



# PROPOSED RESIDENTIAL DEVELOPMENT

LAND OFF HIGHER ROAD, LONGRIDGE

## DESIGN JUSTIFICATION STATEMENT

Ref: 20126\_DJS\_01

Date: MAY 2021



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**“TO SUPPORT THE  
GOVERNMENTS OBJECTIVE  
OF SIGNIFICANTLY BOOSTING  
THE SUPPLY OF HOMES,  
IT IS IMPORTANT THAT A  
SUFFICIENT AMOUNT AND  
VARIETY OF LAND CAN COME  
FORWARD WHERE IT IS  
NEEDED, THAT THE NEEDS  
OF GROUPS WITH SPECIFIC  
HOUSING REQUIREMENTS ARE  
ADDRESSED”**

**‘PARA 59, NPPF 2019’**





# INTRODUCTION

# 1 INTRODUCTION

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## The Document

This Design Justification Statement (DJS) has been prepared by MPSL Planning and Design Limited, on behalf of Stanley Investments and Onward Homes Ltd ('the applicants') in support of the Reserved Matters Application submitted to Ribble Valley Borough Council (RVBC).

The document is structured in accordance with the Town and Country Planning (Development Management Procedure) (England) (Amendment) Order 2015 and the National Planning Practice Guidance.

It explains how the proposals have been resolved through an understanding of local setting, access, scale, massing, and the relationship with its surroundings, along with existing site features, and principles established as part of the Outline planning permission.

The development comprises a parcel of Land positioned to the rear of properties off Higher Road, known as the ('Site'), edged red on the 'Site Location Plan' (**Figure 1**).

## Planning History

The application is submitted pursuant to the Outline Planning Approval of 22nd May 2018 (Appeal Ref: APP/T2350/W/17/3186969).

## Planning Policy

The proposals have been informed by the adopted policies contained within the Core Strategy (2014) and Local Development Framework (LDF), along with the Longridge Neighbourhood Plan (2018).

## The Application

Pursuant to the Outline Permission, this comprehensive Reserved Matters application seeks approval to the layout, scale, appearance and landscaping of up to 123 new dwellings, open space and an informal Play Space.

This is in accordance with Condition 1 attached to the outline planning permission, which states:

*'No part of the development hereby permitted shall be commenced on any phase (as referred to in Condition 3) until full details of the layout, scale and appearance of the buildings and landscaping within that phase (hereinafter called 'the reserved matters') have been submitted to and approved in writing by the local planning authority'.*



# 1 INTRODUCTION

## 1.2 Site Location

The adjacent plan (**Figure 1**) highlights with a red edge, the area to which this application relates, forming the reserved matters application red edge/site boundary.

The site equates to 15.92 acres (6.5 Ha) of land, positioned to the southern side of Higher Road, to the rear of houses and bungalows fronting it.

At present the site comprises open fields with a number of hedgerows and trees to the outer fringes.

The site itself is bound to the north / west by the rear gardens of properties fronting Higher Road and Dilworth Lane respectively, to the east by Tan Yard Lane and open fields beyond, to the south by residential development which is currently under construction, approved under application reference (3/2015/0688).

The site is positioned in a highly sustainable location, to the eastern edge of Longridge town centre, with ease of access to a number of local amenities and facilities.

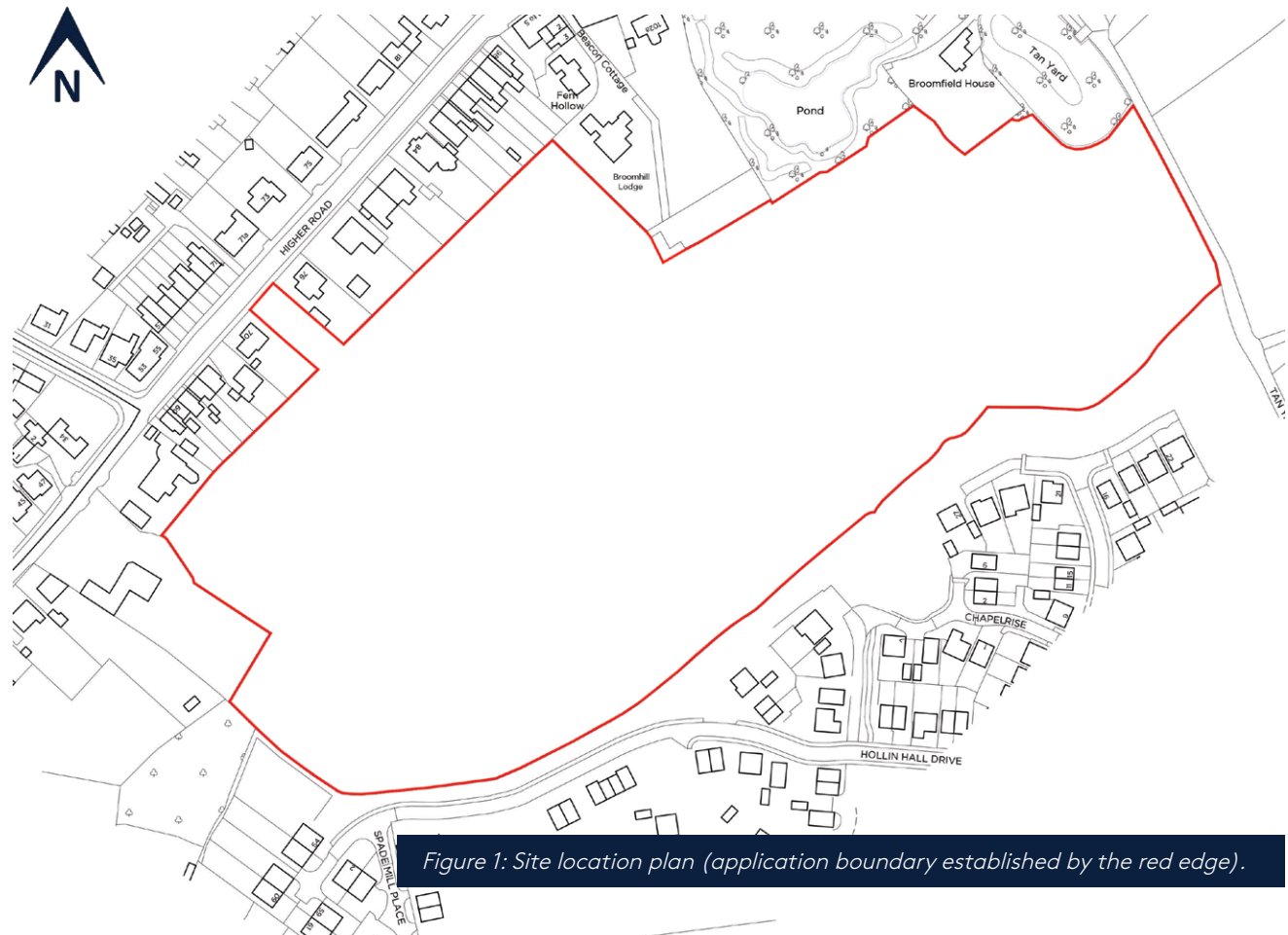


Figure 1: Site location plan (application boundary established by the red edge).

### KEY

Denotes application site boundary.



## THE SITE



## 2 THE SITE

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### 2.1 Site Constraints & Opportunities

As part of the site analysis, a review of the 'Site Context' prepared as part of the Outline application was undertaken. This established key parameters and principles which informed the proposed layout design.

#### Summary of Constraints

- a) The site slopes from the north to the south, steeping through the central area, at circa 150m - 123m AOD.
- b) Existing residential amenity to the northern/ western boundaries.
- c) Consideration should be given to the current residential development, and built form, to the south, off Dilworth Lane.

#### Summary of Opportunities

- a) Opportunity to create a distinctive sense of place, which maximises views to the west.
- b) Opportunity to create green networks which connect with existing infrastructure, enhancing on site biodiversity value.
- c) Potential to create pedestrian and cycle routes, which link with existing infrastructure.

## 2 THE SITE

### 2.2 Review of the local Built Environment

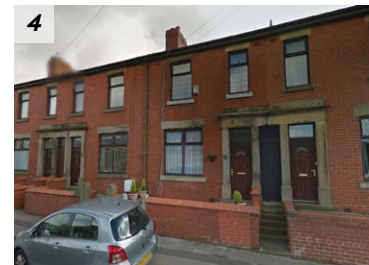
In accordance with 'Chapter 12' of the National Planning Policy Framework (February 2019), the proposals should seek to respond to local character and the surrounding built environment. As such, a review of local built character played an important role during the design and development of the site, ensuring that the proposals complement the existing character of Longridge.

A variety of architectural styles of varying ages are present within the local vicinity, establishing that no one architectural style prevails. A sample of local architecture is illustrated adjacent (Photo's 1 - 9). Properties to the north/south comprise a mixture of red brick, stone and artstone, and white render facings, with primarily grey roof tiles in a variety of styles. Older properties to the northern side of Higher Road feature stone facings, with deep window apertures and stone detailing.

Housing settlements to the north, south and west are characterised by a mix of terraced, semi-detached and detached property typology.



Higher Road - Detached Property



Higher Road - Terraced Properties



Higher Road - Detached Bungalow



Higher Road - Detached Property



Higher Road - Terraced Properties



Higher Road - Semi-Det Properties



Dilworth Lane - Detached Property



Dilworth Lane - Semi-Det Properties



Dilworth Lane - Semi-Det Properties

## 2 THE SITE

---

### 2.3 Planning Policy

#### National Planning Policy Framework

The revised National Planning Policy Framework (“NPPF”) was adopted in February 2019 and sets out the Government’s planning policies for England. The NPPF recognises that good quality design is an integral part of sustainable development. At chapter 12, the NPPF outlines a series of statements which seek to ensure development proposals achieve high quality design.

Specifically, it emphasises that ***“good design is a key aspect of sustainable development, creates better places in which to live and work and helps make development acceptable to communities”***

(Paragraph 124).

Proposals should demonstrate how development will function well and add to the overall quality of the area over the lifetime of the development; be visually attractive; responds sympathetically to local character and landscape setting; establishes a strong sense of place; optimise the potential to accommodate an appropriate amount and mix of development; and create places that are safe, inclusive and accessible and which promote health and well-being.

(Paragraph 127).

The NPPF requires design quality to be considered throughout the evolution and assessment of development proposals, and encourages early discussion between applicants and local planning authorities in relation to the design and style of emerging schemes (Paragraph 128).

#### Ribble Valley Borough Council

The current saved policies for Ribble Valley Borough Council comprises the Core Strategy (2014) and Local Development Framework (LDF), along with the Longridge Neighbourhood Plan (2018).

#### Planning Practice Guidance

Further detail is provided through the National Planning Practice Guidance (PPG) for Design, offering further guidance on the NPPF.

This Design Justification Statement has been prepared in accordance with the latest PPG, which encourages the use of constraints and opportunities, and briefs as an appropriate tool for setting out the strategy of new development, including general layout and scale.



# DESIGN PRINCIPLES



# 3 DESIGN PRINCIPLES

## 3.1 Amount

The development seeks approval for the construction of 123no. residential dwellings (class C3), in accordance with condition 5 of the Outline planning permission.

The development will provide a variety of property tenures, which include, open market sales (22no. units), shared ownership (59no. units), and affordable rent (42no. units).

All properties across the site will be constructed in a consist style, creating a seamless and coherent development which does not differentiate between tenures.

The overall mix has been carefully thought through with the client, ensuring that a sustainable well-balanced neighbourhood is created, which offers a mix of smaller starter homes and larger family homes.

The schedule shown adjacent (**Figure 2**) details the schedule of accommodation proposed as part of this application.

Refer to the suite of planning drawings which accompany the application for further details.

ACCOMMODATION SCHEDULE			
OPEN SALE	House Type	Description	No.
	Type B	4 Bed Detached	10
	Type J	4 Bed Semi	2
	Type K	4 Bed Detached	3
SHARED OWNERSHIP	Type L	4 Bed Detached	7
	Type A	3 Bed Semi	5
	Type D	3 Bed Mews	20
	Type E	3 Bed Detached	5
	Type F	3Bed Semi	5
	Type G	3Bed Semi	1
	Type H1/2	3 Bed End Semi	11
	Type J	3 Bed Mews	12
RENT	Type A	2 Bed End Semi	16
	Type C	2 Bed Mews	26
		TOTAL	123

Figure 2: Schedule of accommodation.

# 3 DESIGN PRINCIPLES

## 3.2 Proposed Layout

The proposed layout follows principles established as part of the Outline planning application and approved Masterplan, creating a logical extension to the urban settlement boundary, and a development which provides an appropriate density for its locality.

It is considered that the scheme will create a well-balanced residential community, which will deliver high quality starter and family homes, in accordance with the approved Masterplan, along with design requirements of the adopted National Planning Policy Framework and Local Planning Policy.

The layout demonstrates good urban design practice, reflects local context, delivers good standards of amenity and offers permeable pedestrian / cycle connections which will encourage sustainable and active movement.

To conclude, the development proposals are in broad accordance with the approved 'Masterplan' and brings to life the development vision/aspirations for the development of this site.

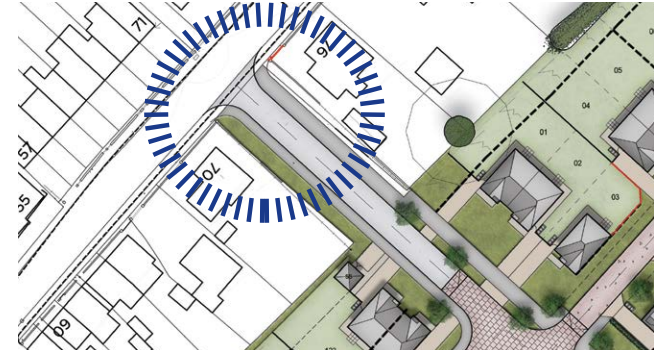


# 3 DESIGN PRINCIPLES

## 3.2.1 Proposed Layout

The following design features are annotated with key characteristics which are a result of the contextual analysis, design review and design evolution.

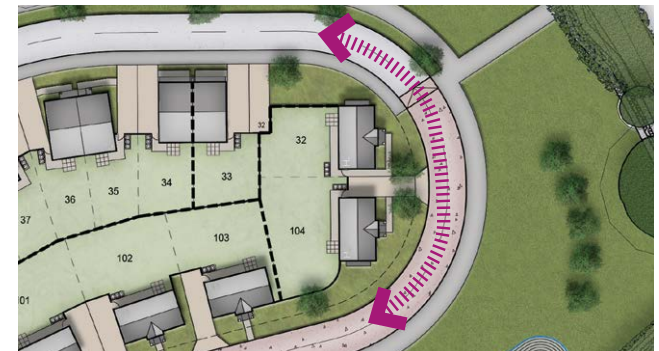
1. Primary vehicle / pedestrian access is proposed to the southern side of Higher Road, in accordance with approved access position.



2. A 'Pocket Park' is proposed to the southern side of the primary access street. This space will include a Local Area of Play, enclosed by 1.1m high railings, encouraging safe and active play integration. Properties are orientated to overlook this space providing natural surveillance.



3. Properties are orientated to provide active frontages to all streetscapes. Dwellings which are located on corner plots, at street intersections are to be articulated to define the corner and provide active interfaces on both sides. Their role is further enforced through carefully chosen materials. Refer to section 3.3 of this document for further details.





# 3 DESIGN PRINCIPLES

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## 3.2.2 Proposed Layout

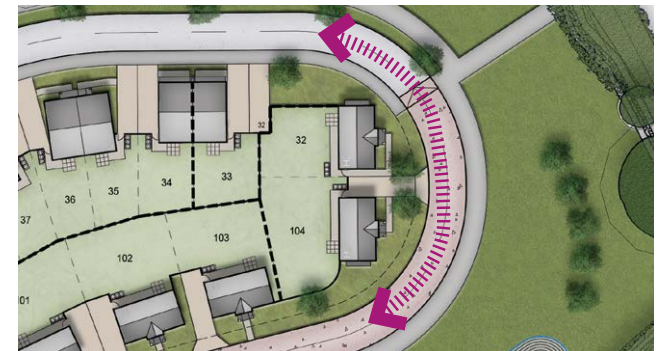
4. A 3m wide shared pedestrian / cycle route runs to the northern side of the primary spine street. It will be separated by a 2m wide tree lined grass verge. This route continues in a loop around the outer edge of the site, and through the open space 'pocket park', connecting back to the northern route.



5. A 5m landscape buffer is proposed along the length of the northern boundary, in accordance with the approved Masterplan, refer to the landscape layout for further details.



6. Informal areas of open space are proposed to the outer development edges. These spaces will incorporate existing vegetation, whilst forming an attractive green development edge, and movement corridors.





# 3 DESIGN PRINCIPLES

## 3.3 Scale & Massing

The general scale and massing of the development should seek to respond and respect local context.

In accordance with condition 6 of the Outline permission, the proposals reflect traditional residential housing within the vicinity of the site, comprising predominantly 2 storey housing.

Single storey bungalows are positioned along the northern boundary. The lower ridge height and finished floor level ensures that existing residential amenity is protected, and proposed built form will not have an adverse impact.

In light of existing topography, and on site constraints, 7no. split level house types are proposed within the north eastern housing parcel. These properties have been carefully designed to create dormer bungalows from the northern access road, and two storey units to the rear.

### Key



Single Storey Buildings



2 Storey Housing



Split level dormer bungalows



Figure 3: Extract of the proposed site layout, highlighting the proposed storey heights.

# 3 DESIGN PRINCIPLES

## 3.4 Landscaping

### Private Amenity Space

The landscape strategy has been designed to accord with the aspirations set out within the 'Green Infrastructure Guidance' providing high percentages of native tree planting across the site. Shrub planting has been carefully chosen to create year round interest, offering a variety of colours and textures across the site.

The layout has been designed to ensure dwellings are provided with adequate private amenity space. Front garden space will comprise lawned areas complimented by a mix of native / ornamental shrub and hedge planting which will naturally blend with development edges and peripheral areas, creating an overriding character.

Tarmac drives, where applicable, are separated with native tree planting which vary in size, offering seasonal colour and visual interest within the street scape.

Rear gardens will be turfed apart from the areas of hardstanding reserved for refuse and patios. Refer to the landscaping plans prepared by Pegasus, submitted as part of the application for further details.





# 3 DESIGN PRINCIPLES

## 3.4.1 Landscaping

### Open Space

In accordance with the 'Green Infrastructure Guidance' the proposals have been designed to form a series of interlinking green spaces and woodland edges, as described below.

**Central Green Space** - Comprises the central arrival space upon entering the site, further explained below.

**Green Routes** - Comprises the tree lined boulevard / shared cycle route and linear green corridor, creating green connections across the site.

**Woodland Edges** - Comprises the open space to the north/east. Woodland and wildflower planting will integrate with existing vegetation, whilst creating an attractive recreational route to the east.

**Semi Natural Greenway** - Comprises the open space to the south. This space will include a series of water bodies complemented by wildflower and woodland planting.

### Play Space

The central green space 'Pocket Park' creates a welcoming arrival space upon entering the site. The space will comprise the 'Local Area of Play' which features natural play equipment. This area has been designed to utilise the existing topography, creating an interesting and interactive play space. This space will be enclosed by railings, ensuring that a safe environment is created.

Refer to landscape pack, prepared by Pegasus for further details.



Figure 5: Extract of the 'Landscape Proposals' refer to the Pegasus drawings pack.

# 3 DESIGN PRINCIPLES

## 3.5 Appearance

### Placemaking

The design concentrates on creating successful 'places' for people. Building layout and style, hard and soft landscape, highway design and use of materials all work together within the development to create a cohesive overriding character and sense of community. These elements have taken local context into account to ensure that the design will fit harmoniously into its surroundings.

### Architectural Quality and Style

The following design principles have been adopted throughout the development, to ensure that the character is coherent, and retains a high quality across the site.

### Building Materials and Colour

Facing materials include red multi facing bricks with grey roof tiles.

Architectural details include, steep gable projections, recessed brick details, brick on edge detailing, red artstone window heads, and brick sills, and deep window apertures. Door canopies will be constructed in grey powder coated metal.

### Building Layout

Building layout is used to frame effective public spaces within the development, whilst responding directly to the landscape setting. All pedestrian routes and open spaces are overlooked by adjacent properties. The proposal seeks to enhance the sense of place throughout the scheme, creating nodes, vistas and focal buildings. Corner buildings at street intersections will be articulated to define the corner and provide active interfaces on both sides.

### Building Style and Form

Building typology comprises a mix of two storey detached and semi-detached houses, along with single storey bungalows, and dormer bungalows (featuring split level construction) refer to section 3.3 for further details. Varied ridge heights are a common theme throughout the development, enforcing the urban character and contributing to visual interest within the streetscape.

### Boundary Treatments

Boundary treatments have been given careful consideration to ensure that they establish a high quality feel to the streetscape. Where rear garden boundaries abut or can be seen from the public realm, robust boundary treatments

are used to retain visual quality within the adjacent public areas. Refer to the accompanying boundary treatment layout for further details.

### Precedent Material



Brick on edge detail



Brick on edge detail



Window detail



Composite front door



Brick sill detail



Tile finial



# 3 DESIGN PRINCIPLES

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## 3.5.1 Appearance - Illustrative Street Scenes

**Illustrative Street Scene - Fronting Spine Street**



**Illustrative Street Scene -Fronting Spine Street**



**Illustrative Street Scene - Fronting the northern boundary**



# 3 DESIGN PRINCIPLES

## 3.6 Access, Highways & Movement

### Access

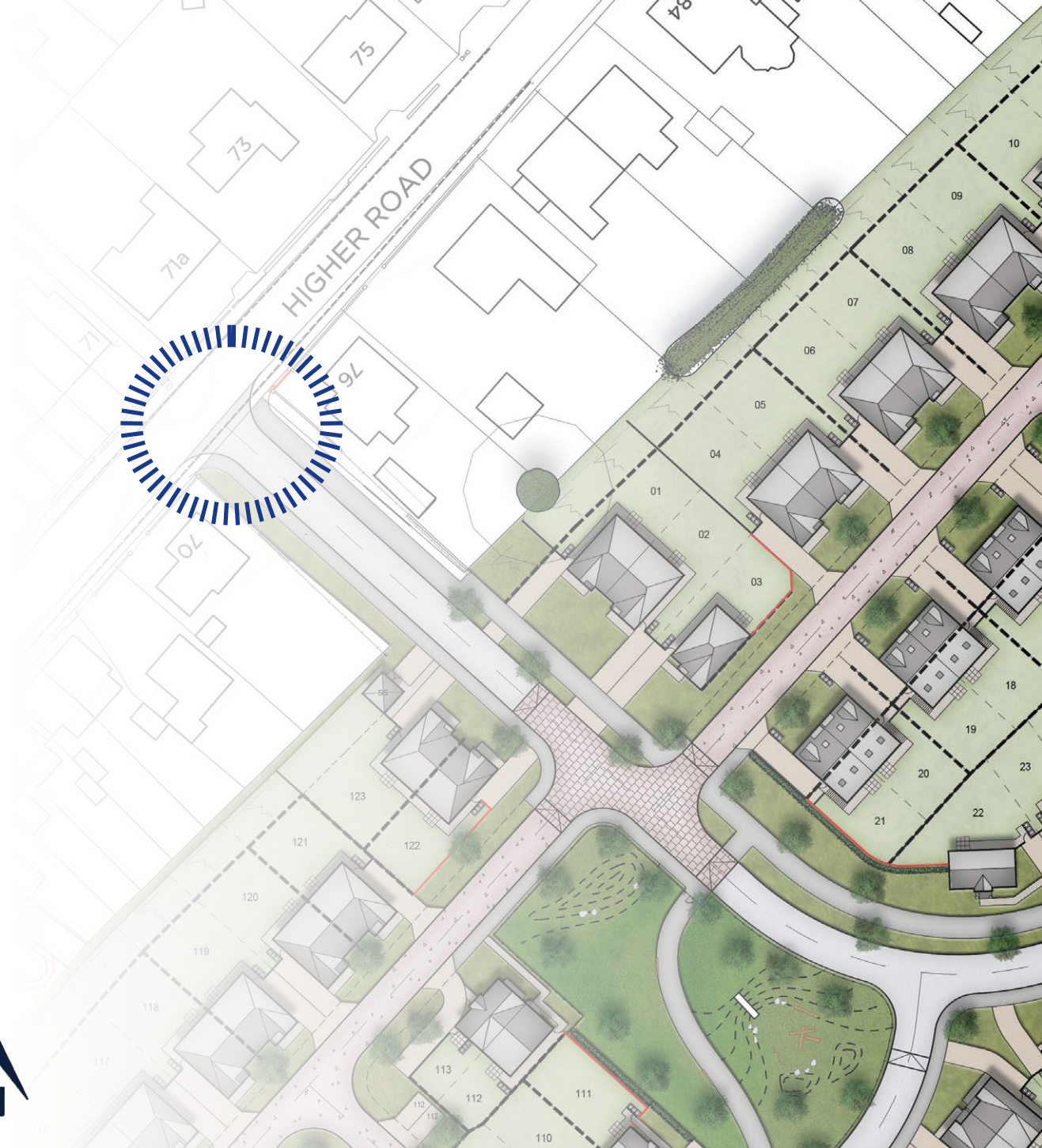
Principle access for vehicles, cyclists and pedestrians will be taken from the southern side of Higher Road, in accordance with the position previously agreed, and approved with the Local Authority. The access location is indicated by the blue circle, shown adjacent.

### Street Hierarchy

The proposed highway network has been designed to accord with the aspirations of the approved Masterplan, and condition 4 of the Outline permission, creating permeable, logical and easily navigable routes which provide direct access across the development. A clear street hierarchy is formed through varying carriageway widths, which transitions users across the site.

The street pattern comprises, the primary spine street, secondary access streets and private driveways, in accordance with the approved 'Masterplan'. Refer to the site layout for further details.

The majority of properties will take access from primary and secondary streets, with a maximum of five properties taking access from private driveways.





# 3 DESIGN PRINCIPLES

## 3.6.1 Access, Highways & Movement

### Parking

All properties feature in-curtilage parking arrangements, predominantly comprising driveways to the side of the dwelling.

A limited amount of up front parking arrangement is proposed for plots 13 & 14, although these spaces will be complimented by soft shrub and hedgerow landscaping to reduce the dominance of hard surfacing and parked cars.

### Refuse

Refuse and recycling storage has been a design consideration during the layout evolution. As a result, each property will be provided with a paved area within the rear garden, siting a general waste bin and recycling bins / boxes, in accordance with the councils approved refuse strategy.

Refer to **(Figure 6)**, adjacent for an example of refuse storage areas.

Additionally, all properties are provided with direct access from the rear garden to the highway, enabling ease of movement for bins to be left out on the relevant collection day.

## 3.7 General Access

### Level Access

Access to and within the public external environment has been designed to ensure that there are no excessive changes in level between the highway and the principle access, where possible.

Housing entrances will be constructed to comply with current Building Regulations (Part M), ensuring ease of wheel chair access. Each property will therefore be provided with level access to either the primary or secondary entrance point.

Split level properties, plots 15-21 will be provided with level access to the front of the dwelling and a stepped approach to the rear.

Furthermore, houses will have a path and/or driveway providing a safe access route from the public highway to this entrance point.

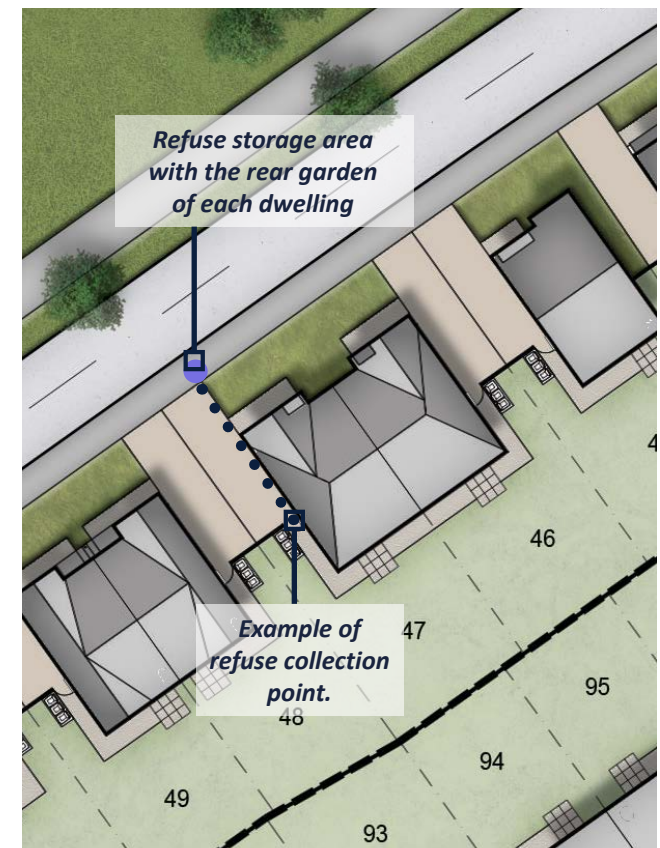


Figure 6: Example of refuse storage areas.

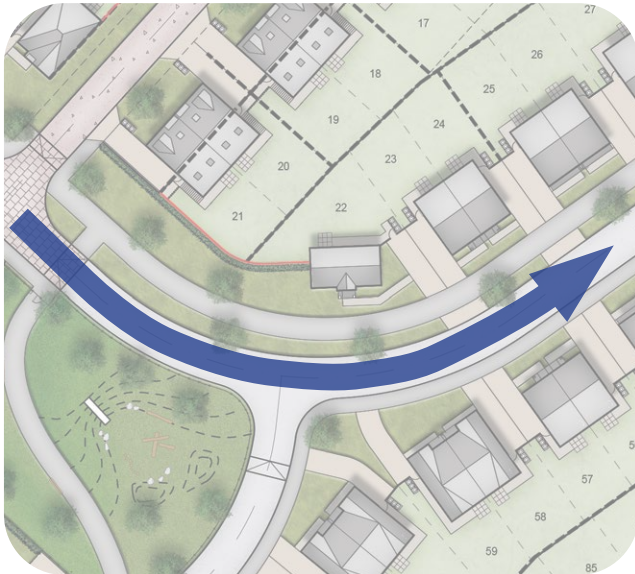
# 3 DESIGN PRINCIPLES

## 3.8 Street Hierarchy

The Internal development street hierarchy is as follows;

### Primary Streets

This street defines the main entrance point and primary distribution road, from which associated streets are served. It will be 5.5m wide, constructed in black tarmac with 2.0m wide footpaths either side. The northern footpath is set back behind a grass, tree lined verge.



### Secondary Access Streets

These streets comprise 4.8m wide roads constructed in black tarmac and contrasting chippings, with 2.0m wide service verge either side.



### Private Driveways

These access ways are designed to serve a limited number of dwellings, encouraging a shared access environment. They will be constructed in block paving, serving a maximum of 5no. properties.





# 3 DESIGN PRINCIPLES

## 3.9 Pedestrians/Cyclist

### Pedestrian Movement

Safe pedestrian movement has been a primary consideration throughout development design stages, ensuring that the proposals create permeable links which connect with the wider area.

Pedestrian movement is encouraged through the provision of new 2m wide footpaths adjacent to the spine street, secondary access streets and strategic footpath connections. These routes form a network of safe and convenient footpaths, which offer permeable connections with the surrounding area and associated development. Refer to the adjacent plan (**Figure 7**) which details proposed routes and connections in plan form.

### Cycle Route

A 3m wide shared pedestrian / cycle route runs alongside the spine street, continuing around the outer edge of the loop road. This route offers connection to Higher Road to the north and Tan Yard Lane to the east.

The route proposes a slight deviation from the masterplan, through the linear corridor, which due to levels will provide pedestrian access only. It was considered that "safe and convenient" access for all was imperative, and a stepped approach is clearly not 'convenient' for a cyclist.

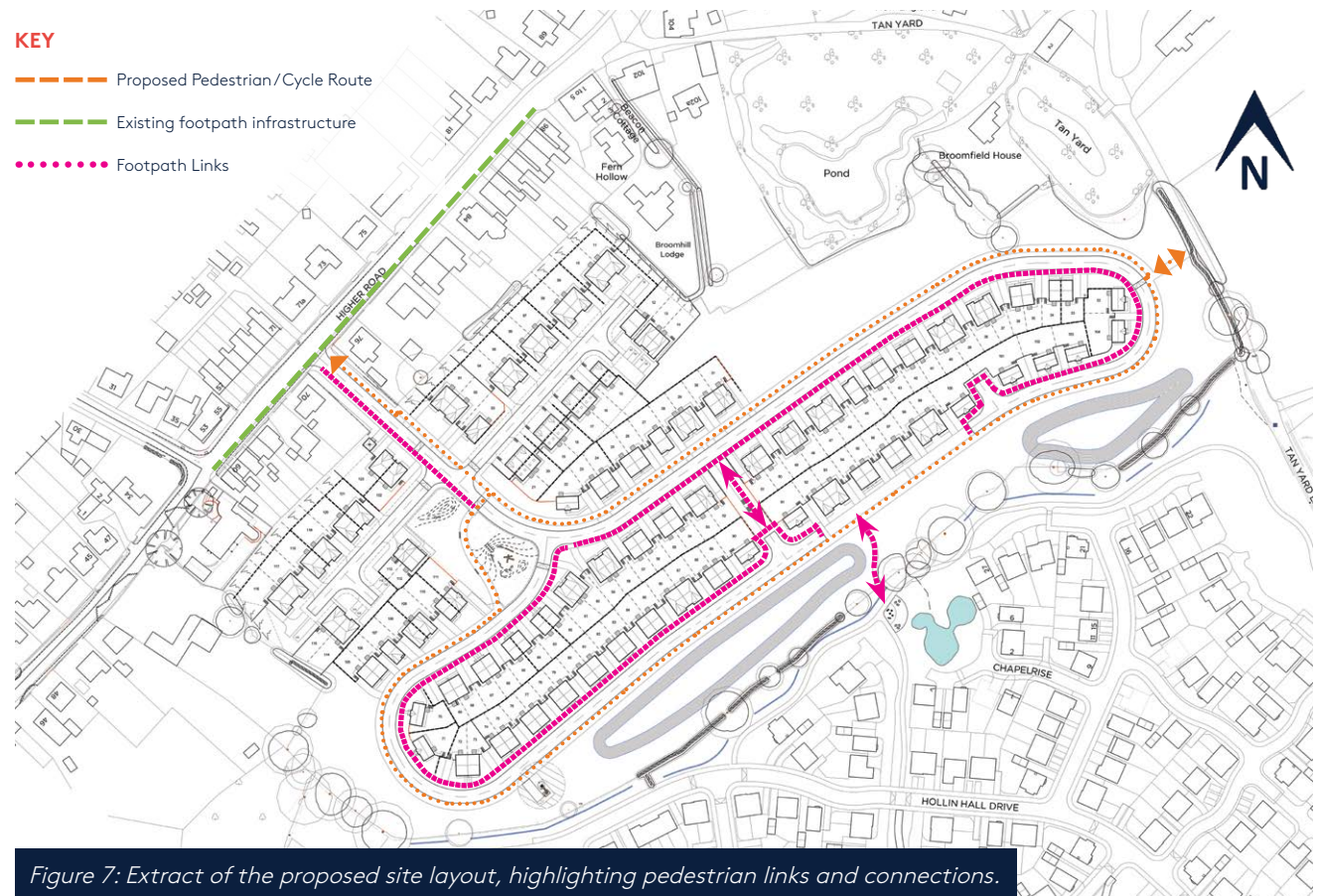


Figure 7: Extract of the proposed site layout, highlighting pedestrian links and connections.

# 3 DESIGN PRINCIPLES

## 3.10 Crime Prevention

In accordance with the National Planning Policy Framework (NPPF 2019), the development seeks to deliver the following;

***"create places that are safe, inclusive and accessible and which promote health and well-being, with a high standard of amenity for existing and future users; and where crime and disorder, and the fear of crime, do not undermine the quality of life or community cohesion and resilience;"*** (Paragraph 127f).

The layout has been designed and developed to incorporate the fundamentals of crime prevention and best practice guidance, as further expanded below;

### Footpaths and Walkways

A combination of well-designed block form and property orientation creates natural surveillance of footpaths and walkways across the site. Footpaths will be well lit.

### Front of Buildings

The natural surveillance benefits of residential development will assist in enhancing the security to fronts of buildings. On a more physical level, properties will comply with BS: PAS 24 (2016), in accordance with approved document Part Q.

### Private Spaces Behind Buildings

Private spaces behind buildings, essentially rear gardens, will be screened by 1.8m high close boarded fencing, some of which sit on top of retaining walls, refer to the engineers drawings for further details.

### Natural Surveillance

The enclosing arrangement of dwellings and close proximity of footpath and parking areas will ensure that the development benefits from the maximum level of natural surveillance. No areas within the site provide visual refuge, where intruders could remain unobserved.

### Lighting

The proposed highway network will be suitably lit, in accordance with BS: 5489. Details will be discussed and agreed with the local Authority

### Boundary Treatments

Private boundaries include secure screen walling (to boundaries which abut the public realm) or fencing at a minimum of 1.8m high and 1.8m high plot divisional fencing.

Access gates are positioned as close as possible to dwelling frontages. Treatments have been carefully chosen to provide a degree of physical security, whilst acting as a psychological deterrent to opportunistic crime.

### Landscaping

Landscaping as proposed will incorporate a choice of trees and shrubs that will contribute to security by means of their density and hostility to climbing, refer to the landscaping layout which is submitted as part of the application.



# 3 DESIGN PRINCIPLES

## 3.11 Adherence with Approved Masterplan

Figures 8 and 9 highlight the elements of the proposed layout that adhere with the 'Masterplan' approved under appeal reference APP/T2350/W/17/3186969.

This document clearly demonstrates that the development proposals not only acknowledge the design parameters previously established, but deliver the intended aspirations for the site. The main principles which adhere with the approved 'Masterplan' are;

1. Primary access into the site is proposed to the southern side of Higher Road, in accordance with the Outline permission.
2. An area of focal open space 'pocket park', which includes a 'Local Area of Play', is proposed adjacent to the primary spine street, in accordance with the approved Masterplan.
3. Development parcels reflect the approved Masterplan.
4. A shared pedestrian / cycle route runs across the site, connecting with existing footpath links, in accordance with the Masterplan.

5. A 5m wide landscape buffer is proposed along the northern boundary, in accordance with the Masterplan.

6. A sustainable drainage system is proposed, featuring attenuation basins to the southern section of open space.

7. Open space is proposed to the outer development edges, creating green corridors which connect with the wider area.

8. Properties are orientated to be outward facing and address all new streets. Appropriate housing form and unit types are proposed adjacent to existing infrastructure, ensuring that the proposals are sympathetic to local context.

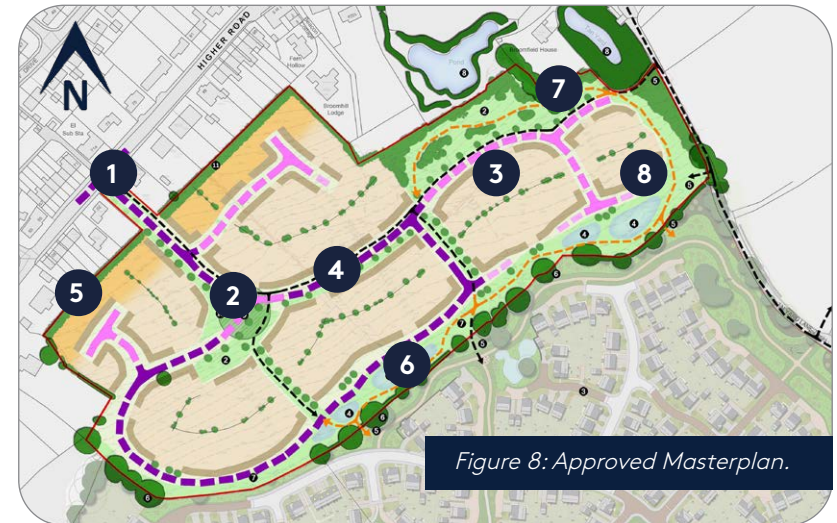


Figure 8: Approved Masterplan.

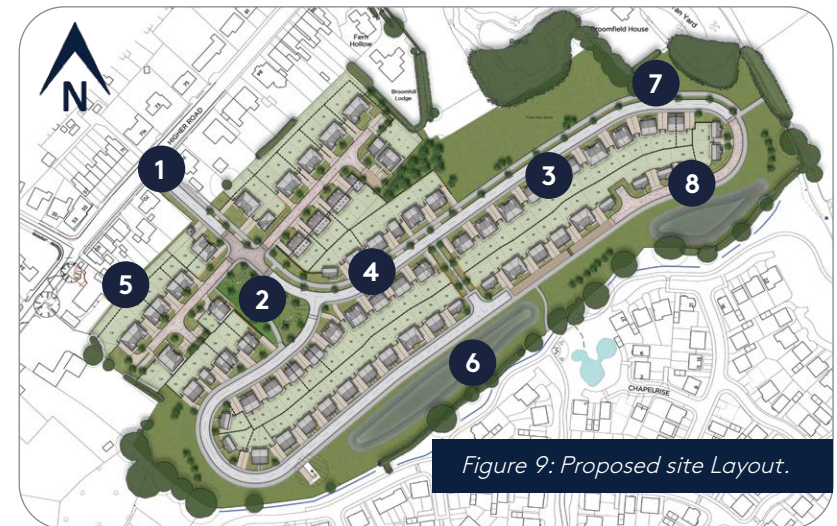
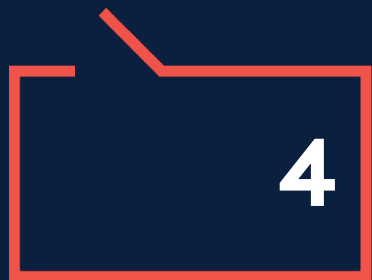


Figure 9: Proposed site Layout.





# SUMMARY

## 4 SUMMARY

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### 4.1 Conclusion

The Site has undergone an extensive design review, in close collaboration with the applicant 'Stanley Investments and Onward Homes Ltd' consultant team, ensuring that a positive design solution is provided on Site.

The development will deliver a high quality, well-balanced residential community, which will create much needed affordable and open sale family housing, whilst appropriately completing the urban settlement boundary and creating a distinct sense of place, in accordance with the Outline planning permission.

Furthermore, the proposals will complement and enhance existing site features, and respect existing topography, creating a development which harmoniously fits within its' surroundings.

To conclude, it has been clearly demonstrated through this statement that the proposals will enhance the surrounding area in terms of its' aesthetic, landscape, and ecological value, whilst according with National and Local Planning Policy. We therefore request that positive and expeditious consideration is given to this application.



***“Creating a well-balanced and high quality residential community”***

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