

REFORD

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31st January 2022

Adam Birkett
Planning Department
Ribble Valley Borough Council
Council Offices
Church Walk
Clitheroe, BB7 2RA

Dear Adam

Application 3/2021/0275

Location: Land behind The Dog Inn, Market Place, Longridge PR3 3RR

Proposal: Proposed erection of 9 new dwellings and associated works

I refer to the latest letter from United Utilities dated 10th November 2021 in which further additional information has been requested to be submitted in support of the application.

United Utilities has requested the following and our response is included.

1. The finished floor levels for all proposed units and finished ground levels for the site. In addition further details for the surface water and foul water drainage arrangements are needed which is to include the proposed private drainage runs and connection points for each unit to the proposed drainage systems.

Response: We attach to this letter the proposed site layout that shows plot finished floor levels and ground levels, along with a drawing showing sections through the site. Further details for the surface water and foul water drainage arrangements have been added to the

proposed drainage layout, which is also attached, in addition to finished floor levels of the proposed units.

Please note that it is now intended to only place eight residential dwellings on the site rather than the nine stated.

2. Details to demonstrate how any exceedance flows will be managed in practice for example through high kerbs and any raising of proposed ground levels. Details for any retaining wall structure and boundary treatment around the curtilage of the proposed properties with particular reference to plots 1 and 7.

Response: The access road has a fall that reflects the existing site levels, falling to the south east and then the south west. The manholes on the public foul sewer diversion are to lie within the proposed access road and parking areas, and therefore any exceedance flow from the manholes at the top of the site will flow along the access road away from the proposed properties. Those manholes within the southern part of the site are lower than the proposed properties and any exceedance flows will therefore not affect the proposed properties.

The drawings attached to this letter show the retaining walls and boundary treatment around the curtilage of the proposed properties.

3. The development should not commence until the details of any diversion of the affected public sewer have been agreed and formally approved by United Utilities in writing.

Response: We are happy to accept this as a condition attached to any planning approval.

4. It can be seen from the information provided that both manholes on the proposed private drainage run will be of relatively deep construction but the pipe linking the two will have minimal cover. This is a risk that the developer / ultimate owner will have to be informed of, but if it is a private system, it would not be subject to the same adoption criteria. It would still be subject to Building Regulations and subsequent sign off from an approved Building Control Officer.

Response: We note the above comment.

We also note the foul and surface water drainage condition suggested by United Utilities to be attached to any planning approval, which is acceptable.

We trust that the above additional information will enable United Utilities to provide a response.

Yours sincerely,

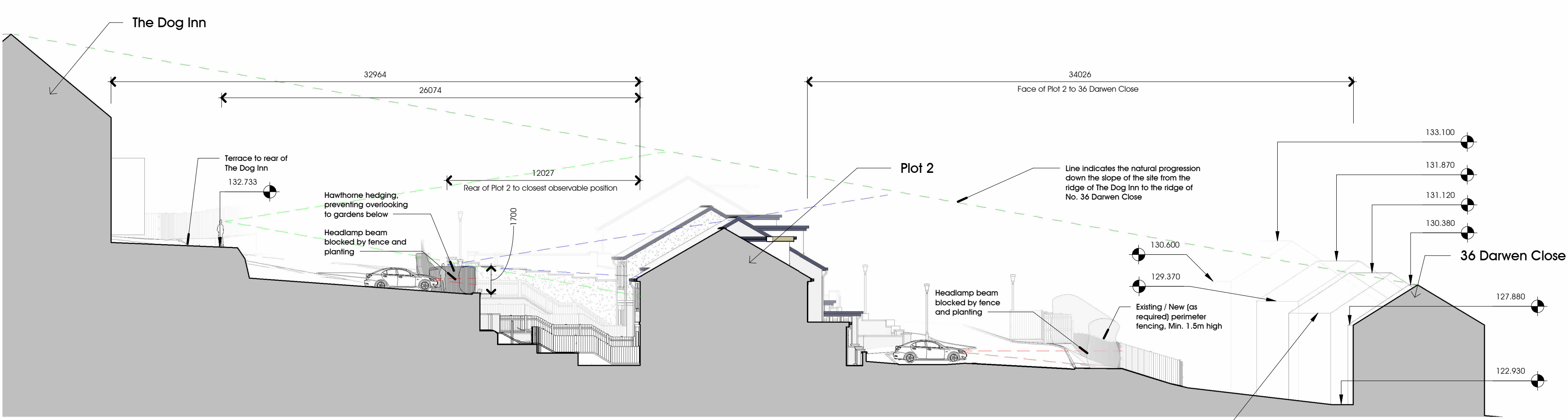
Bob Ford

**Bob Ford CEng MICE MCIHT
DIRECTOR
REFORD Consulting Engineers Limited**

NOTES:
1: Do not scale this drawing, use figured dimensions only 2: The Contractor, Sub Contractor or specialist supplier are responsible for confirming site dimensions prior to fabrication 3: Any dimensional discrepancies are to be reported to the Architect immediately

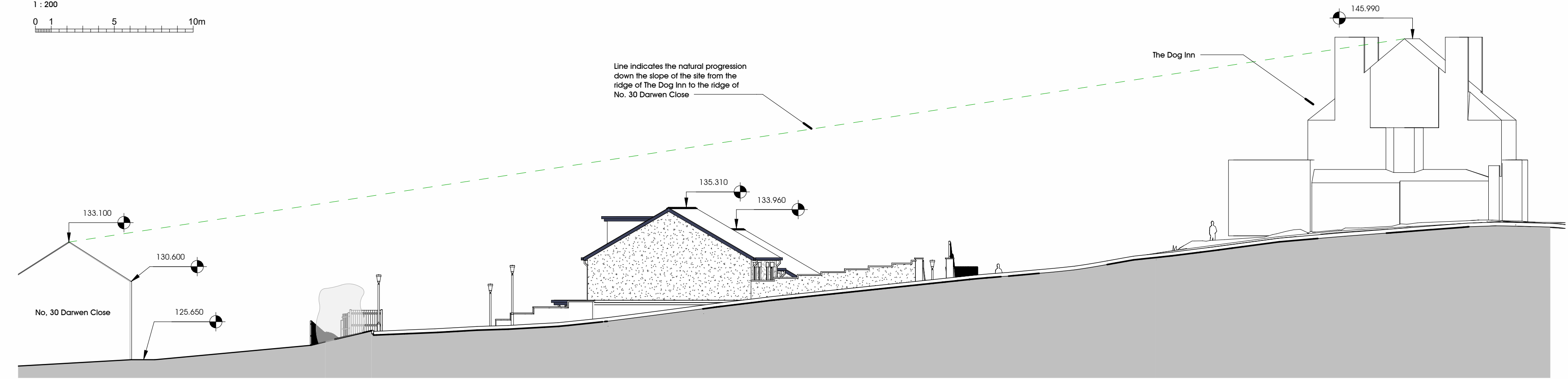


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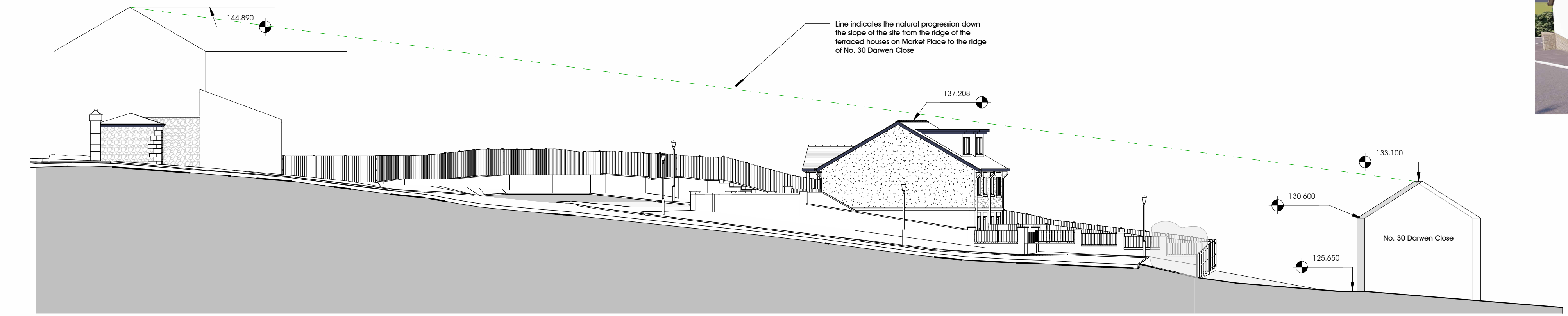
Site Section through The Dog Inn, Plot 2 and 36 Darwen Close

1 : 200
0 1 5 10m



Site Section / Street Scene looking South West

1 : 200



Site Section / Street Scene looking North East

1 : 200



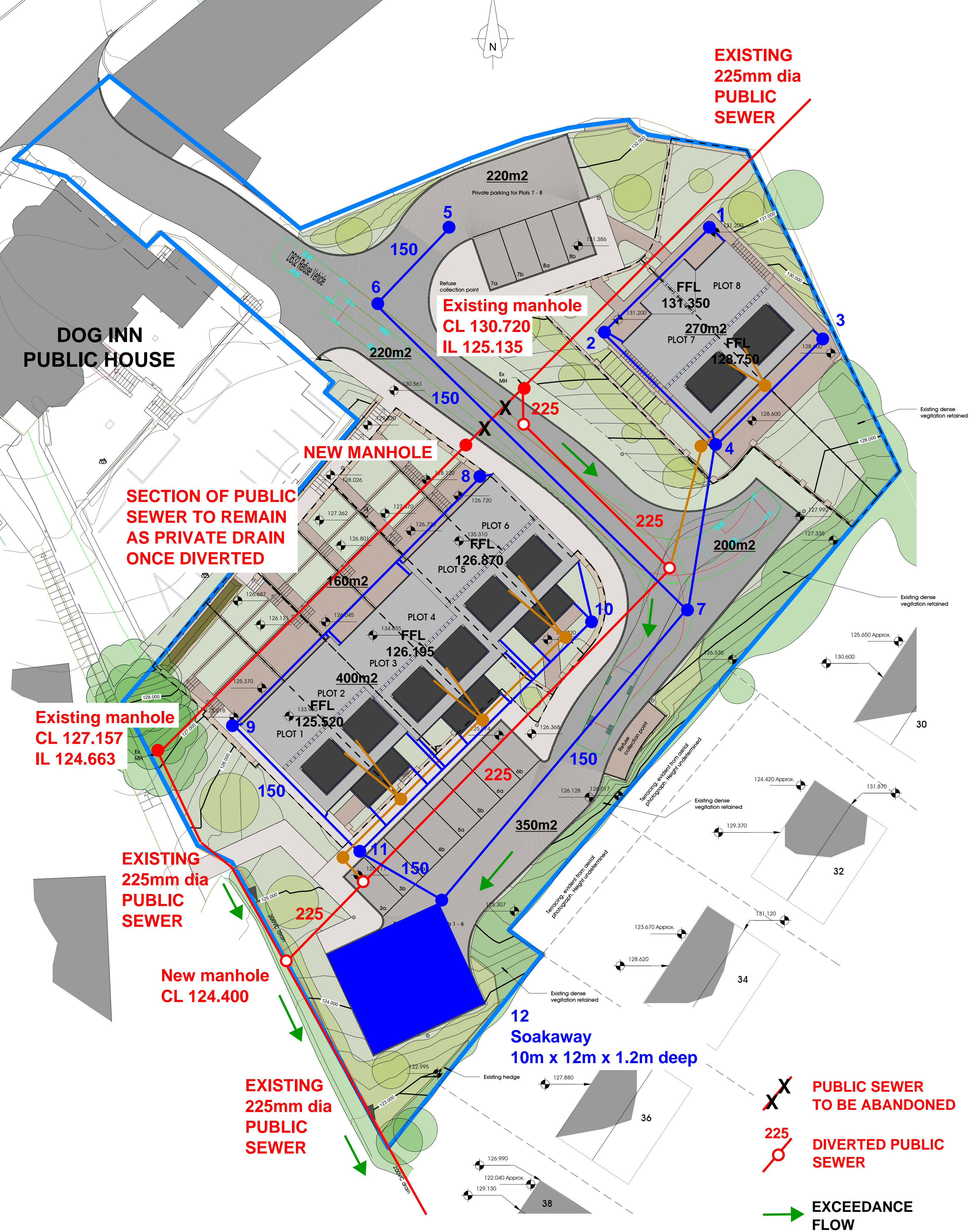
Site Section / Street Scene looking North West

1 : 200



Fencing & Hawthorne hedging prevents Headlamp beams to the rear of the proposed properties and overlooking into the proposed gardens





PROPOSED DRAINAGE LAYOUT