

HERITAGE STATEMENT

SANDY FISHPOOL RIBA

BLACK HOUSE FARM, DALE HEAD, LANCASHIRE

For Ms Anita King

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EXECUTIVE SUMMARY:

- ❖ The assessment find that elements of the proposed scheme will result in 'less than substantial harm' resulting from the alteration to some minor historic fabric and the insertion of new largely glazed extensions. However, it is considered that these impacts are minimal, being themselves limited in scope and are balanced by the positive impacts of the proposed scheme. For example, the sensitive design of the new roofing retains the form and character of the existing outbuildings and the recess of the new extensions ensures that their position is secondary to the primary elevations of the listed farmhouse and its outbuildings.
- ❖ The careful positioning of the glazed links and their diminutive scale is sensitive to the defining features and forms of the existing buildings, in particular the listed building.
- ❖ Less than substantial harm is caused by new openings, balanced by sensitive design for re-use of the building and repairs that are necessary to prevent further decay and to maintain the farmstead group for the future.
- ❖ Less than substantial harm is caused by the additional of a glazed link attached to the Western gable of the farmhouse. This is balanced by the benefits of saving the outbuildings for the future and thereby retaining the farmstead group.
- ❖ The removal of the modern porch, the benefits or the internal works to the kitchen and the repairs proposed to the farmhouse also provide further benefits.
- ❖ Less than substantial harm is caused by the proposals to the setting of the listed building, and this is balanced by the benefits of saving the outbuildings for the future and thereby retaining the farmstead group. The proposals are sensitive to the overall arrangement of the group and where there are extensions, these have been sensitively designed to retain the original form of the existing buildings and allow for their comprehension.
- ❖ The link extension between the farmhouse and Outbuilding I is largely glazed on the South Elevation thus ensuring that the outbuilding does not appear to be encapsulated. The glazing is set back from the corners and quoins of the listed farmhouse, providing a suitable 'recess' which enables the primary façade of the listed building to remain the dominant element of the group and reduces the harm caused to the fabric of the building.

Overall, the proposed development is considered to cause 'less than substantial' harm on the significance of the designated heritage asset and its setting. The benefits of the proposed development are significant and comply with Local and National Policy and concur with relevant guidance from Historic England. The minor harm caused to the asset could be further reduced by a combination of the mitigation measures suggested in this report and by the significant benefits inherent in the proposals. This would reduce the harm to an overall neutral impact on the farmstead.

As such, contributes to one of the three objectives of 'sustainable development' defined in the NPPF (MHCLG 2019,5-). The development seeks to adapt the houses in a mode sympathetic with their surroundings, to maintain it in a viable use consistent with its original use and long-term conservation (MHCLG 2019, 54-), thereby ensuring its continued contribution to quality of place. It is also considered to be appropriate in terms of sympathetic design and the use of traditional materials.

1. INTRODUCTION:

1.1. PROJECT BACKGROUND:

This Heritage Statement and Heritage Impact Assessment (HIA) has been commissioned by Anita King to provide an assessment of the potential heritage impact of a proposed development at Black House Farm, Dale Head, Lancashire. The purpose of this report is to provide baseline information on the cultural heritage resource in the proposed development site and surrounding area, and to assess any potential effects of the proposed development on that resource.

The proposed development is spread out over two areas: conversion of existing outbuildings adjacent to the Grade II Listed farmhouse 'Black House Farm' (NHLE 1362268) and internal alterations to 'Black House Farm'. The outbuildings are within the curtilage of the listed building and are therefore listed by the curtilage rule. The designation description for the relevant listed building has been reproduced below:

HISTORIC ENGLAND LISTING:

'BLACK HOUSE FARMHOUSE'

County: Lancashire
 District: Ribble Valley (District Authority)
 Parish: Easington
 National Grid Reference: SD 72985
 54977
 Details
 SD 75 SW EASINGTON

10/35 Black House Farmhouse - - II

House, early-to-mid C19th. Squared watershot sandstone with stone slate roof. Double-pile plan with end stacks. 2 storeys, 3 bays, with projecting furrowed quoins. Windows and door have plain stone surrounds. Windows sashed with glazing bars. Over the door is an illegible datestone with plain stone surround. Eaves project at gables on shaped purlins. At the rear are sashed windows with plain stone surrounds.
 Listing NGR: SD7298554977

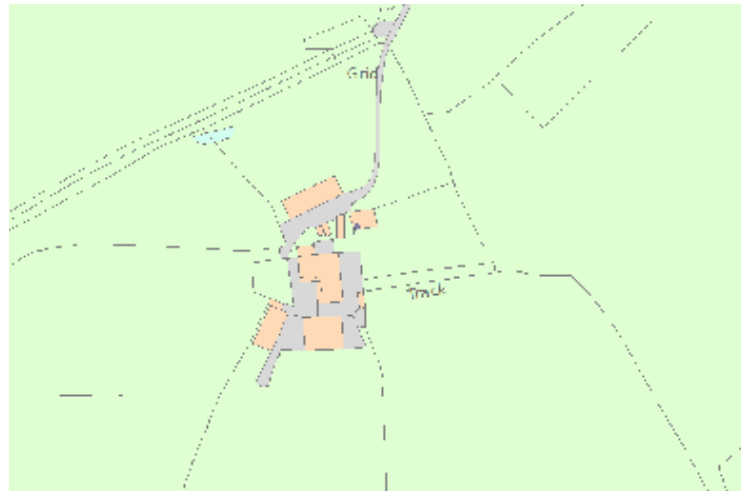


Figure 1: Excerpt from Historic England listing map

1.2. SITE LOCATION AND DESIGNATIONS:

Black House Farm is a grade II listed farmhouse with outbuildings in an isolated position in Easington civil parish, Dale Head and is centred on NGR SD 72985 54977. There are no nearby properties as the farmstead is surrounded by its own land (150 acres), and the nearest settlement is 500m away. The farm is farmed largely as grazing land however the owners have placed significant importance on habitat conservation and landscape and have managed the land with nature in mind. Black House Farm functions therefore as a working farmhouse at the centre of the farm, supported by the various farm buildings.

The farmstead comprises several buildings, both traditional and modern. These include the listed farmhouse, 2 small domestic and agricultural stone outbuildings, a further derelict outbuilding and a modern open-fronted agricultural shed to the North side of the group. A small, detached outbuilding is located to the North-West of the farmhouse and to the South-West, there is a large traditional L-shaped barn. The farmstead is located within the Forest of Bowland AONB.

1.3. DESCRIPTION OF THE PROPOSED DEVELOPMENT:

The proposed development seeks to enlarge the domestic accommodation incorporating the following:

- Conversion of 2 single-storey outbuildings adjacent to the farmhouse to domestic use
- Extensions connecting the outbuildings to the farmhouse
- Internal alterations to Ground Floor of Listed Property to provide a bedroom at Ground Floor level for a dependent relative

Nb. Plans and elevations can be found in the Appendix.

1.4. AIMS OF THE STUDY:

The aims of the study are:

- To assess the known cultural heritage resource within the proposed development area and the wider study area
- To assess the potential effects of the proposed development upon the known and potential cultural heritage resource
- Make recommendations, based upon this assessment, as to any potential requirement for evaluation and/or mitigation and off-setting which may be required.

The design of this scheme has been carefully considered and has involved input from the heritage architect at Rural Solutions Ltd. The design has sought to limit impacts to the setting and significance of the listed building whilst also ensuring appropriate design in terms of massing, materials, and form.

Plans and elevations can be found in Appendix 2.



Figure 2-Aerial View-not to scale

I.5. NATIONAL AND LOCAL PLANNING POLICY & HISTORIC ENGLAND GUIDANCE:

The following policy will be used as a basis from which to analyse the existing designated heritage asset and farmstead and to provide an assessment of the proposed development:

NATIONAL PLANNING POLICY FRAMEWORK:

- **NPPF Paragraph 190:**
‘Local planning authorities should identify and assess the particular significance of any heritage asset that may be affected by a proposal (including by development affecting the setting of a heritage asset) taking account of the available evidence and any necessary expertise. They should take this into account when considering the impact of a proposal on a heritage asset, to avoid or minimise any conflict between the heritage asset’s conservation and any aspect of the proposal’.
- **NPPF Paragraph 193.**
 - ‘When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation (and the more important the asset, the greater the weight should be). This is irrespective of whether any potential harm amounts to substantial harm, total loss or less than substantial harm to its significance’.
- **NPPF Paragraph 196:**
 - ‘Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal including, where appropriate, securing its optimum viable use’

LOCAL PLANNING POLICY:

- **EN5: Heritage Assets:**
There will be a presumption in favour of the conservation and enhancement of the significance of heritage assets and their settings. The Historic Environment and Heritage Assets and their settings will be conserved and enhanced in a manner appropriate to their significance for their heritage value.
- **DM4: Protecting Heritage Assets:** Listed Buildings and other buildings of significant heritage interest: Alterations or Extensions to Listed Buildings or buildings of local heritage interest, or development proposals on sites within their setting which cause harm to the significance of the heritage asset will not be supported.
Any proposals involving the demolition or loss of importance historic fabric from listed buildings will be refused unless it can be demonstrated that exceptional circumstances exist.

HISTORIC ENGLAND GUIDANCE:

- Paragraph 6 of ‘**Managing Significance in Decision-Taking in the Historic Environment: Historic Environment Good Practice Advice in Planning: 2**’ sets out a suggested structured approach to assessment by applicants. This is as follows:
- ‘**Adapting traditional farm buildings**’: sets out a framework for assessment of traditional farm buildings and farmsteads. This document advises how traditional farm buildings can be re-used, altered, and extended in a sensitive manner. This document also advises
 - ‘Re-use and retain minor outbuildings. Minor outbuildings provide important evidence of how a farmstead evolved over time and should be retained if they contribute to the farmstead group.’
- ‘**Historic farmsteads**’
- **Bowland Fringe and Pendle Hill and Bowland Fells national character area 33 and 34**

2. BASELINE:

2.1. SITE VISIT:

A site visit was undertaken in clear and overcast conditions on the 22ND September 2020. A description of the site and those assets which are considered to form a strong component of its overall heritage context are explored in the following sections.

2.2. SETTING:

2.2.1. Wider setting:

Black House Farm is located within the Forest of Bowland AONB which is designated and protected under the 1949 National Parks and Access to Countryside Act. Its protection is further enhanced by the Countryside and Rights of Way Act, 2000 (CRoW2000). Each AONB has been designated for special attention by reason of their high qualities. These include their flora, fauna, historical and cultural associations as well as scenic views. In the case of the Forest of Bowland, the designation can be described by the AONB vision statement:

'The Forest of Bowland landscape retains its sense of local distinctiveness, notably the wide open moorland character of the Bowland Fells, undulating lowland farmland, clough woodlands, traditional buildings and the settlement patterns of its villages, hamlets and farmsteads. It is a landscape valued for the range of services and benefits it provides for society, with a functioning, diverse natural heritage where land management practices allow opportunity for natural processes to develop and flourish; and where partnership-working between land managers, conservation bodies, communities and businesses is focused on delivering more for nature together.'

The site's location is therefore a material factor as the proposals have the potential to have an impact on the wider setting.

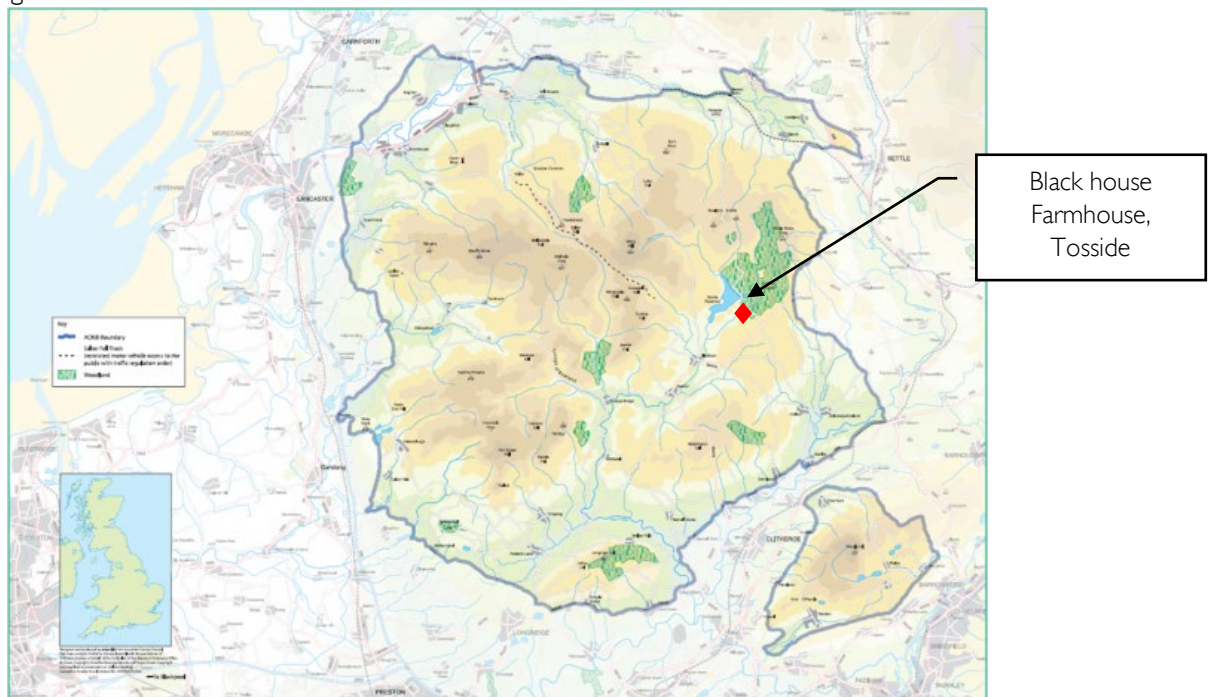


Figure 3-Forest of Bowland map

2.2.2. Immediate setting:

Traditional farmstead form:

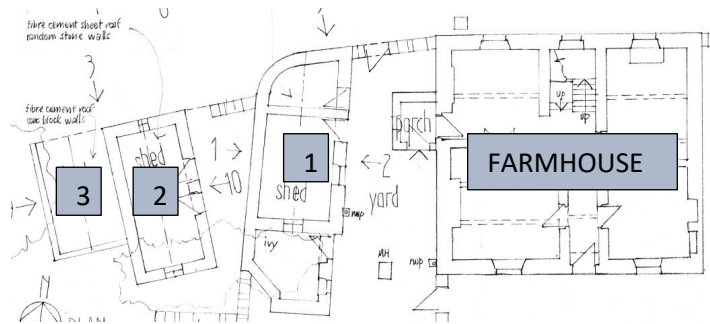
Black House Farmhouse forms part of a traditional historic farmstead. The farmstead forms a linear group of buildings with the farmhouse forming the most important element. The prominence of the house within the group and its use as the primary farm building are relevant factors when considering the setting and layout of the farmstead.

Linear Layout:

The linear layout of this farmstead group is referred to in Historic England's 'National Character Area 33 and 34' which covers the Bowland Fringe, Pendle Hill and Bowland Fells.

This document states:

'Farmstead types as in other upland and upland fringe areas along the Pennines, linear farmsteads with houses and working buildings built in-line have formed the basic type of farmstead. These are locally termed 'laithe houses', laithe being the term used for a barn across the Pennines. These may have been extended into L-plan shapes or form the basic (often primary) component of a farmstead extended into courtyard or dispersed plans., providing reputable evidence of the importance of this type of grouping, particularly in the North and North-West of England'.



KEY:

1: OUTBUILDING 1

2: OUTBUILDING 2

3: MODERN SHED

Linear Layout of house and outbuildings

Modern sheds:

The introduction of the modern agricultural shed close to the North of the group has affected the farmstead and its setting detrimentally and prevents a clear view of the farmhouse and outbuildings from this viewpoint.

2.3. PHOTOGRAPHIC EVIDENCE:



FIGURE 4: NORTH ELEVATION OF FARMHOUSE & SMALL OUTBUILDINGS



FIGURE 5: SMALL STONE OUTBUILDINGS IN THE FOREGROUND



FIGURE 6: COURTYARD ENTRANCE & MODERN AGRICULTURAL SHED



FIGURE 7: DOOR IN STONE BOUNDARY WALL LEADING TO OUTBUILDING & YARD BEHIND



FIGURE 8: VIEW OF YARD BETWEEN FARMHOUSE AND OUTBUILDING 1, MODERN PORCH TO THE RIGHT-HAND SIDE



FIGURE 9: SOUTH ELEVATION OF BLACK HOUSE FARMHOUSE. OUTBUILDINGS ARE BEHIND PLANTING & TREES ON THE LEFT-HAND SIDE



FIGURE 10: VIEW OF EXISTING OPENINGS IN OUTBUILDING 1, SHOWING OVERGROWN IVY



FIGURE 11: VIEW OF OUTBUILDING 2 (PIGSTY)

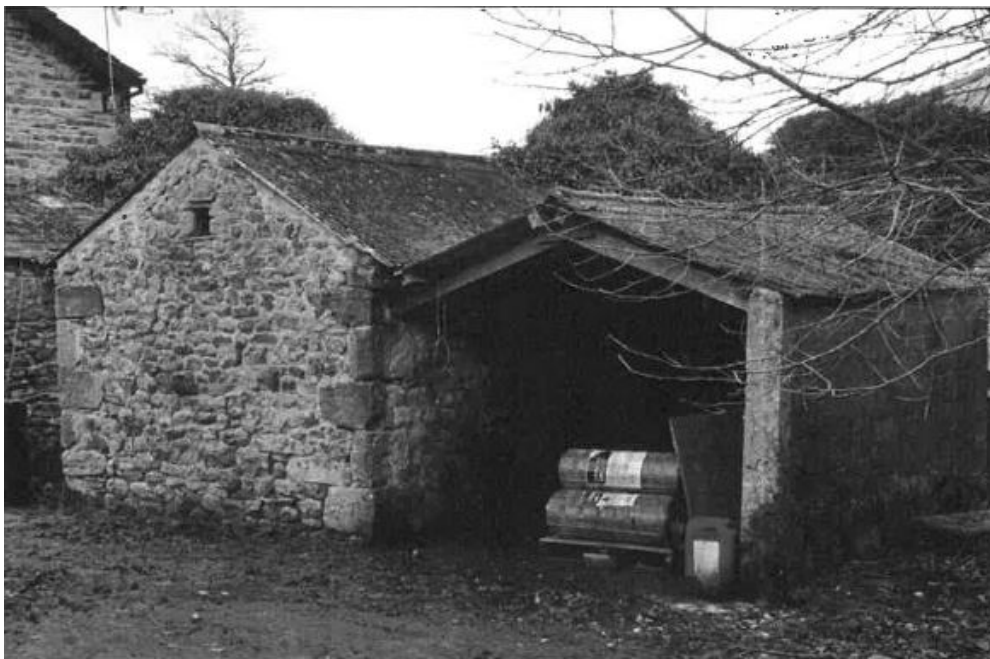


FIGURE 12: NORTH ELEVATION OF OUTBUILDING 2 & MODERN CONCRETE SHED WITH ASBESTOS CEMENT ROOFING



FIGURE 13: VIEW OF OUTBUILDING 1 SHOWING MODERN BRICKWORK & OVERGROWN IVY



FIGURE 14: INSCRIBED STONE OVER HISTORIC DOOR OUTBUILDING 2 (pigsty)



FIGURE 15: VIEW OF TONE LOG STORE



FIGURE 16: REAR OF STONE OUTBUILDING 2 (pigsty)

2.4. HISTORY OF THE SITE:

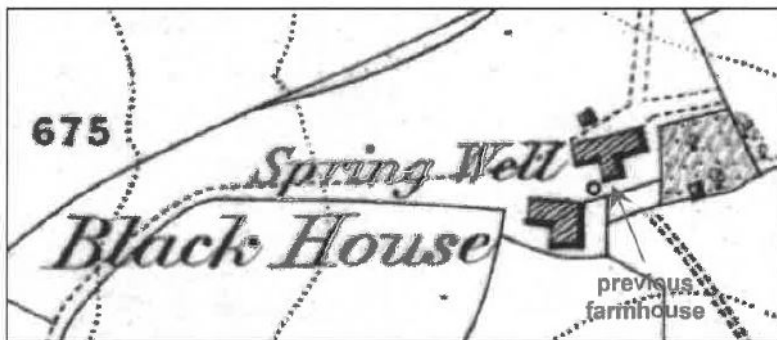
The following section is taken from the Heritage Statement by Stephen Haigh, as prepared previously for the owner of Black House Farm.

Black House Farm formed part of the Hammerton Hall estate in the late medieval period and was referred to as 'Blakhou' in 1538. There is a large collection of deeds relating to the property held at Lancashire Archives, the earliest of which is from 1546. It later became part of the Slaidburn estate, until sold off in the mid-nineteenth century. It forms one of numerous farmsteads in the upper Hodder Valley district, where dispersed rural settlement has predominated throughout the post-medieval period.

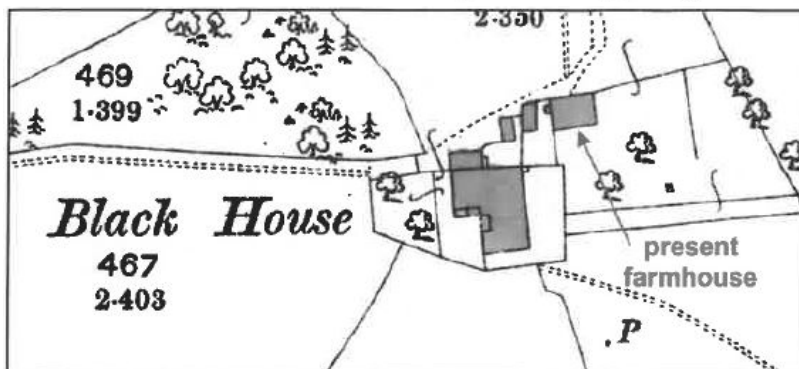
The present farmhouse at Black House Farm is, as the listed building entry suggests, of mid nineteenth century date, with the now legible date-stone reading 1849, and bearing the initials GW. The house is believed to have then completely replaced an earlier one, apparently with a T-shaped plan, according to the first edition 1: 10560 Ordnance Survey map, surveyed in 1847 (below). The origins and details of that earlier house remain unknown. The distinctive, large L-shaped barn to the south-west of the house is likely to be slightly earlier than the present house, perhaps early nineteenth century, as it was extant by 1847.

2.5. CARTOGRAPHIC SOURCES:

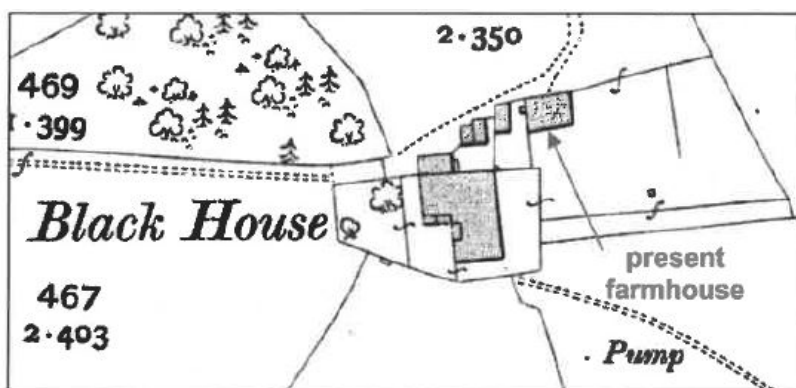
The earliest cartographic evidence of these properties is shown on the OS map of 1842, published in



Ordnance Survey 1:10560 map, surveyed 1847⁴



Ordnance Survey 1:2500 map, surveyed 1892-3⁵



Ordnance Survey 1:2500 map, revised 1907⁶

2.6. DESCRIPTION OF THE BUILDINGS:

Farmhouse

The farmhouse is set within the north-east part of the historic farmstead, and at the north-west corner of what is now its garden. This enclosure has dry-stone walls to most of the boundaries. Very close to the west of the house is a small group of single storey, stone-built domestic and agricultural outbuildings, perhaps including wash-house and dairy originally, which are contemporaneous with, or post-date the house.

The farmhouse's external appearance and plan form display many aspects very typical of the centrally planned, double pile farmhouses built throughout much of England in great numbers from about the mid-eighteenth century, at this level of society. Its almost square plan and nearly symmetrical frontage are characteristic of such houses. The front openings are large and essentially classical in proportion and are matched by similar but smaller windows to the rear, where the stair window is a fundamental indicator of the internal arrangements. The mid-nineteenth century origins are apparent from the cyma-moulded stone eaves brackets to the front elevation, and similar purlin ends to the gables, but there is relatively little ornamentation otherwise. A small, mid-twentieth century porch with mass concrete roof adjoins the west elevation. Internally, the boiler under the stairs is a possible fire risk to the property and its location is not suitable for a listed domestic property. The kitchen is in poor condition evidenced by the built-up layers of different modern decorated finishes and the dilapidated kitchen units. Furthermore, the property has need of some repairs and maintenance indicated in Appendix C.

Outbuildings

A narrow, concreted yard separates the farmhouse from the existing single storey outbuilding to the west, with a wall and doorway linking the two, in line with the rear of the farmhouse. The outbuilding is built from rubble with squared sandstone quoins, blue slate roof, and tile ridge. It has two entrances facing the farmhouse: the north room may have been a dairy and the south room appears to have been a washhouse, as a flue-pipe survives in its south-west corner. Attached to the south end is a poorly built twentieth-century lean-to, with rubble walls and asbestos-cement roof.

Another small outbuilding stands to the west of the domestic range, and may have been a pigsty, built in the second half of the nineteenth century, but now redundant and disused. It too is built from sandstone rubble, but the roof covering has been replaced with asbestos-cement sheeting. There is a pair of doorways in the east side, one of them with a re-used chamfered lintel, bearing the initials: "RS ES RS", together with the date of 1711. The initials are those of the Shaw family: Richard Shaw let the property to his son Richard in that year, and the stone itself is likely to have come from the farmhouse demolished in about 1849, to make way for the current dwelling. In other aspects, this outbuilding is not of particular interest; it has a small, concreted yard on its east side. A lean-to garage of concrete block walls has been added on its west side, open to the north, which diminishes its aesthetic value.

Another detached outbuilding stands about 8m to the north of the pigsty. It comprises a crudely built, open-fronted shed, likely to date from the second half of the twentieth century (not shown on the 1909 OS map). It consists of two mortared rubble walls projecting from the dry-stone boundary of the adjacent wood, the three of which together support a low, single-pitch roof of asbestos cement sheets.

3. STATEMENT OF SIGNIFICANCE:

Significance can be defined using several criteria derived from varied sources, all of which can contribute useful factors to the process. For the purposes of this assessment, discussion has been grouped under the heading of the four 'interests' identified within *NPPF* (MHCLG 2019).

Archaeological Interest

- Farmhouse: There may be archaeological evidence of the earlier farmhouse at the rear of the current farmhouse where the T-shaped form of the earlier house extended Southwards into the South-facing garden. The quoins in the farmhouse walls constitute minor archaeological interest as they may have come from the earlier house.
- Outbuildings: The range of outbuildings are mainly from the C19th and are unlikely to hold any archaeological interest. The re-use of the date stone from the earlier house above a door in outbuilding 2 provides minor archaeological interest.

Historic Interest

- Farmhouse: Black House farmhouse is a designated heritage asset (Grade II) and as such, it represents the principal significance. The building is representative of a mid-C19th farmhouse in this region and is built from the materials typical of this area. The layout of the building and its elevated expression are original and have not been altered, supporting the historical interest of the asset. The modern porch to the West side of the building has a negative impact on the West side of the building and may also be allowing damp penetration due to its poor construction and flat, concrete roof.
- Outbuildings: the range of outbuildings are within the listed building's curtilage and so are subject to the listing legislation. The buildings are not from the earlier period of the original house but date from the C19th and are not of special individual importance. As a group, they form part of the linear layout of the farmstead. Their importance, therefore, does not relate to their individual existence but to their collective grouping representing a historic farmstead from the mid C19th and therefore, they hold minor historic interest. The 1711 date stone in outbuilding 2 is the only particular historic feature of note as it presents evidence of the earlier house on the site.

Architectural and Artistic Interest

- Farmhouse: The architectural interest is evidenced in the external appearance and double pile plan form of the building which was typical of the farmhouses of the mid C19th. Architectural interest is also derived from the surviving stone-built fabric and features such as the windows, doors, quoins, slate roofing, and a date stone, all of which contribute to the value of the facades. It is also worth noting here that there are elements noted that actively detract from the significance of the building such as the modern porch and internally, the dilapidated kitchen.
- Outbuildings: Outbuilding 1 has minor architectural interest in the squared sandstone quoins to the existing openings. Outbuilding 2 has some minor architectural interest in the re-use of the historic date stone lintel. Their primary architectural interest emanates from their role as part of a farmstead grouping however, this has been detrimentally affected by alterations to their fabric such as brickwork and corrugated asbestos sheet roofing to the South elevation of Outbuilding 1 and the concrete shed on the side of Outbuilding 2.

Contribution of Setting

Immediate setting: The farmhouse and outbuildings form a linear farmstead group and within the immediate setting, they contribute collectively to provide a good example of a historic farmstead. However, the condition of the outbuildings is very poor and alterations have been made to them that are detrimental to their value and to the setting of the Listed building. The modern agricultural building that has been built opposite the farmstead is detrimental to its setting.

Wider setting: The property holds some historic association with the wider setting of the Forest of Bowland AONB and this is derived from its history as a typical remote farmstead of the C19th. Its spatial association with the AONB is reduced significantly by the large agricultural buildings that surround the farmstead on three sides and is therefore well screened from the wider setting of the AONB.

4. ASSESSMENT

4.1. DESIGN PROPOSAL:

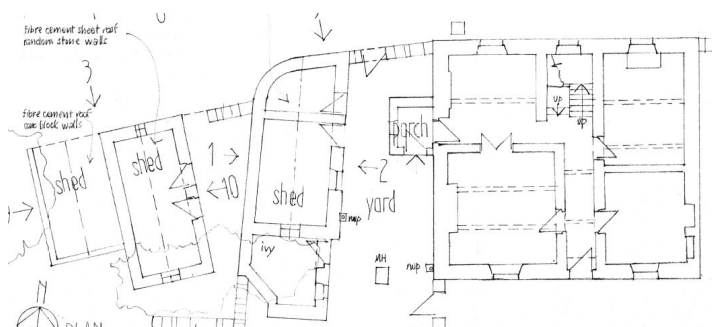
The design involves the conversion and alteration of the following spaces and includes upgraded elements:

- Conversion of outbuilding 1 to a dining room, pantry and cloakroom
- Conversion of outbuilding 2 to a utility and wc
- A link between Outbuilding 1 and the farmhouse to house a kitchen and re-use of the existing doorway from the North entrance yard.
- A link between Outbuilding 1 and 2 to connect the converted spaces and form a draught lobby.
- Re-construction of the modern concrete outbuilding to provide storage for game.
- Re-construction of the brick and corrugated asbestos lean-to (south end of Outbuilding 1) with matching stonework and slate roof
- Farmhouse kitchen: Removal of dilapidated kitchen units, redecoration with appropriate breathable heritage paints, refurbishment of the kitchen window to provide a Ground Floor bedroom.
- Re-positioned boiler- to prevent fire risk within the Listed property
- Repairs to the listed property

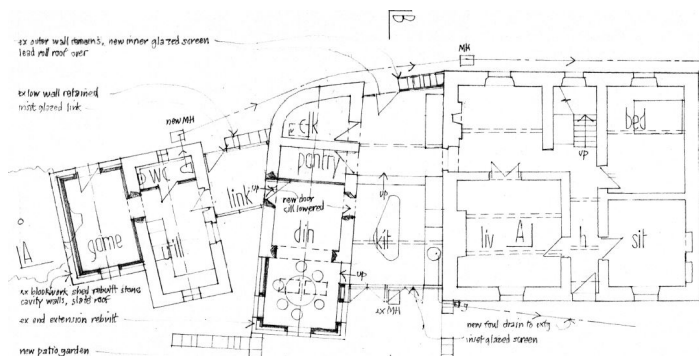
4.2. ANALYSIS OF PHYSICAL IMPACTS AND ASSESSMENT OF HARM/ENHANCEMENT:

4.2.1. The farmstead:

The proposal to convert the outbuildings to residential use provides a permanent use for these buildings and prevents them from further decay and eventual collapse. As part of the farmstead, they form an integral part of the understanding of the whole group and impact on the Listed Building and the setting of the Listed Building. The new links between the outbuildings and the farmhouse constitute a modern intervention but have been designed to have a minimal impact on the fabric of the listed building but also on the comprehension of the whole group. This is evidenced by the low roof forms of the links and the recessed position of them in relation to the primary elevations of the listed building and the overall wall lines of the existing outbuildings. It is of note that none of the proposed new link areas project forward from an existing elevation and as such do not extend the existing farmstead group outwards.



AS EXISTING FLOOR PLAN

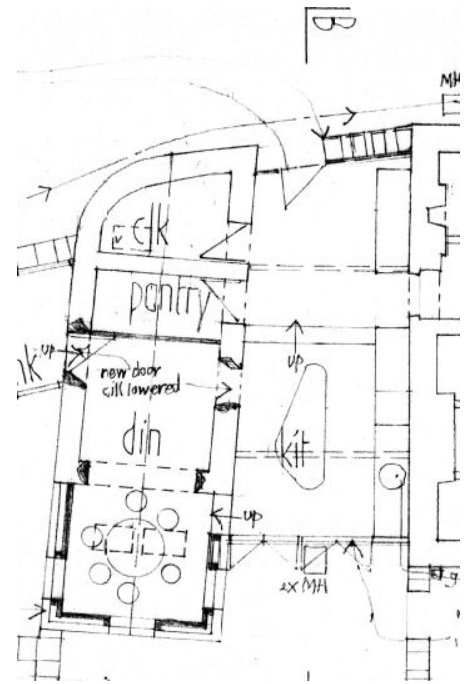


AS PROPOSED FLOOR PLAN

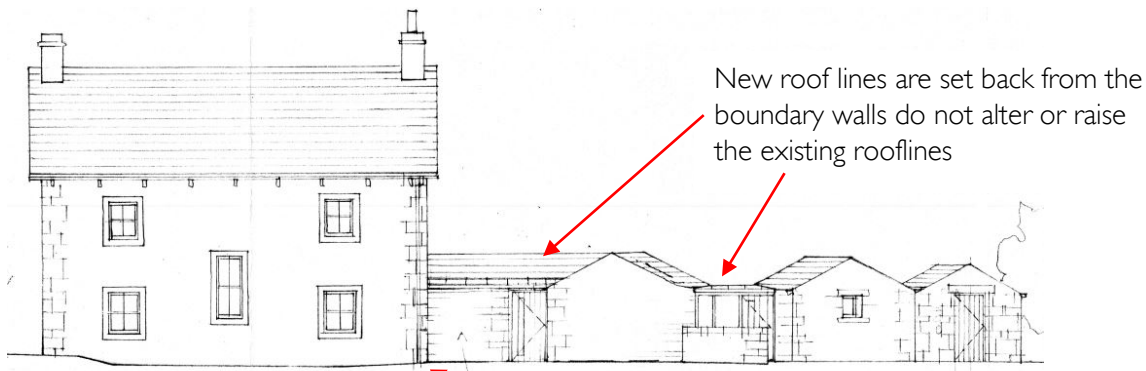
As shown in the floor plans above, the footprint of the proposal does not project forward of primary elevations of the Listed property and retains specific heritage features and forms such as existing openings.

4.2.2. Outbuilding I and yard between farmhouse and outbuilding:

- Insertion of a single-storey, glazed link allows for a practical connection between the farmhouse and the outbuilding whilst providing them with a permanent use.
- Roof over is diminutive to the outbuildings and the farmhouse and allows their roof forms to be the dominant feature.
- The glazing in the roof of the link at the South end, combined with the wall-to-wall vertical glazed doors, ensures maximum visibility of the existing outbuilding and therefore does not obscure or confuse the history and elevation value of the original building.
- Move cill of window opening to ground floor level to form a door from the link to the outbuilding
- Insertion of new door opening (to match existing door openings) from the outbuilding to the link
- Re-build brick lean-to on the South end with matching stonework and replace corrugated asbestos roofing with matching slate roof.
- Retain existing stone boundary wall and doorway on the North side as a feature of the original farmstead layout.
- Recess the new link so that it allows the existing stone quoins of the farmhouse to be untouched and left externally expressed.
- Form new opening in gable end of outbuilding to connect into re-built lean-to area.
- Carry out a comprehensive scheme of repairs to prevent further decay and collapse.
- Retain important features such as existing openings and materials
- Retain the overall form of the building without impacting the 'dominance' of the listed farmhouse and without confusing the overall layout of the group.



Conclusion: Less than substantial harm is caused by new openings and one altered window opening in outbuilding, balanced by sensitive design for re-use of the building and repairs that are necessary to prevent further decay and to maintain the farmstead group for the future. Diminutive and largely transparent glazed link is sensitive to the defining features and forms of the existing buildings, in particular the listed building.



Proposed North Elevation

Existing boundary wall and door maintained and used as entrance to link. roof behind is set back

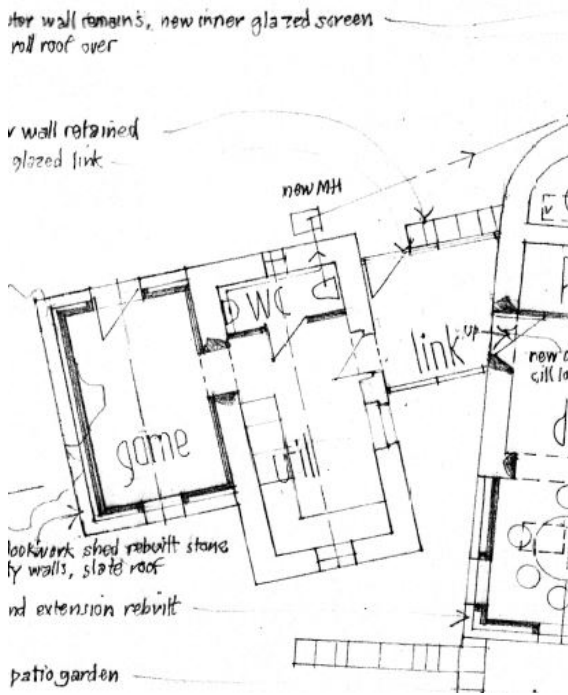


Existing North Elevation

Existing stone boundary wall forms visual barrier to East elevation of outbuilding and yard behind.

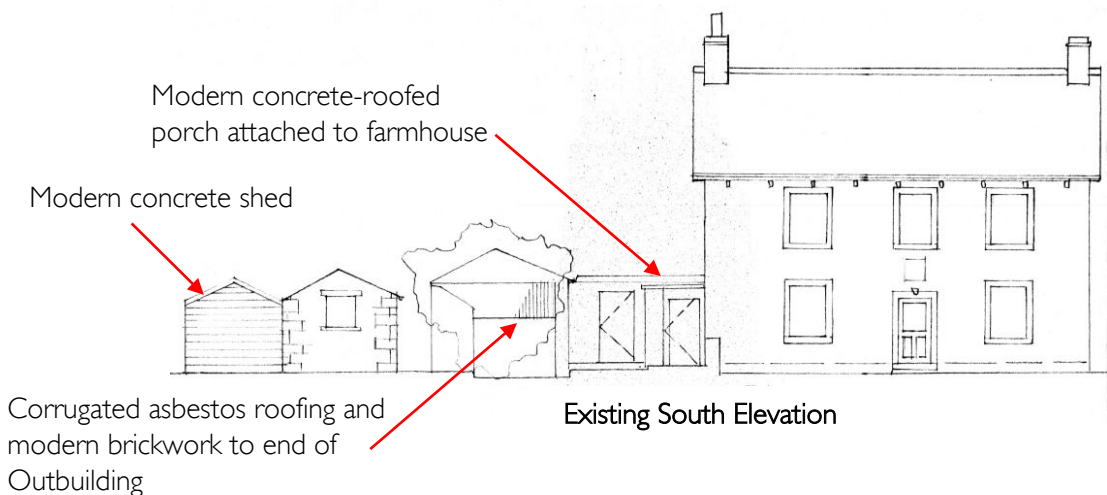
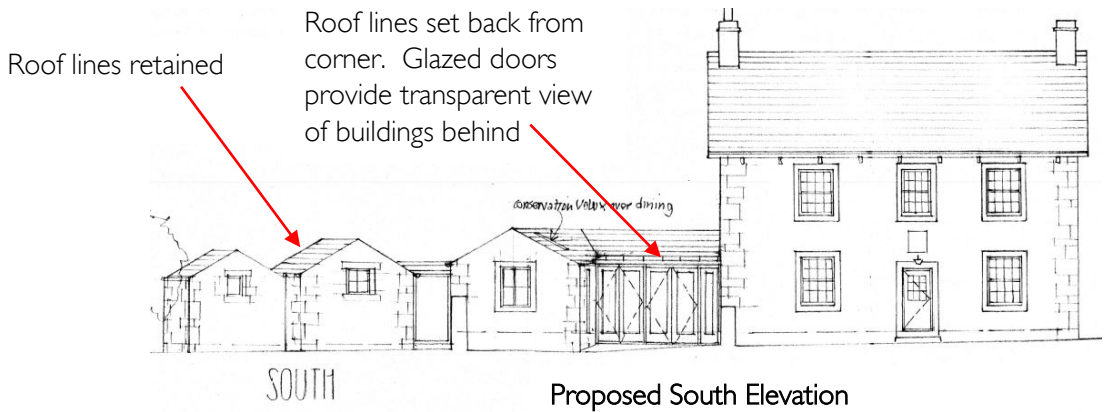
Detrimental concrete modern shed

4.2.3. Outbuilding 2, glazed link and game store:

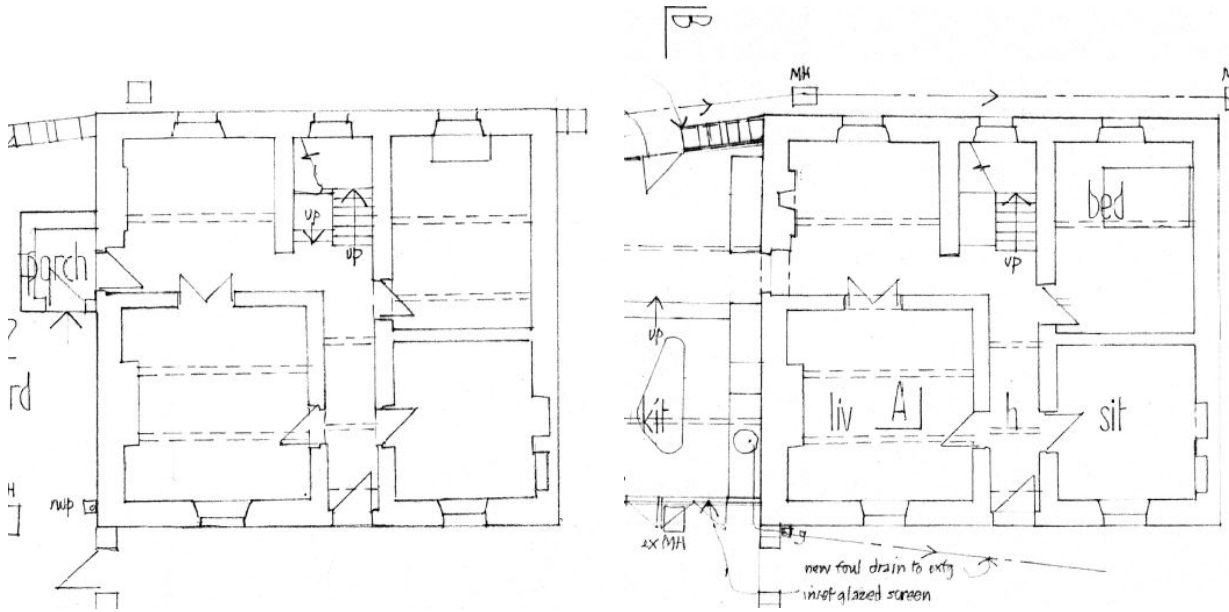


- Existing door opening with inscribed historic lintel above is unaltered and forms a useful connection into the outbuilding. This use is now made permanent and therefore constitutes an enhancement that retains the original features.
- Existing window openings retained.
- Form of building retained.
- Glazed link is diminutive with a lead roll roof (flat) to allow existing pitched roof forms to remain as distinct forms
- Re-construction of store is on the footprint of the existing modern concrete shed and retains overall traditional form of pitched roof and simple shape.
- Re-construction of store provides an enhancement over the existing store by use of traditional matching materials such as stone and slate which are in keeping with the existing buildings.
- The utility and wc give the outbuilding a permanent use that is important for the continued use of the listed farmhouse and the farmstead group.

Conclusion: Less than substantial harm due to one new opening, balanced by sensitive design for re-use of the building and repairs that are necessary to prevent further decay and to maintain the farmstead group for the future. Diminutive scale of glazed link is sensitive to the defining features and forms of the existing buildings. Retention of existing stone boundary walls maintains the historic continuity of the boundaries and setting. Replacement of the modern concrete shed with a stone-built structure has a neutral impact despite being a new building as design is sensitive and replaces a detrimental structure on the side of outbuilding 2.



4.2.4. Alterations to farmhouse:



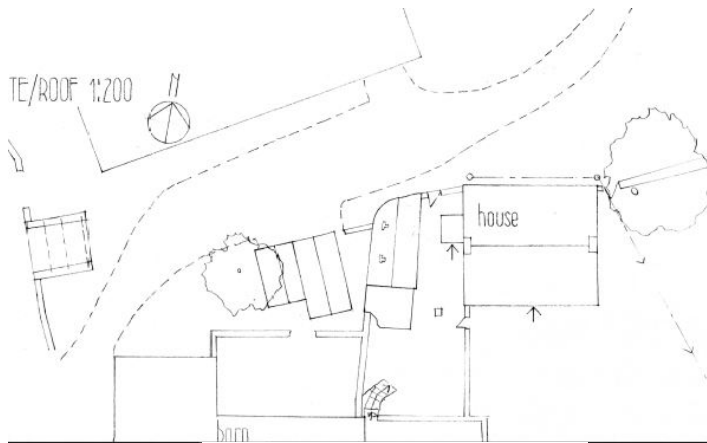
Existing Ground Floor Plan

Proposed Ground Floor Plan

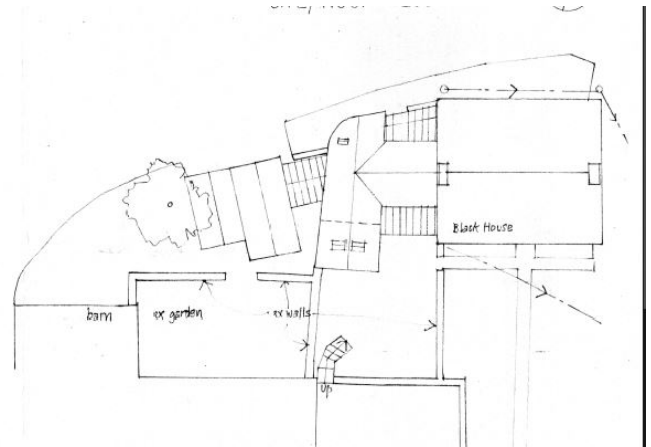
- The existing form, and fine architectural details of the farmhouse have been retained in their entirety.
- The modern porch to the West gable is to be removed.
- A single-storey glazed link is to form a connection between the farmhouse and outbuildings. This does not project forward of the two principal elevations (North and South) and therefore does not compete with or confuse the hierarchy of the farm buildings.
- The link is largely glazed, particularly to the South Elevation, and thus allows the existing buildings including the outbuilding to be seen and appreciated. The internal stonework and other features of the farmhouse and outbuildings such as doors, windows, quoins, will all be retained and unaffected.
- The existing kitchen inside the farmhouse will be refurbished, removing modern wallpapers and dilapidated kitchen fittings, and refurbishing the north-facing sash window to full working order.
- A comprehensive scheme of repair will be carried out.
- The boundary walls and doors that help define the immediate setting of the farmstead are remaining. The boundary wall and door from the North yard will become an entrance to the kitchen and thereby repairs to this wall and door will be carried out.
-

Conclusion: Less than substantial harm is caused by the additional of a glazed link attached to the Western gable of the farmhouse. This is balanced by the benefits of saving the outbuildings for the future and thereby retaining the farmstead group. In addition, the removal of the modern porch, the benefits of the internal works to the kitchen and the repairs proposed to the farmhouse also provide further minor benefits.

4.2.5. Setting impacts:



Existing Site Plan



Proposed Site Plan

- The proposal is sensitive to the overall arrangement of the farmstead group, retaining the original form and scale of the buildings.
- The proposed development respects the principal elevations and building lines of the existing proposal.
- The new roofs over the glazed links are sensitively designed to be diminutive in scale but also positioned such that they do not impact on important heritage features.
- There is 'less than substantial harm' to the gable of the listed building caused by the new roof and glazed link however the primary features and overall form of the listed building and its setting have not been impacted.
- The proposed link is set back from the principal elevation and is largely transparent on the South elevation, thus allowing the existing buildings to remain the dominant feature of the site.
- The overall form of the outbuildings has been respected and enhanced further by removal of unsightly elements such as the modern porch and replacement of the concrete shed.
- The garden walls and boundary features are all retained and given purpose thus maintaining the need for these elements.
- The setting will be improved from the South side due to the replacement of the brick-built and corrugated metal roof lean-to with a stone-built structure that is in keeping with the outbuilding nearest the listed building.

Conclusion: Less than substantial harm is caused by the proposals to the setting of the listed building and this is balanced by the benefits of saving the outbuildings for the future and thereby retaining the farmstead group. The proposals are sensitive to the overall arrangement of the group and where there are extensions, these have been sensitively designed to retain the original form of the existing buildings and allow for their comprehension.

5. SUGGESTIONS FOR MITIGATION:

MITIGATION 1:

The foundations for the extension will be shallow foundations (raft design) so as to avoid the need to dig deep into the ground. An engineer can provide a detail for this.

MITIGATION 2:

The barns will be 'recorded' so that their historical significance and features will be reported.

MITIGATION 3:

All excavations will be covered by an archaeological watching brief.

MITIGATION 4:

The existing corrugated metal roofing will be replaced by a natural, reclaimed slate roof to match existing slate roofs on the site.

MITIGATION 6:

Excavations for drainage could be kept to a minimum by using the existing drainage trenches where possible and to cover this by an archaeological watching brief.

MITIGATION 7:

Carry out a comprehensive list of repairs to the listed property as mentioned in appendix 2. Repairs to be sensitively carried out in a manner advised by Historic England and SPAB (Society for the Protection of Ancient Buildings)

6. CONCLUSION:

Overall, the proposed development is considered to cause 'less than substantial' harm on the significance of the designated heritage asset and its setting. The benefits of the proposed development are considered to be significant and comply with Local and National Policy and concur with relevant guidance from Historic England. The minor harm caused to the asset could be lessened by the mitigation measures suggested in this report and by the significant benefits inherent in the proposals. This would reduce the harm to an overall neutral impact on the farmstead.

As such, contributes to one of the three objectives of 'sustainable development' defined in the NPPF (MHCLG 2019,5-). The development seeks to adapt the houses in a mode sympathetic with their surroundings, to maintain it in a viable use consistent with its original use and long-term conservation (MHCLG 2019, 54-), thereby ensuring its continued contribution to quality of place. It is also considered to be appropriate in terms of sympathetic design and the use of traditional materials.

APPENDIX I:
DRAWINGS

APPENDIX 2:

PROPOSED REPAIR & MAINTENANCE SCHEDULE

BLACK HOUSE FARM

Repair and Maintenance Schedule:

1. TO LISTED PROPERTY: SEE PHOTOGRAPHIC RECORD AND LIST BELOW.

- ❖ Repair and replace missing or broken roof tiles
- ❖ Check leadwork throughout and repair where necessary, ensuring work is carried out with matching lead ie Code 4 or 5 lead
- ❖ Replace any cementitious mortar joints with appropriate lime mortar
- ❖ Refurbish any timber sliding sash windows and frames where necessary and re-decorate
- ❖ Re-site boiler to more suitable location to remove risk of fire under stairwell
- ❖ Check gutters and downpipes and where existing is Upvc, replace with matching cast iron gutters as per the original section.
- ❖ Repair any drystone walls that form the boundary of the garden and yard
- ❖ Repair any sandstone flags externally that form part of the immediate setting of the listed property

2. TO THE BARN: SEE PHOTOGRAPHIC RECORD BELOW.

Breezeblock structure and asbestos roof. Not fit for use.

Replacing with a building safer and more in keeping.



Small, dilapidated, stone building “1711” overgrown with ivy, asbestos roof and crumbling pointing. Not fit for use.

Building brought back in to use whilst maintaining original stone features.



External wall between long set of outbuildings and "1711" collapsing.

Wall rebuilt using existing materials.



Long set of buildings to the immediate west of main house. Tiles missing and leaking, ivy overgrown, pointing missing, collapsing architraves and rotten windows & doors. Currently

used for storage but not fit for purpose. The end section of this building is partly red brick with an asbestos roof and collapsing.

Building to be brought in to use. Pointed and reroofed. Existing windows and doors to be restored or replaced whilst trying to maintain any original features and stonework.



Concrete slabs between the house and long buildings breaking up.

This will become part of the internal structure, linking the house, and enabling the smaller buildings to become of use.

Porch (circa 1970s) flat, leaking, concrete roof.

Removed



Walls to the south elevation collapsing.

Walls restored.



Sliding sash windows to the main house rotting.

Windows restored and or replaced, like for like, using original glass.



Current temporary kitchen in the main house has crumbling lime and cement plaster walls. Exposed pipes, soil stack and electrics.

Room renovated to current standards and all walls lime plastered.



Oil boiler under internal stairs. Location not compliant with current building regulations.

Boiler moved to safer location.



Collapsing and hazardous cesspit in the south garden area.

Drains diverted to a new sewage unit designed to comply with current water regulations.



Generally

We are looking at improving how we store oil, waste, and improving supply, such as electricity and water.

We continue to rebuild all drystone walls and replace old fencing. After living here for 6 years we have rebuilt hundreds of meters of stone walling and fencing. In addition, we have planted circa 18,000 trees and shrubs, with a further 2,400 to go in this year. A further three wildlife ponds have also been created on the land.