

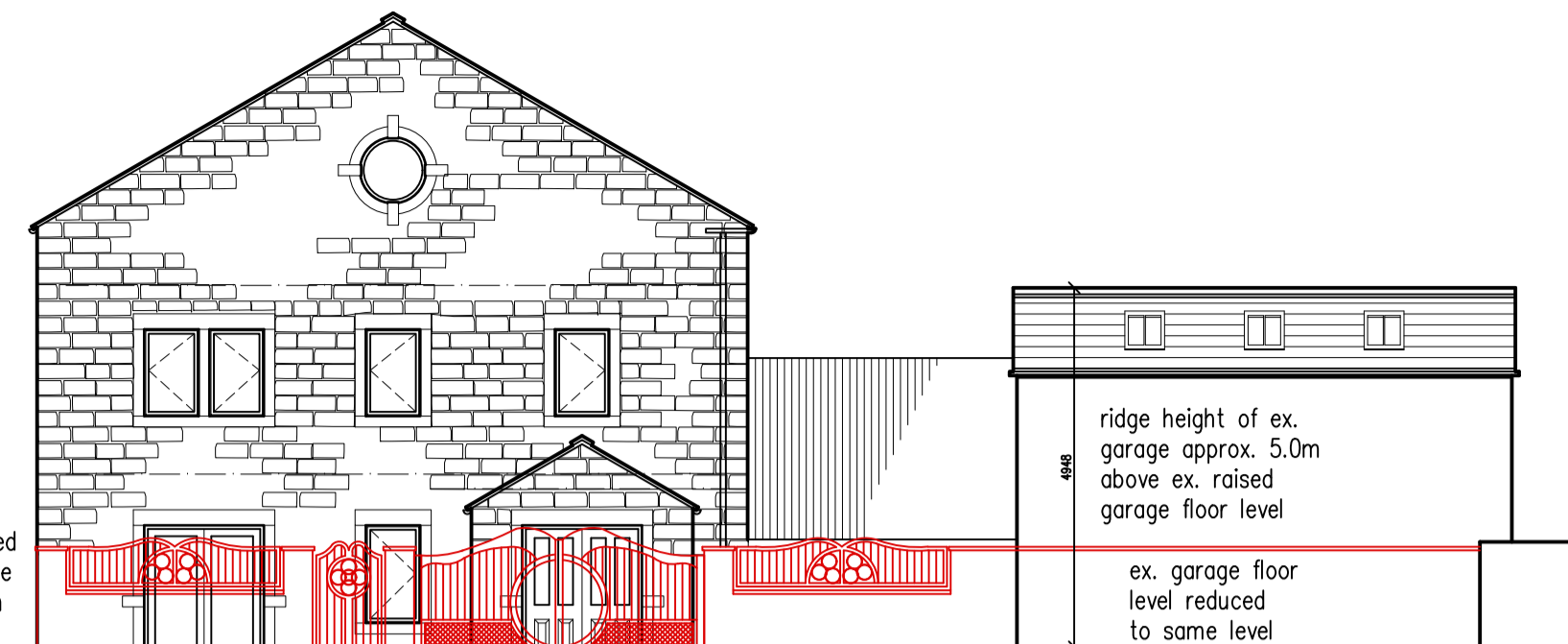
North East Elevation

first floor window to splayed north elevation to be fixed with obscure glazing with a level 4 obscurity rating



North West Elevation

infill panels to stone boundary wall formed using hammered edge steel frame and infill bars finished matt black

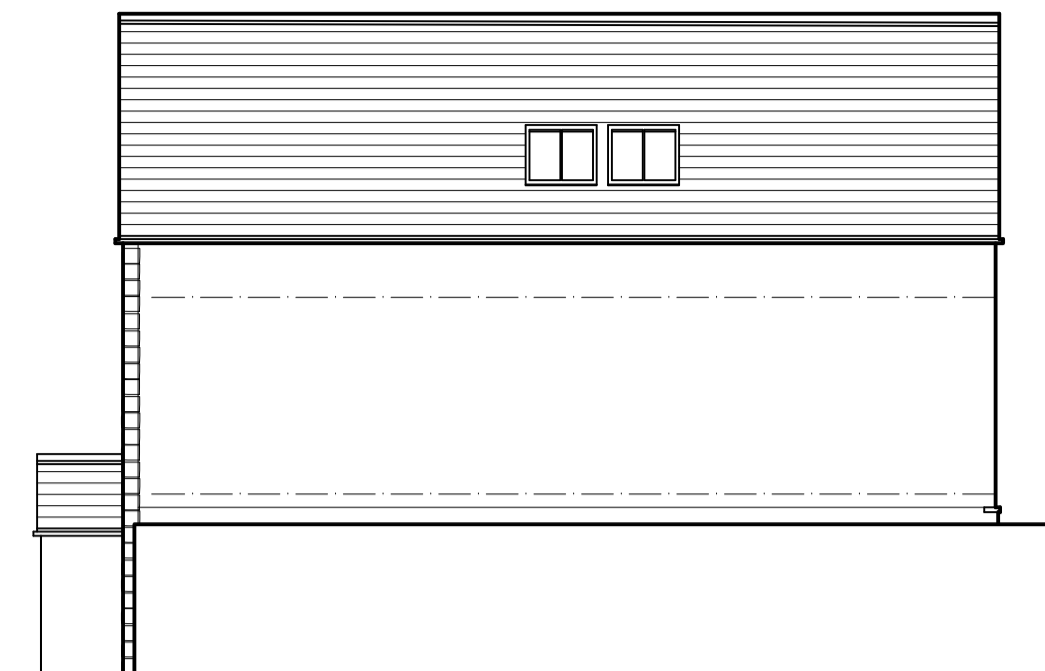


South West Elevation

personnel gate and electric sliding gates within stone boundary wall formed using hammered edge steel frame and infill bars finished matt black, gates to slide in one section behind boundary wall

ridge height of ex. garage approx. 5.0m above ex. raised garage floor level

ex. garage floor level reduced to same level as house



South East Elevation

existing coursed stonework to be retained and reused for all new stone faced walls, existing random stonework not to be re-used except for new stone boundary walls

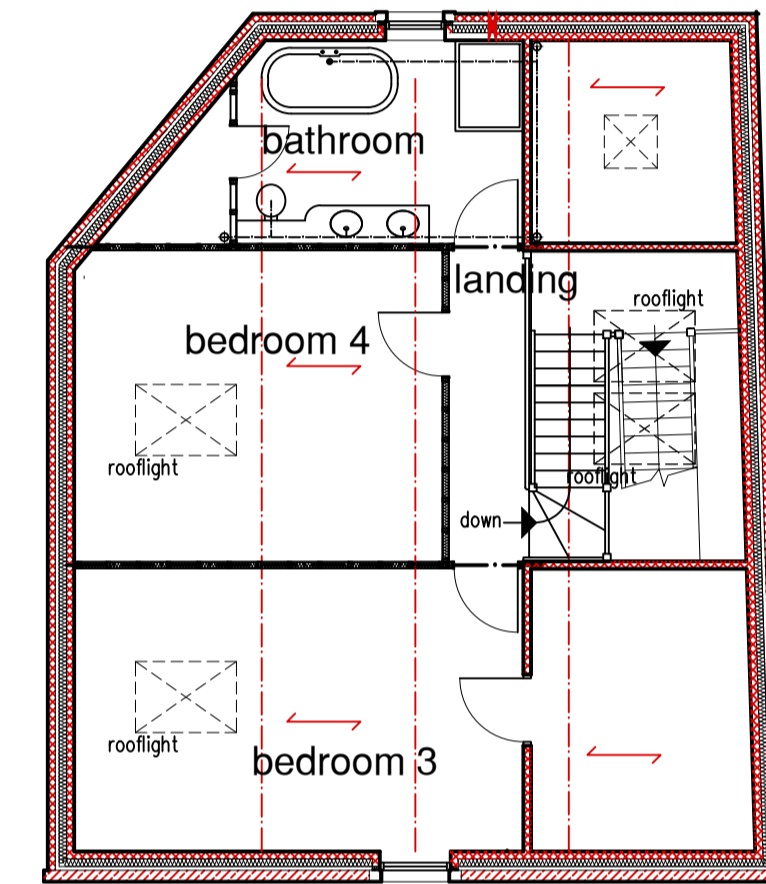


Existing Splayed North Elevation

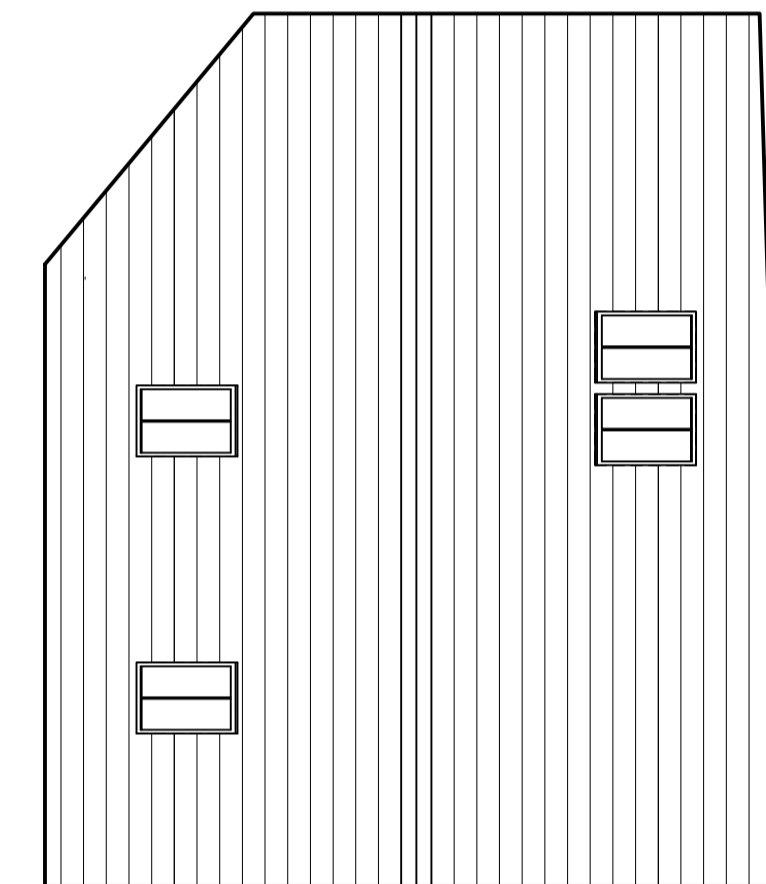


K Rend with scratch finish colour cream to all rendered walls

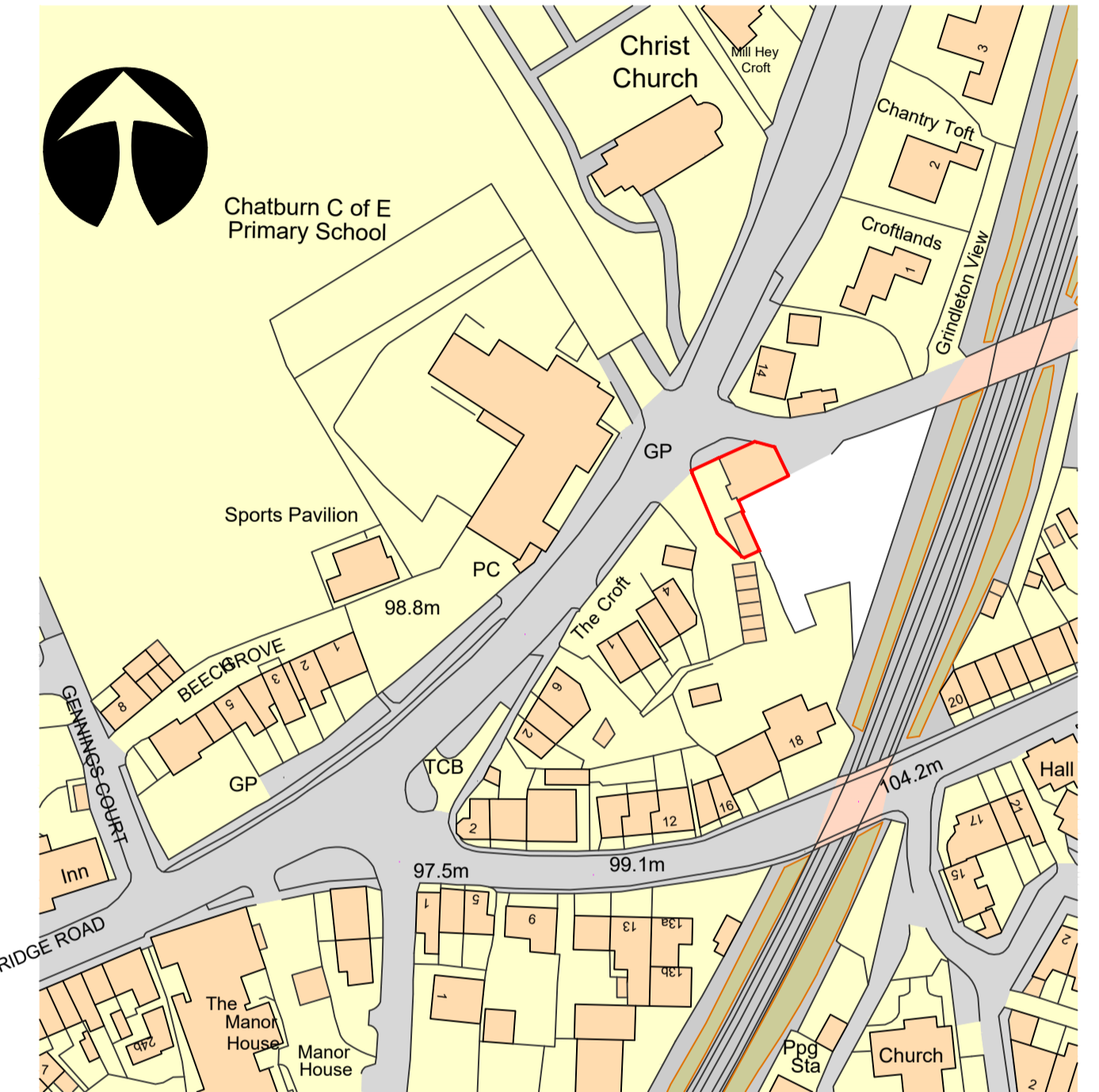
Proposed Render



Second Floor Plan



Roof Plan



Location Plan

scale 1:1250

MATERIALS

Walls: existing walls removed above ground level and replaced with new walls using coursed stonework reclaimed from the existing building to the south west gable and porch and to a string course on the north west and north east elevations; all walls above string course and the south east elevation finished with K render colour cream with scratched finish.

Roof: natural blue slates incorporating conservation rooflights fitted flush with roof surface.

Opening surrounds; sawn stone cills, jambs, lintels and mullions to match colour of walling stone.

Rainwater Goods: black uPVC circular section secured to black finished uPVC fascia boards.

Windows: grey uPVC with minimum 100mm deep reveals, french windows to Juliette balcony to match.

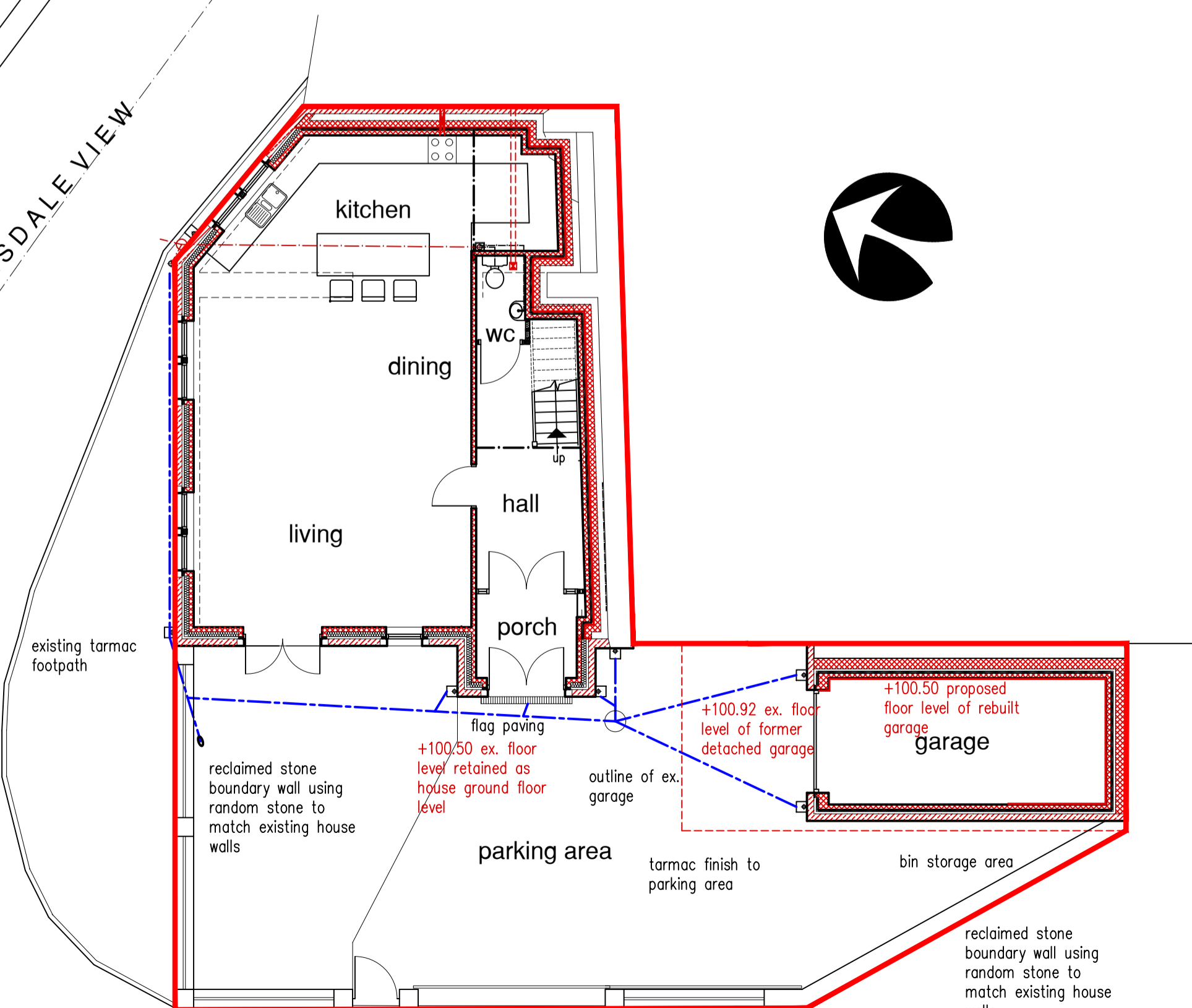
Doors: entrance doors composite finished grey to match windows with minimum 100mm deep reveals.

Revision	Date
E Boundary treatment revised including sliding gates	22/06/21
D Boundary treatment and garage 1st flr. removed	27/05/21
C Original floor levels of detached garage added	15/04/21
B Details of rebuilding ex. garage shown, boundary treatment shown, window omitted to ground floor of North East Elevation	14/04/21

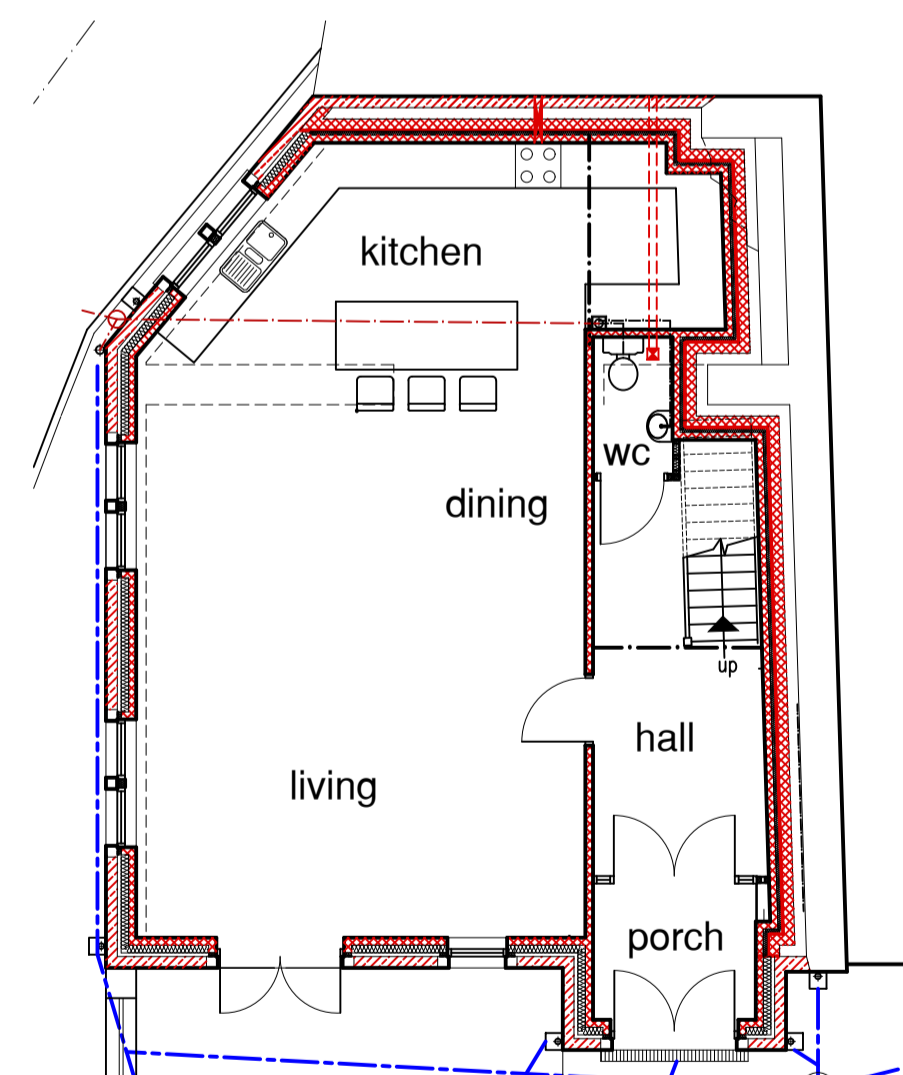
**Stephen Craven Building Design**

Chartered Architectural Technologist and Building Design Consultant

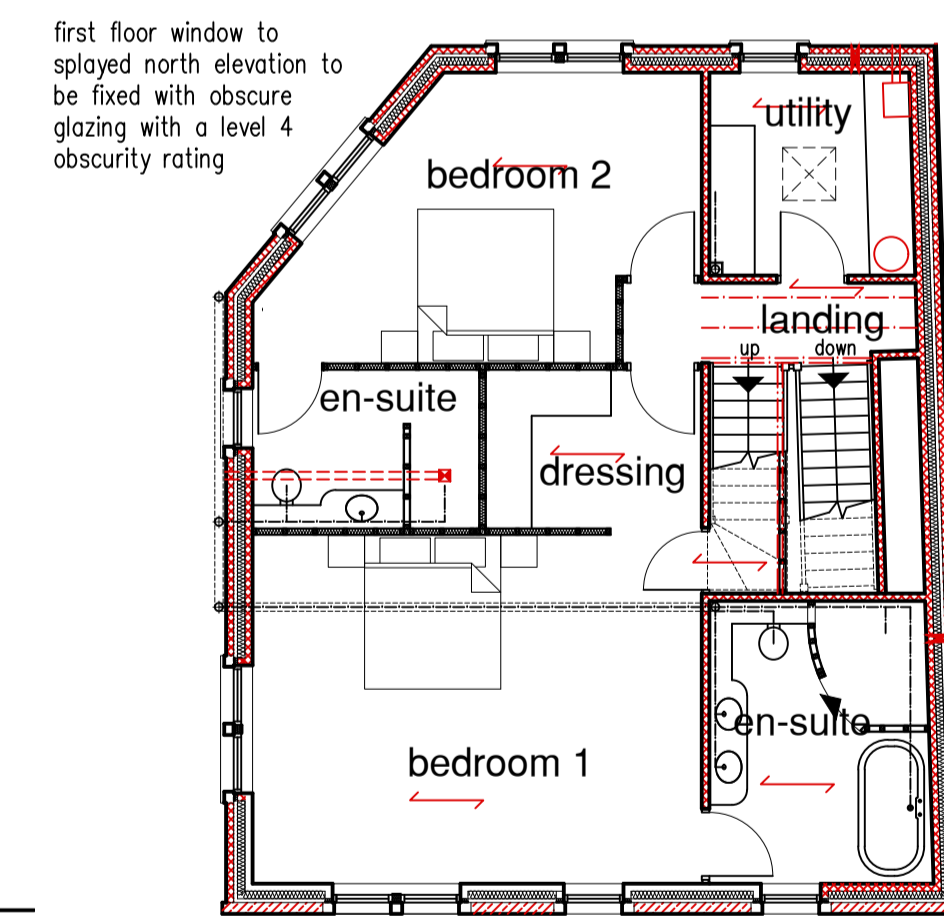
Town Hall, Market Place  
Settle, North Yorkshire BD24 9EJ  
Tel 01729 824754 Mobile 07763 766702  
E-Mail stephen.craven@tiscali.co.uk  
www.stephencraven.org



Site Plan

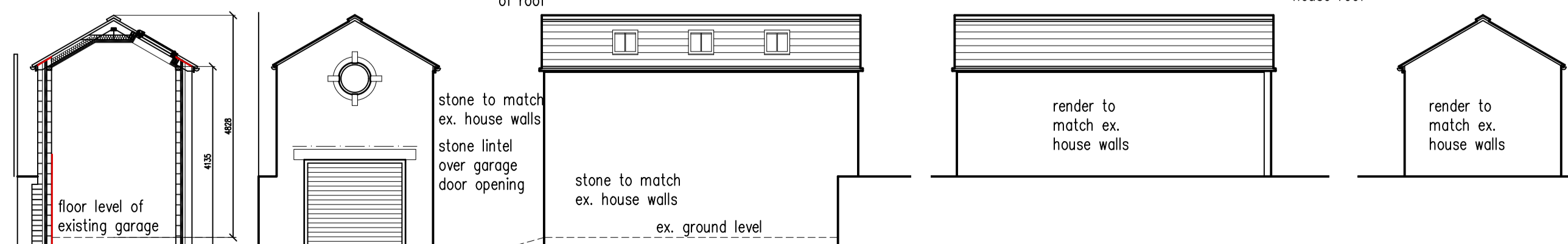


Ground Floor Plan



First Floor Plan

Garage Details



Section

North West

South West

North East

South East

<b>job:</b> Proposed Conversion/Rebuild of Former Filling Station Sawley Road Chatburn BB		
<b>client:</b> Mr J Butler		
<b>drawing:</b> Proposed Plans, Elevations & Site Plan		
<b>scale:</b> 1:100 @ A1	<b>date:</b> 04/20	<b>drawn:</b> smc
<b>job no:</b> 07/2020	<b>drawing no:</b> 02	<b>rev:</b> E