REFORD

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31st January 2022

Adam Birkett Planning Department Ribble Valley Borough Council Council Offices Church Walk Clitheroe, BB7 2RA

Dear Adam

Application 3/2021/0275

Location: Land behind The Dog Inn, Market Place, Longridge PR3 3RR Proposal: Proposed erection of 9 new dwellings and associated works

I refer to the latest letter from United Utilities dated 10th November 2021 in which further additional information has been requested to be submitted in support of the application.

United Utilities has requested the following and our response is included.

 The finished floor levels for all proposed units and finished ground levels for the site. In addition further details for the surface water and foul water drainage arrangements are needed which is to include the proposed private drainage runs and connection points for each unit to the proposed drainage systems.

<u>Response</u>: We attach to this letter the proposed site layout that shows plot finished floor levels and ground levels, along with a drawing showing sections through the site. Further details for the surface water and foul water drainage arrangements have been added to the

proposed drainage layout, which is also attached, in addition to finished floor levels of the proposed units.

Please note that it is now intended to only place eight residential dwellings on the site rather than the nine stated.

2. Details to demonstrate how any exceedance flows will be managed in practice for example through high kerbs and any raising of proposed ground levels. Details for any retaining wall structure and boundary treatment around the curtilage of the proposed properties with particular reference to plots 1 and 7.

<u>Response</u>: The access road has a fall that reflects the existing site levels, falling to the south east and then the south west. The manholes on the public foul sewer diversion are to lie within the proposed access road and parking areas, and therefore any exceedance flow from the manholes at the top of the site will flow along the access road away from the proposed properties. Those manholes within the southern part of the site are lower than the proposed properties and any exceedance flows will therefore not affect the proposed properties.

The drawings attached to this letter show the retaining walls and boundary treatment around the curtilage of the proposed properties.

3. The development should not commence until the details of any diversion of the affected public sewer have been agreed and formally approved by United Utilities in writing.

<u>Response</u>: We are happy to accept this as a condition attached to any planning approval.

4. It can be seen from the information provided that both manholes on the proposed private drainage run will be of relatively deep construction but the pipe linking the two will have minimal cover. This is a risk that the developer / ultimate owner will have to be informed of, but if it is a private system, it would not be subject to the same adoption criteria. It would still be subject to Building Regulations and subsequent sign off from an approved Building Control Officer.

<u>Response</u>: We note the above comment.

We also note the foul and surface water drainage condition suggested by United Utilities to be attached to any planning approval, which is acceptable.

We trust that the above additional information will enable United Utilities to provide a response.

Yours sincerely,

Bob Ford

Bob Ford CEng MICE MCIHT DIRECTOR REFORD Consulting Engineers Limited





Proposed Site Plan 0 1 5 10m

Note: Darwen Close properties. Ridge heights are taken from the TriCAD topographical survey. Eaves heights are generally taken from the topographical (some averaging has been undertaken for simplicity). Paving level immediately behind the properties has been calculated by counting brick courses from eaves to 2No. courses below door thresholds. 66 courses x 75mm per course = 4950mm. It is our belief that the rear gardens are generally at a gradient matching the general contour of the land surrounding (including both the proposed site and Darwen Close)

D 23-12-21 Approx. ground levels indicated to properties on Darwen Close. Terracing revised to plots 1 - 6. Plots 7 - 9 reduced by 1 unit
C 30-09-21 Plots 1 & 2 patios/lawns revised. All drainage references removed

- B 18-05-21 Roof finish changed. Curtilage revised to Plots 7, 8 & 9
- A 19-03-21 Individual property curtilages added

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 3RR NGJ HOIdings Ltd

36

126.990

122.040 Approx.

38

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129.130

Planning Application Proposed Site Plan



PGB Architectural Services LTD Lily Cottage, 12 Glen Avenue, Knowle Green, Preston PR3 2ZQ ☐ 07866 366565 01254 820092 info@pgb-arch.com pgb-arch.com

DATE April 2020



Terrace to rear of

The Dog Inn

132.733

32964

Hawthorne hedging, preventing overlooking to gardens below —

Headlamp beam blocked by fence and

planting

26074

The Dog Inn





Site Section / Street Scene looking South West











NOTES:











Site Section / Street Scene looking North West



36 Darwen Close







D 23-12-21 Approx. ground levels indicated to properties on Darwen Close. Terracing revised to plots 1 - 6. Plots 7 - 9 reduced by 1 unit Ground level to rear Plots 1 & 2 revised B 18-05-21 Roof finish changed to slate

9 No. Proposed Dwellings Land to the rear of: The Dog Inn, Market Place, Longridge. PR3 3RR NGJ Holdings Ltd

Planning Application Site Sections / Street Scenes Renderings DATE 08/03/20

A 06-05-21 Additional site section added to illustrate headlamp beams & addition notes added to Images

JOB NO 3156 DRAWING NO 120 revision D SCALE 1:200@A1





PROPOSED DRAINAGE LAYOUT