ Holdings Ltd

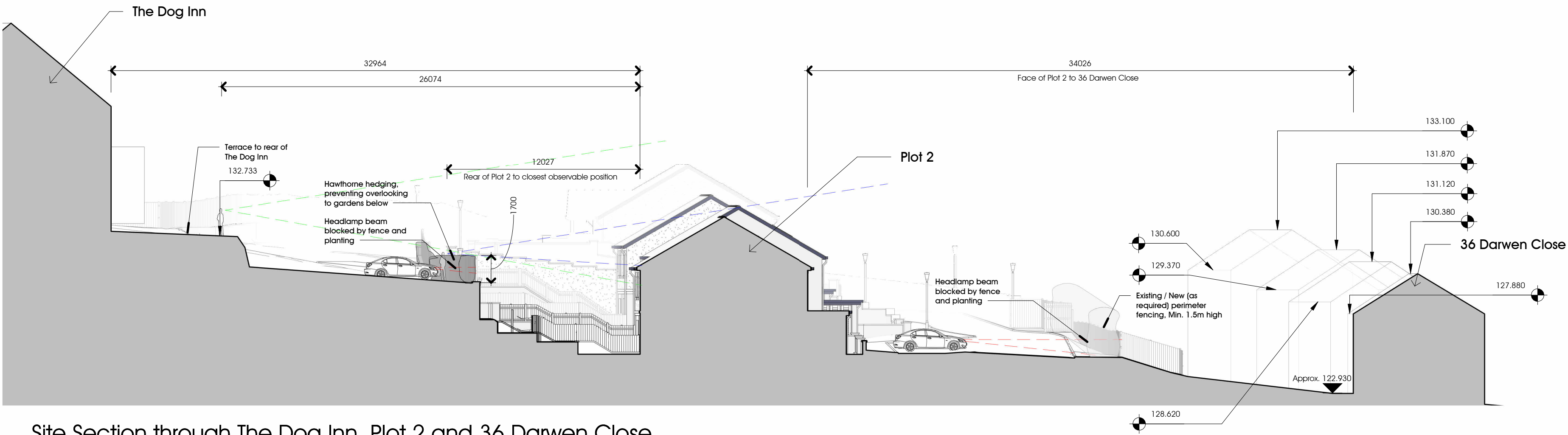
Planning Application  
Proposed Site Plan

DATE April 2020

JOB NO 3156  
DRAWING NO 110  
REVISION E  
SCALE 1:200 @ A1

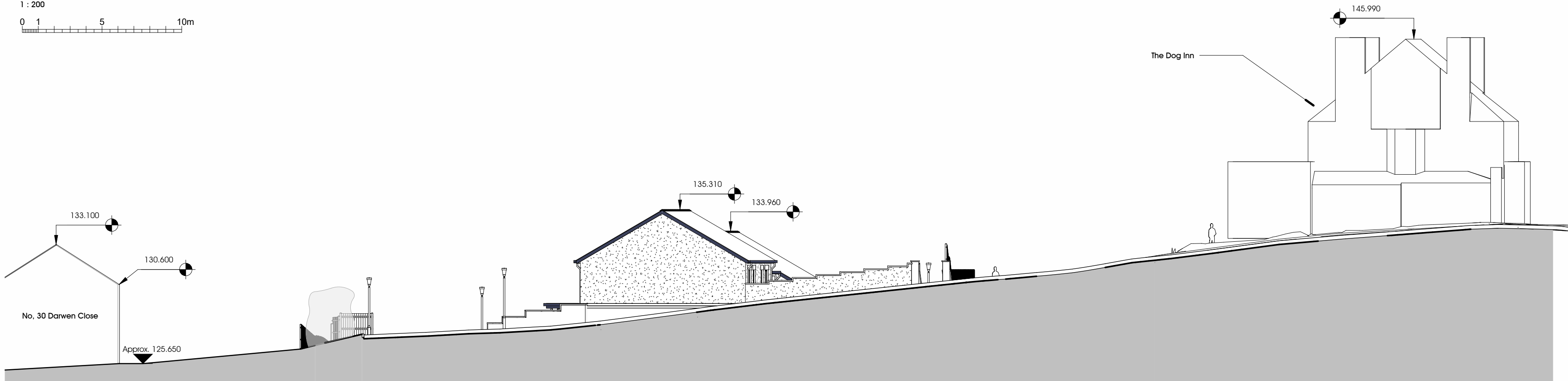


NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



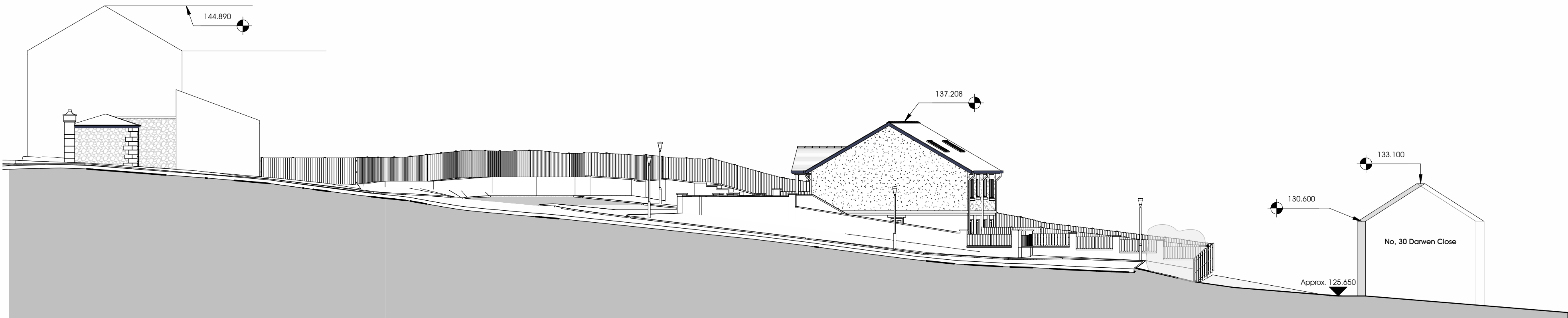
Site Section through The Dog Inn, Plot 2 and 36 Darwen Close

1 : 200  
0 1 5 10m



Site Section / Street Scene looking South West

1 : 200

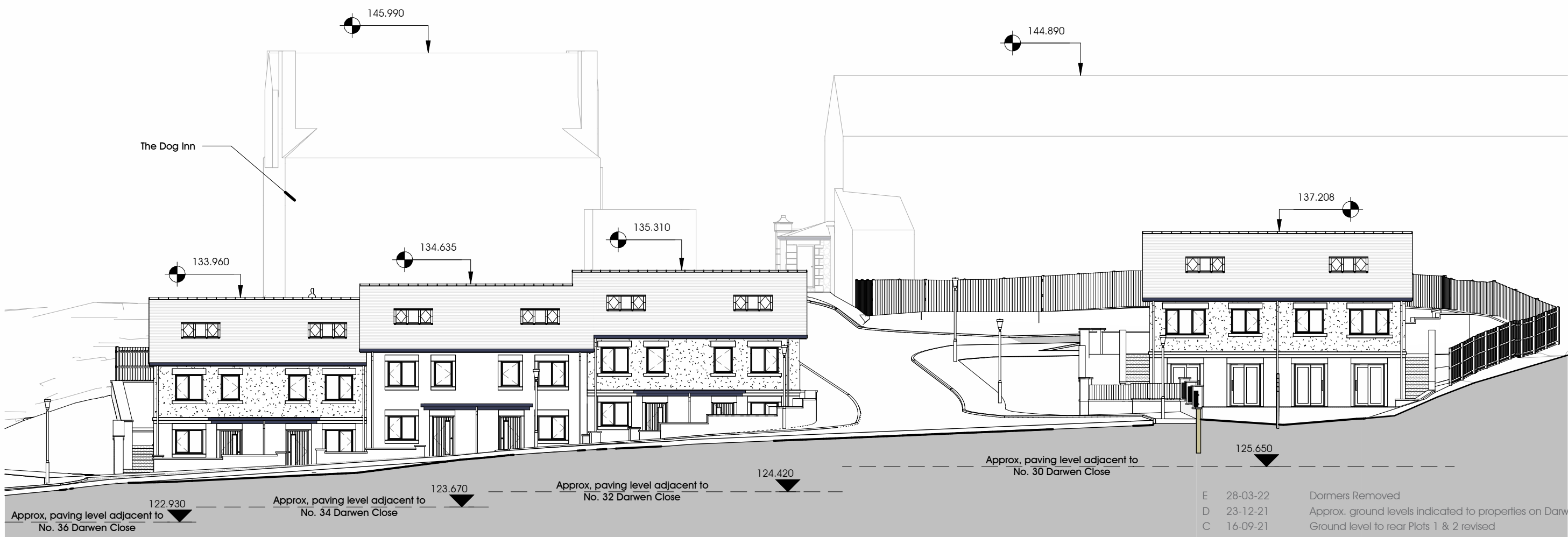


Site Section / Street Scene looking North East

1 : 200



Planting / Fencing (existing & new as required) blocks headlamp beams



Site Section / Street Scene looking North West

1 : 200

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge, PR3 3RR  
NGJ Holdings Ltd

Planning Application  
Site Sections / Street Scenes  
Renderings  
DATE 08/03/20

JOB NO 3156  
DRAWING NO 120  
REVISION E  
SCALE 1 : 200 @ A1

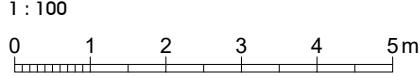
PGB  
ARCHITECTURAL  
SERVICES LTD



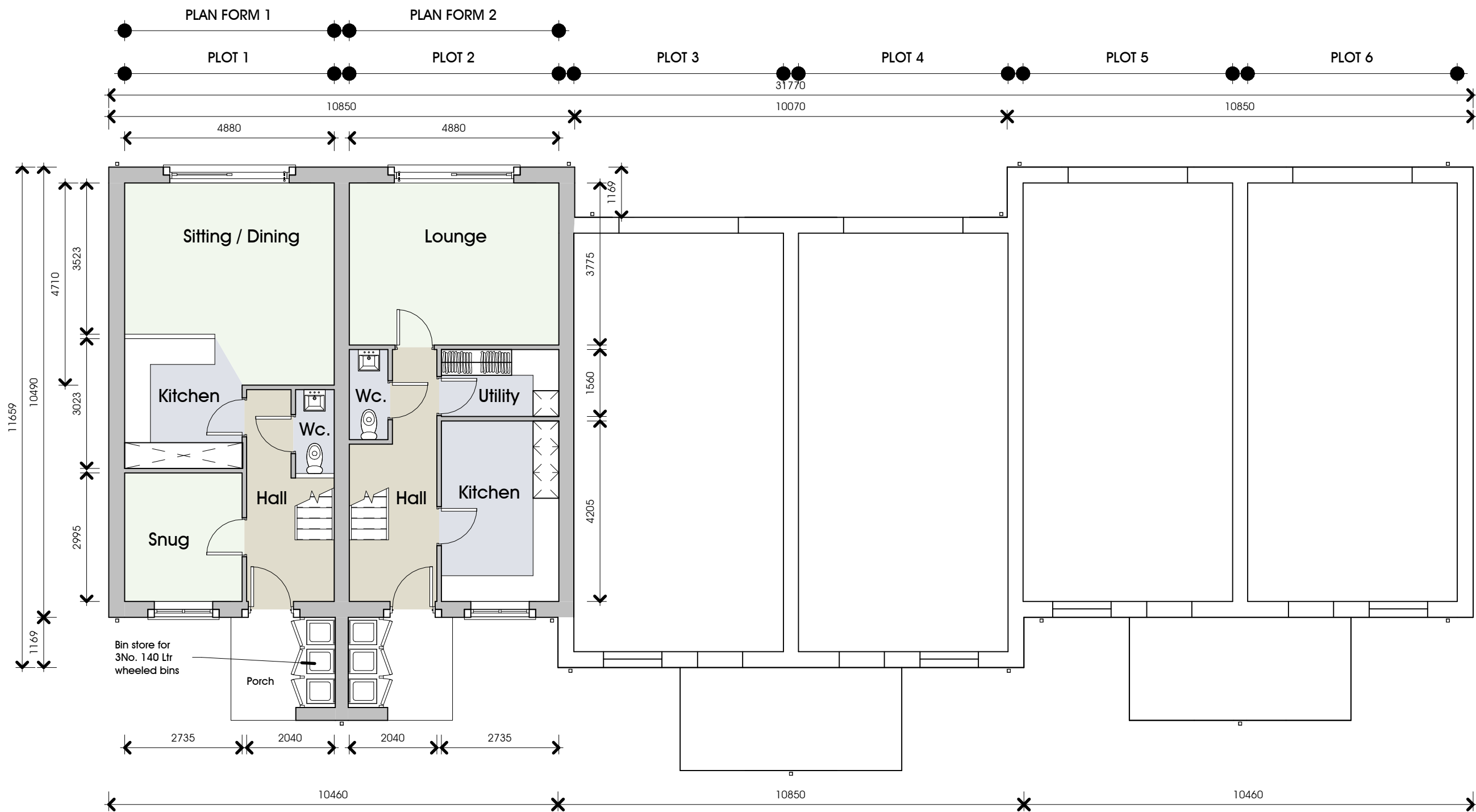
NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



Section along existing drain



NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



# Ground Floor Plan

1 : 100

0 1 2 3 4 5m

GIA / Plot = 124m<sup>2</sup>

A 23-12-21 1 No. unit removed

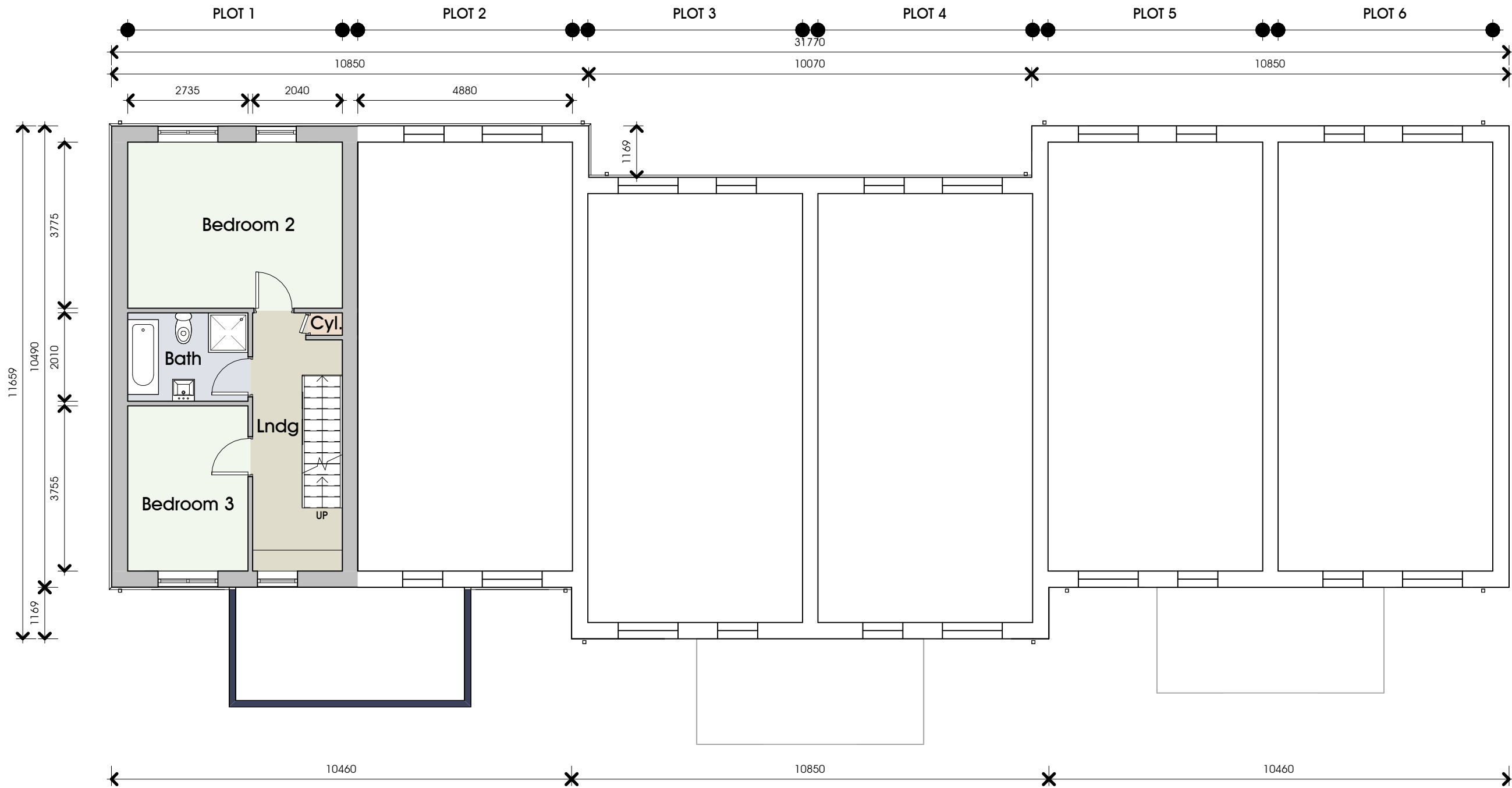
9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge. PR3  
NGJ Holdings Ltd

Planning Application  
Plan

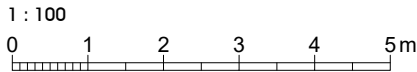
DATE 02/04/21

JOB NO 3156  
DRAWING NO 130  
REVISION A  
SCALE 1 : 100 @ A3

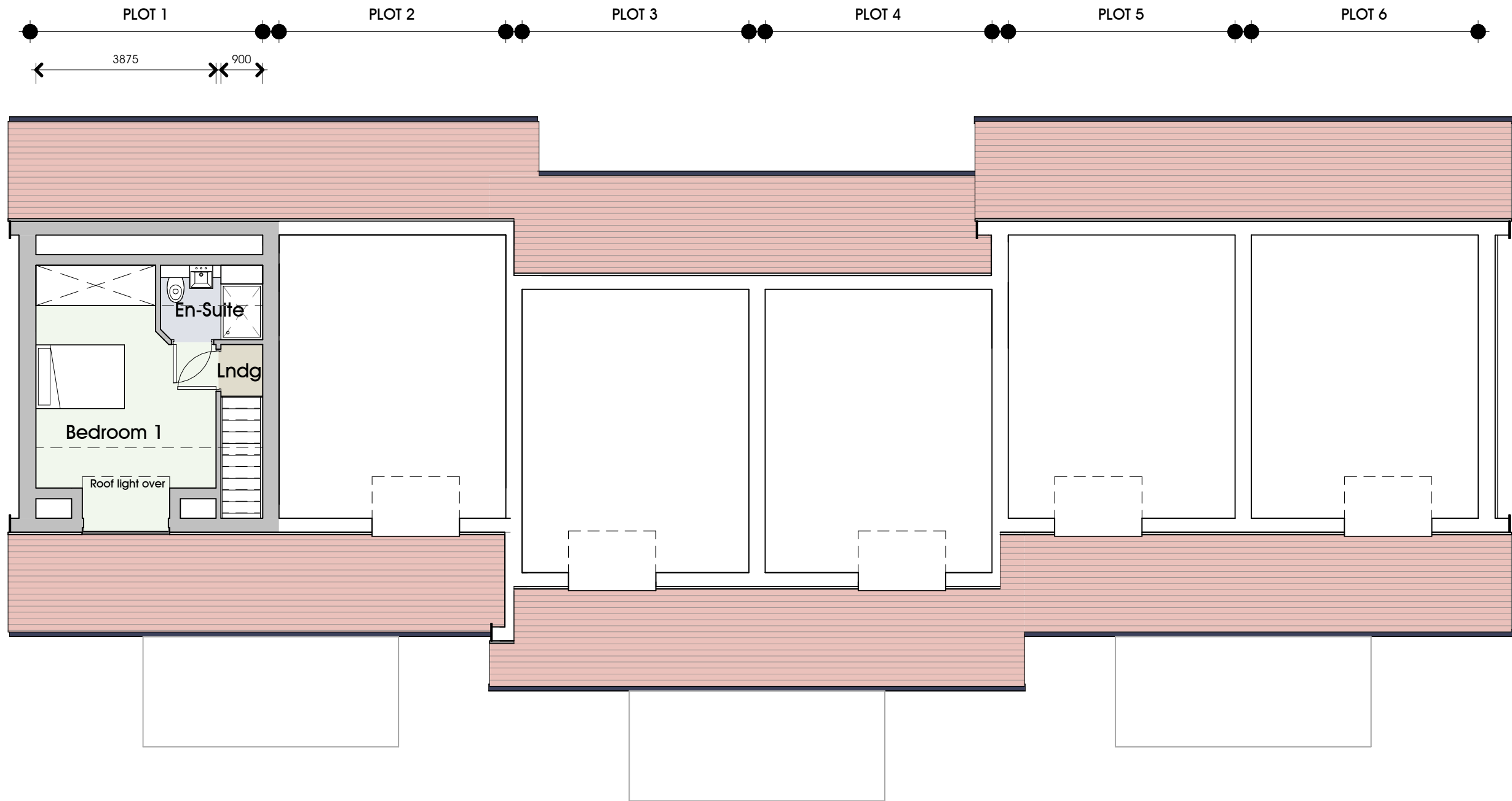
NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



## First Floor Plan



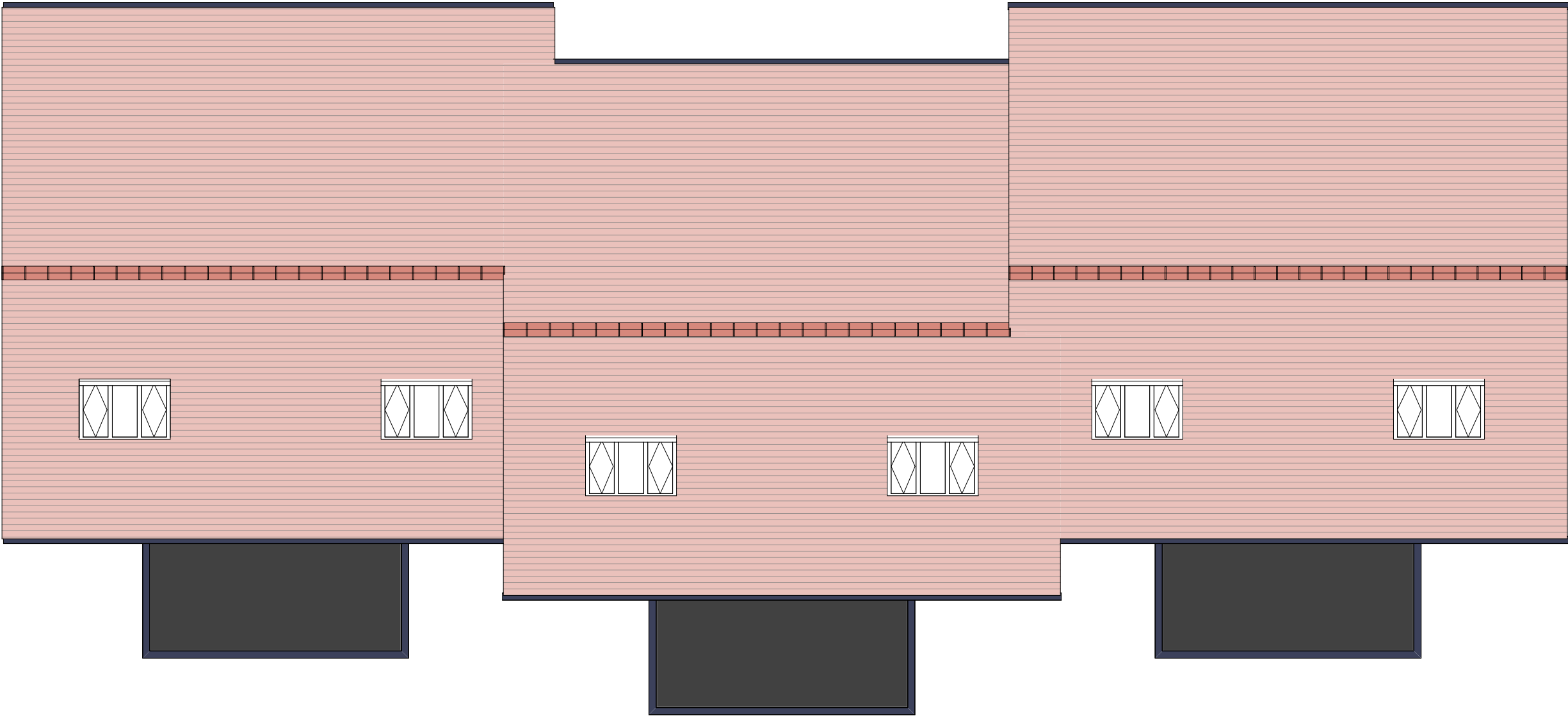
NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



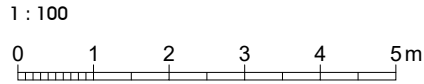
Second Floor Plan



NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



Roof Plan



A 23-12-21 1 No. unit removed  
B 25-03-2022 Dormers Removed

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge. PR3  
NGJ Holdings Ltd

Planning Application  
Plan

DATE 02/04/21

JOB NO 3156  
DRAWING NO 160  
REVISION B  
SCALE 1 : 100 @ A3

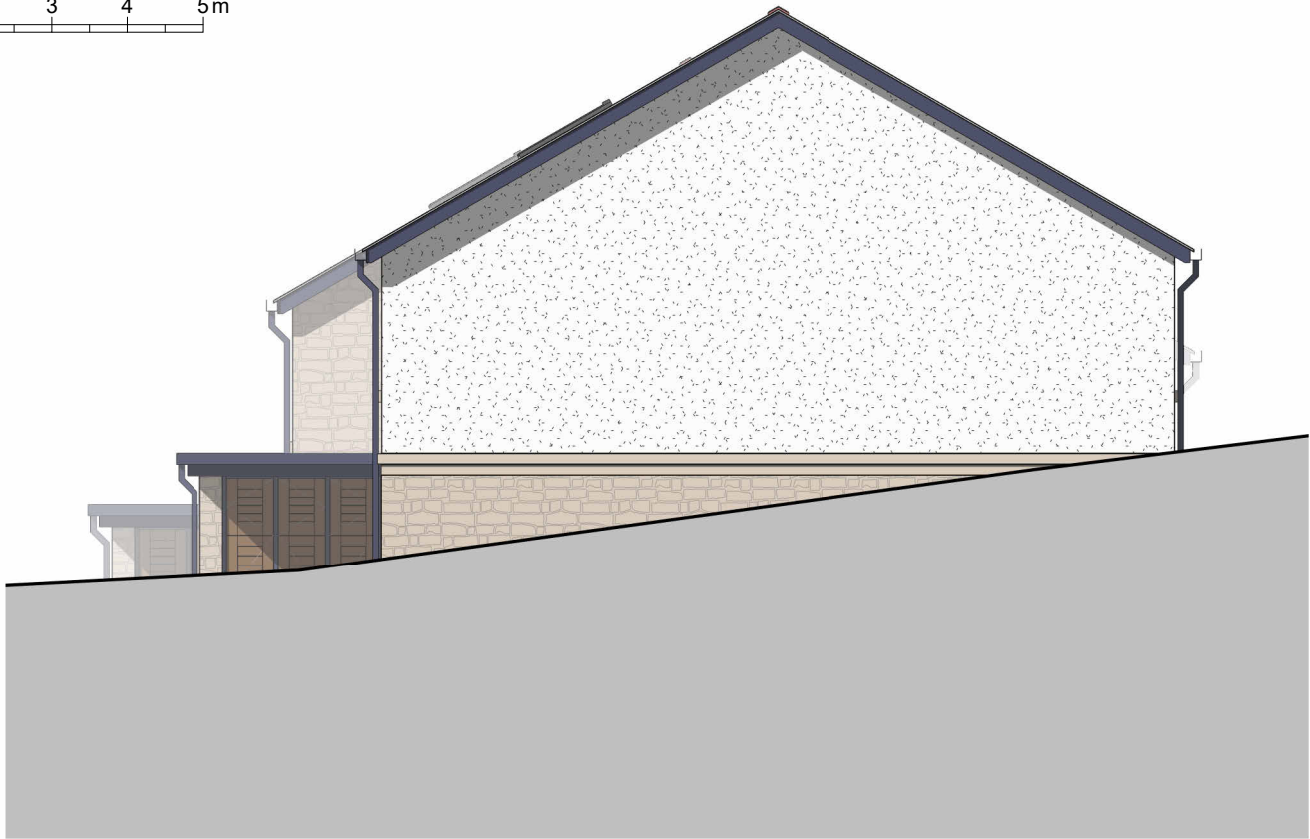


NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



South East (Front) Elevation

1 : 100  
0 1 2 3 4 5m



North East Elevation

1 : 100

A 23-12-21 1 No. unit removed  
B 25-03-2022 Dormers Removed

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge. PR3  
NGJ Holdings Ltd

Planning Application  
Elevations

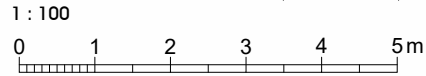
DATE 02/04/21

JOB NO 3156  
DRAWING NO 170  
REVISION B  
SCALE 1 : 100 @ A3

NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



North West (Rear) Elevation



South West Elevation

1 : 100

A 23-12-21 1 No. unit removed  
B 25-03-2022 Dormers Removed

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge. PR3  
NGJ Holdings Ltd

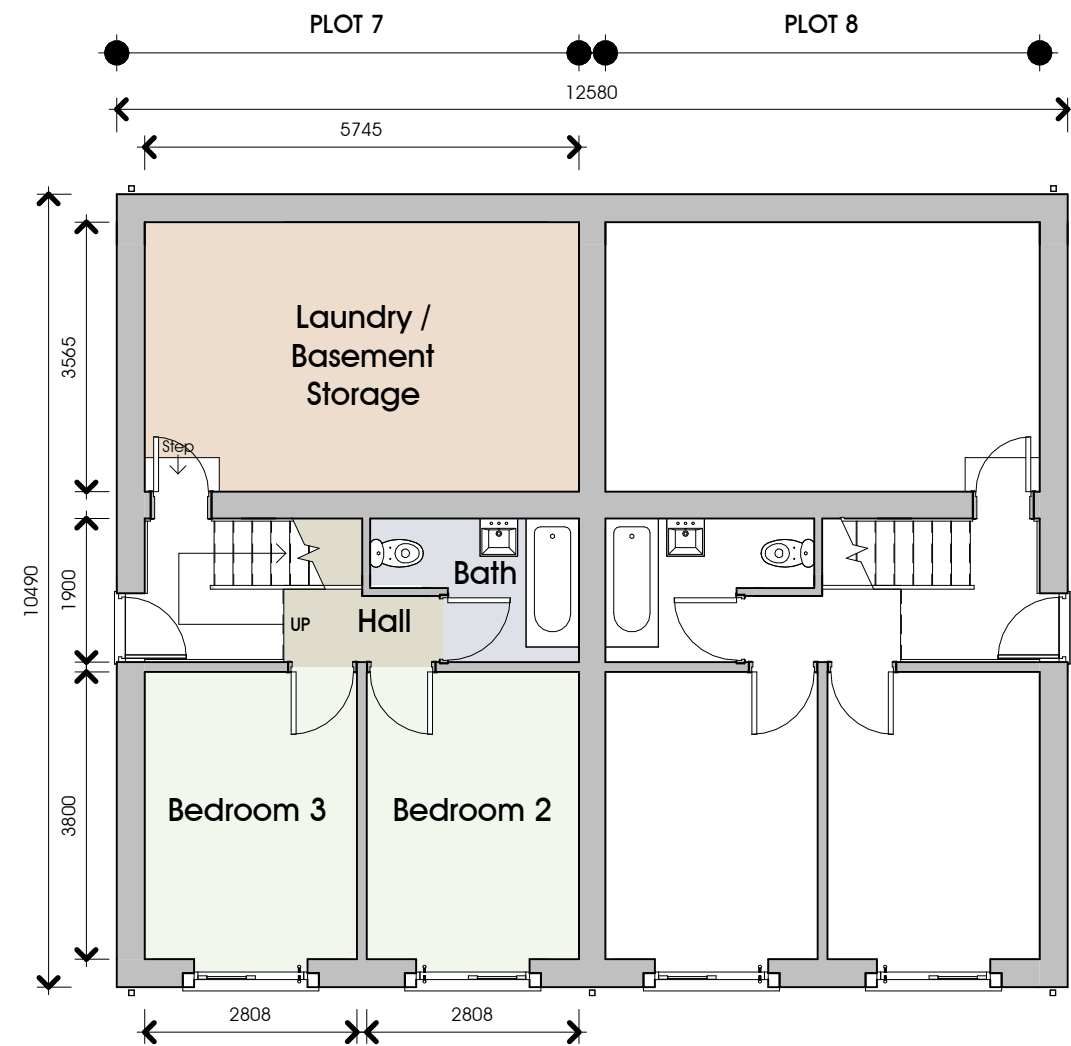
Planning Application  
Elevations

DATE 02/04/21

JOB NO 3156  
DRAWING NO 180  
REVISION B  
SCALE 1 : 100 @ A3



NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



## Lower Ground Floor Plan



A 23-12-21 1 No. unit removed

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge. PR3  
NGJ Holdings Ltd

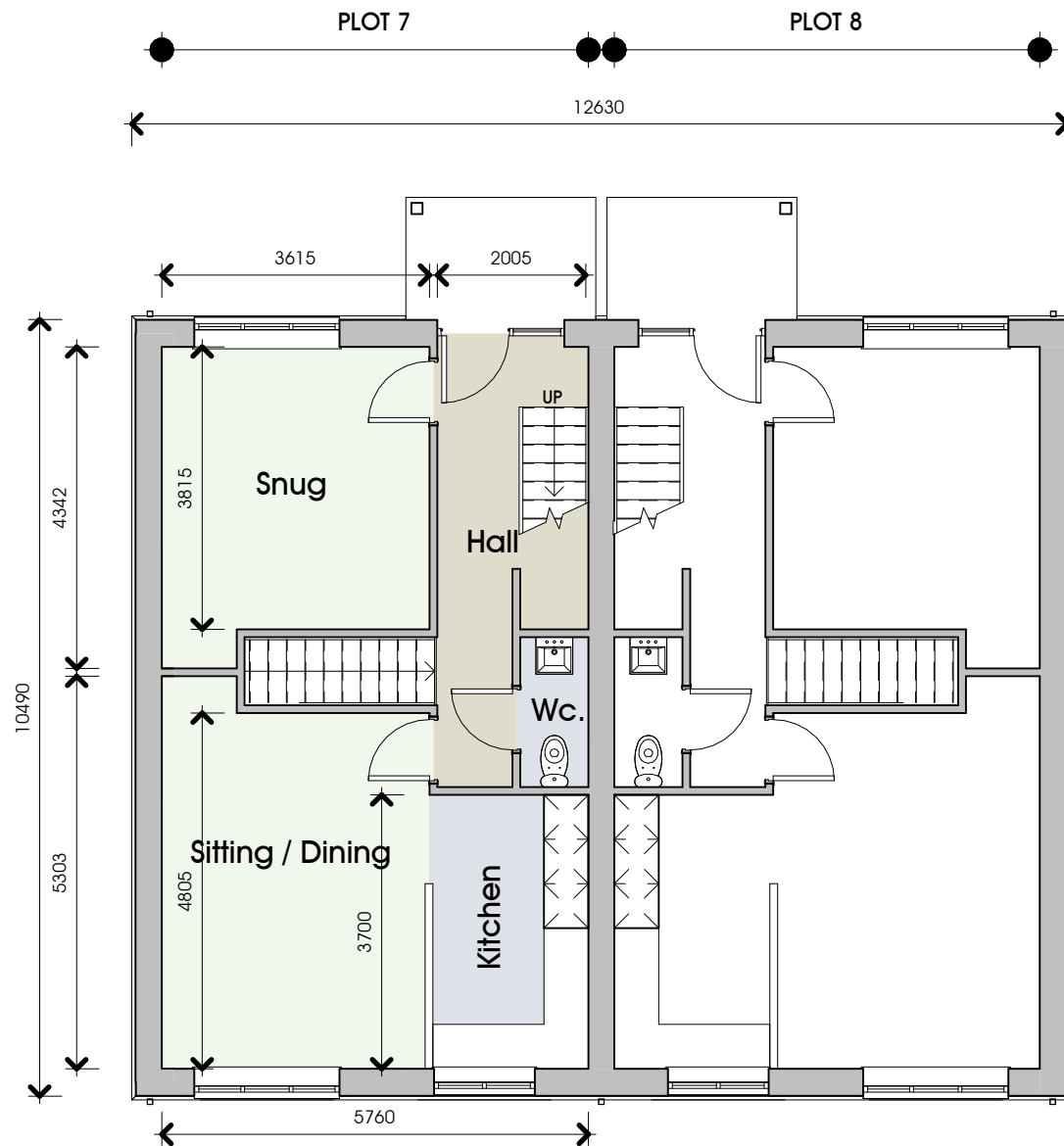
Planning Application  
Plots 7 & 8. Plan

DATE Feb 2021

JOB NO 3156  
DRAWING NO 190  
REVISION A  
SCALE 1 : 100 @ A3

**PGB**  
ARCHITECTURAL  
SERVICES LTD

NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



## Ground Floor Plan

1 : 100

0 1 2 3 4 5m

A 23-12-21 1 No. unit removed

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge. PR3  
NGJ Holdings Ltd

Planning Application  
Plots 7 & 8. Plan

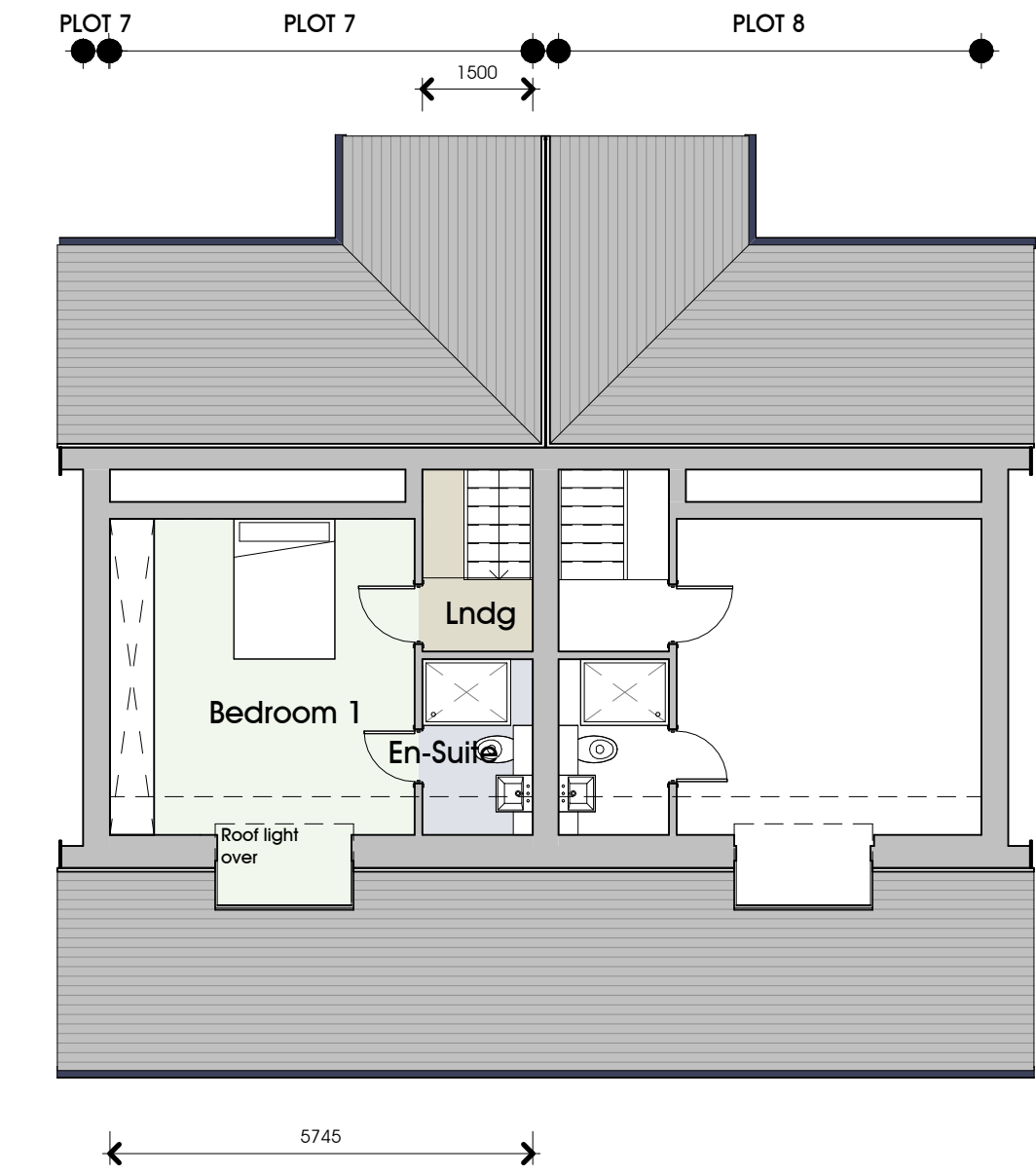
DATE Feb 2021

JOB NO 3156  
DRAWING NO 200  
REVISION A  
SCALE 1 : 100 @ A3

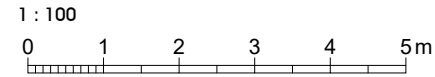
**PGB**  
ARCHITECTURAL  
SERVICES LTD



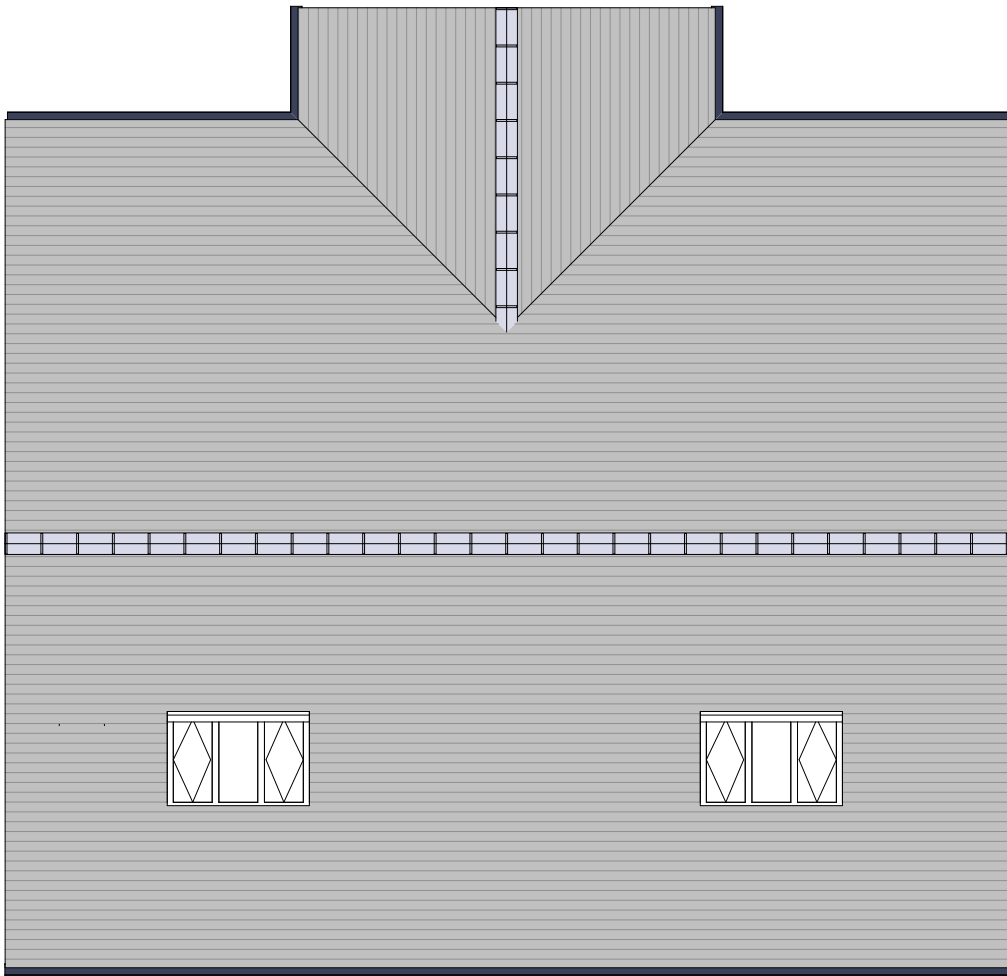
NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



First Floor Plan



NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



Roof Plan



B	23-12-21	1 No. unit removed
A	18-05-21	Roof finish changed to slate

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge. PR3  
NGJ Holdings Ltd

Planning Application  
Plots 7 & 8. Plan

DATE Feb 2021

JOB NO	3156
DRAWING NO	220
REVISION	B
SCALE	1 : 100 @ A3



NOTES:  
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately



North West (Front) Elevation

1 : 100  
0 1 2 3 4 5m



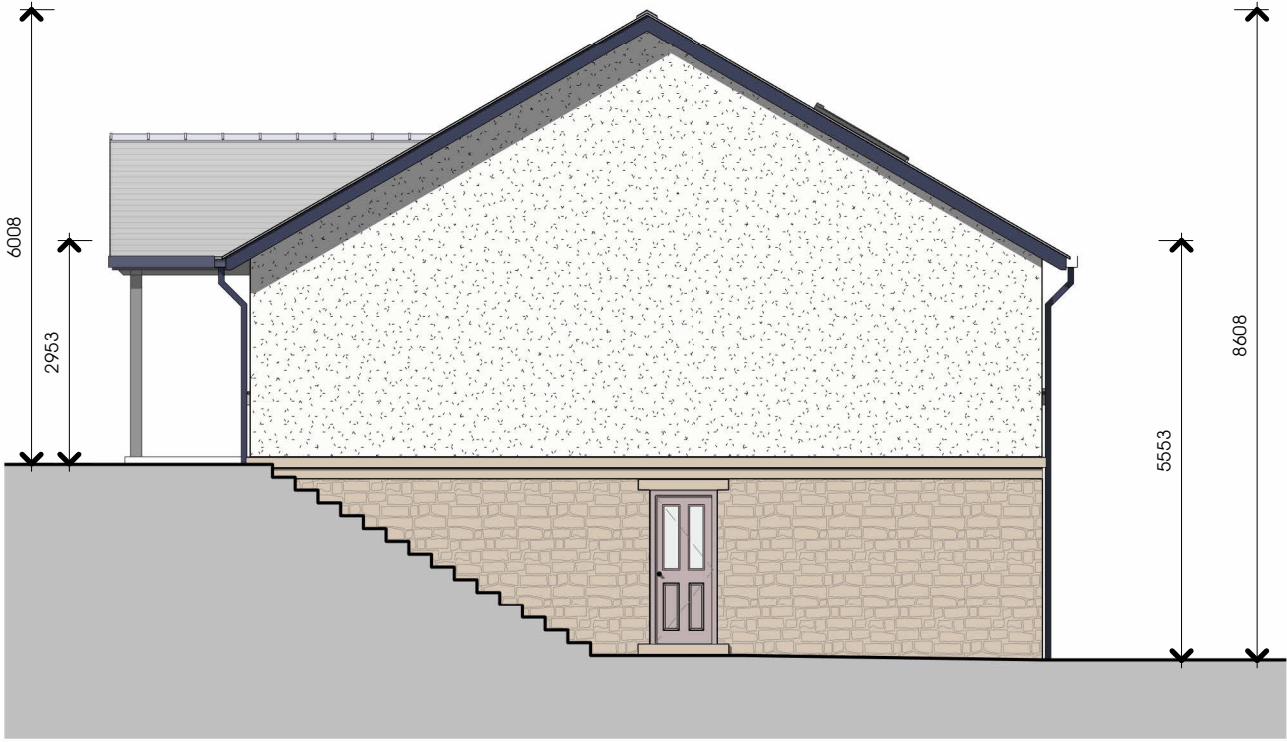
North East Elevation

1 : 100



South East (Rear) Elevation

1 : 100



South West Elevation

1 : 100

C	28-03-22	Dormers removed
B	23-12-21	1 No. unit removed
A	18-05-21	Roof finish changed to slate

9 No. Proposed Dwellings  
Land to the rear of: The Dog Inn,  
Market Place, Longridge. PR3  
NGJ Holdings Ltd

Planning Application  
Plots 7 & 8. Elevations

DATE Feb 2021

JOB NO	3156
DRAWING NO	230
REVISION	C
SCALE	1 : 100 @ A3

**PGB**  
ARCHITECTURAL  
SERVICES LTD