

NOTES:

- Summary of works
- Proposed conversion of the existing former mill into 23 apartments and car parking and associated works.
1. An initial building and drainage survey has been carried out by the engineer, all matters relating to the suitability of the existing structure and the final drainage layout will be subject to a thorough investigation as the works progress. Valid survey work to determine the design as far as is practicable.
 2. It is intended to complete the first programme of work, designed to ensure compliance with the regulations, restrictions and specifications.
 3. The contractor shall take the overall responsibility for the proper execution of the works to the satisfaction of the appointed approved inspector. The contractor shall be responsible for the accuracy of all dimensions and the correct siting and use of the works.
 4. The contractor is to verify the structural and other details as shown on the drawings and to ensure that the works are carried out in accordance with the regulations, restrictions and specifications.
 5. All works and construction to comply with the regulations and recommendations of the respective board or authority to the satisfaction of the appointed inspector.
 6. The proposed drainage layout is subject to the structural design and specific reference must be made to the structural engineer to ensure the works are constructed in accordance with the design.
 7. Once the drainage layout is complete to comply with the current building regulations.
 8. The work shall be carried out in accordance with the specification and the approved inspector is to be kept fully informed by the contractor of the progress in order to arrange the site visits.

No.	Description	Date
3	EXISTING FLOOR LVL	10/06/2020
4	FIRST FLOOR WALL CONSTRUCTION AND COURTYARD LVL CHANGE	12/06/2020
5	STAIRCASE ALTERATION	03/07/2020
6	DRAINAGE CHANGE	11/08/2020

CLIENT:

MR R EVANS

PROJECT:

THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

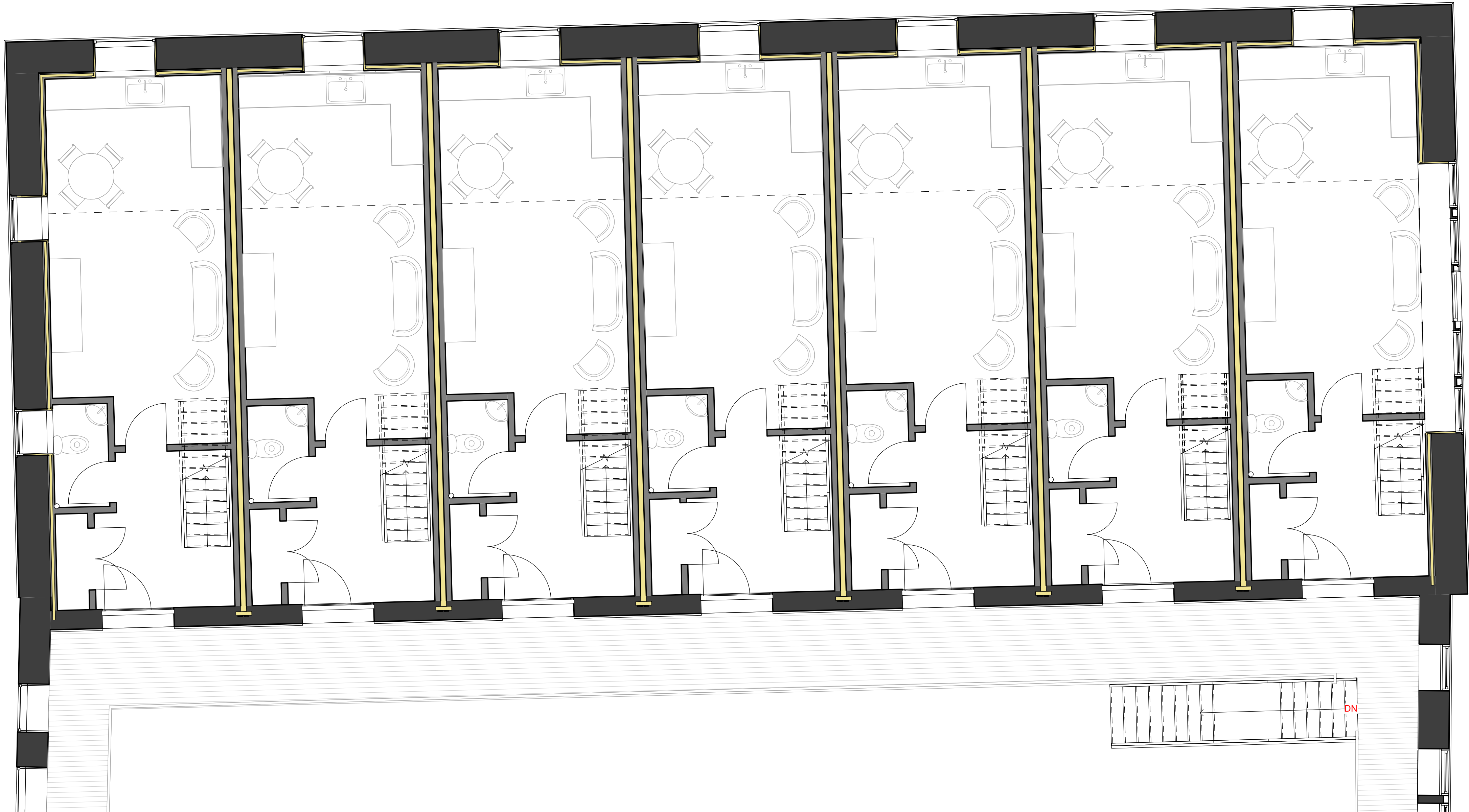
SHEET:

PROPOSED BLOCK B FIRST
FLOOR

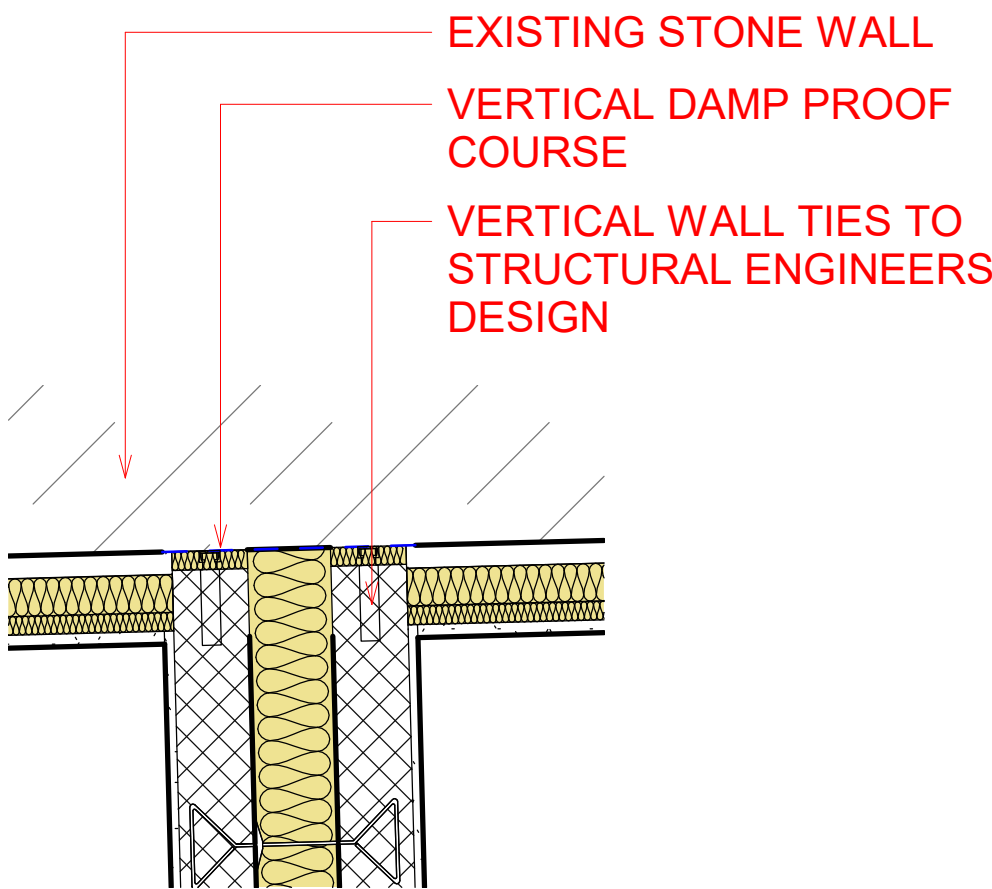
Project number	PHA/425
Date	08/10/2021
Drawn by	RH
Checked by	PH

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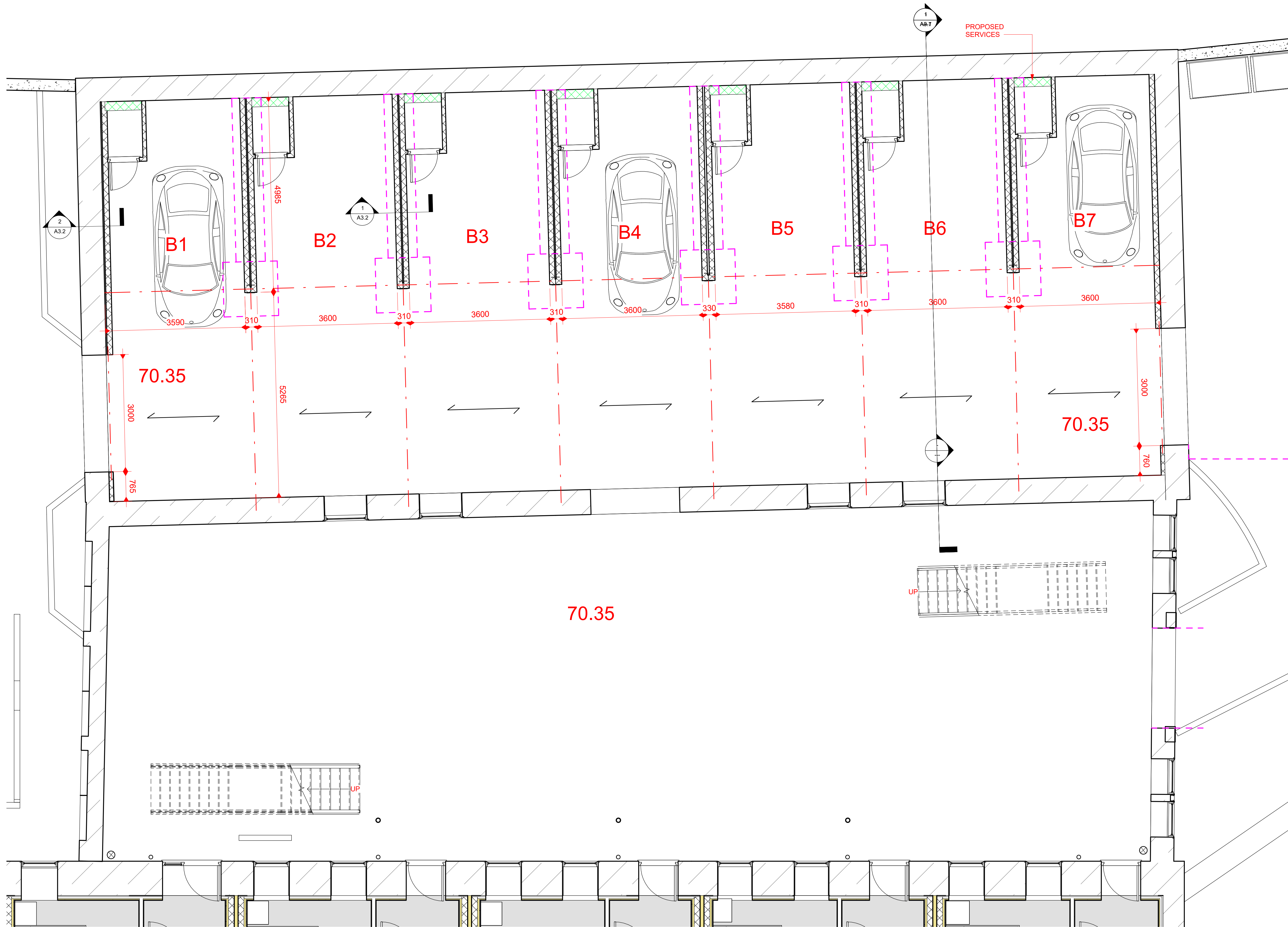
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Sheet size	A1



1
PROPOSED BLOCK B FF
1 : 50



2
PROPOSED BLOCK B VERTICAL DPC DETAIL
1 : 10



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NOTES:

- Summary of works
1. Proposed conversion of the existing former mill into 23 apartments and car parking and associated works.
2. The existing building and drainage survey has been carried out by the engineer, all aspects relating to the suitability of the existing structure and the final drainage layout will be subject to a thorough investigation as the works progress. Work has been carried out to determine the design as a new structure.
3. The contractor shall ensure the ground level is level, subject to a level certificate and the final specification and construction.
4. The contractor shall ensure the ground level is level, subject to a level certificate and the final specification and construction.
5. The contractor shall ensure the ground level is level, subject to a level certificate and the final specification and construction.
6. The contractor shall ensure the ground level is level, subject to a level certificate and the final specification and construction.
7. The contractor shall ensure the ground level is level, subject to a level certificate and the final specification and construction.
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9. The contractor shall ensure the ground level is level, subject to a level certificate and the final specification and construction.
10. The contractor shall ensure the ground level is level, subject to a level certificate and the final specification and construction.

No.	Description	Date
3	EXISTING FLOOR LVL	10/06/2020
4	FIRST FLOOR WALL CONSTRUCTION AND COURTYARD LVL CHANGE	12/06/2020
5	STAIRCASE ALTERATION	03/07/2020
6	DRAINAGE CHANGE	11/08/2020

CLIENT:

MR R EVANS

PROJECT:

THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

SHEET:

PROPOSED BLOCK B CARPARK

Project number

PHA/425

Date

08/10/2021

Drawn by

RH

Checked by

PH

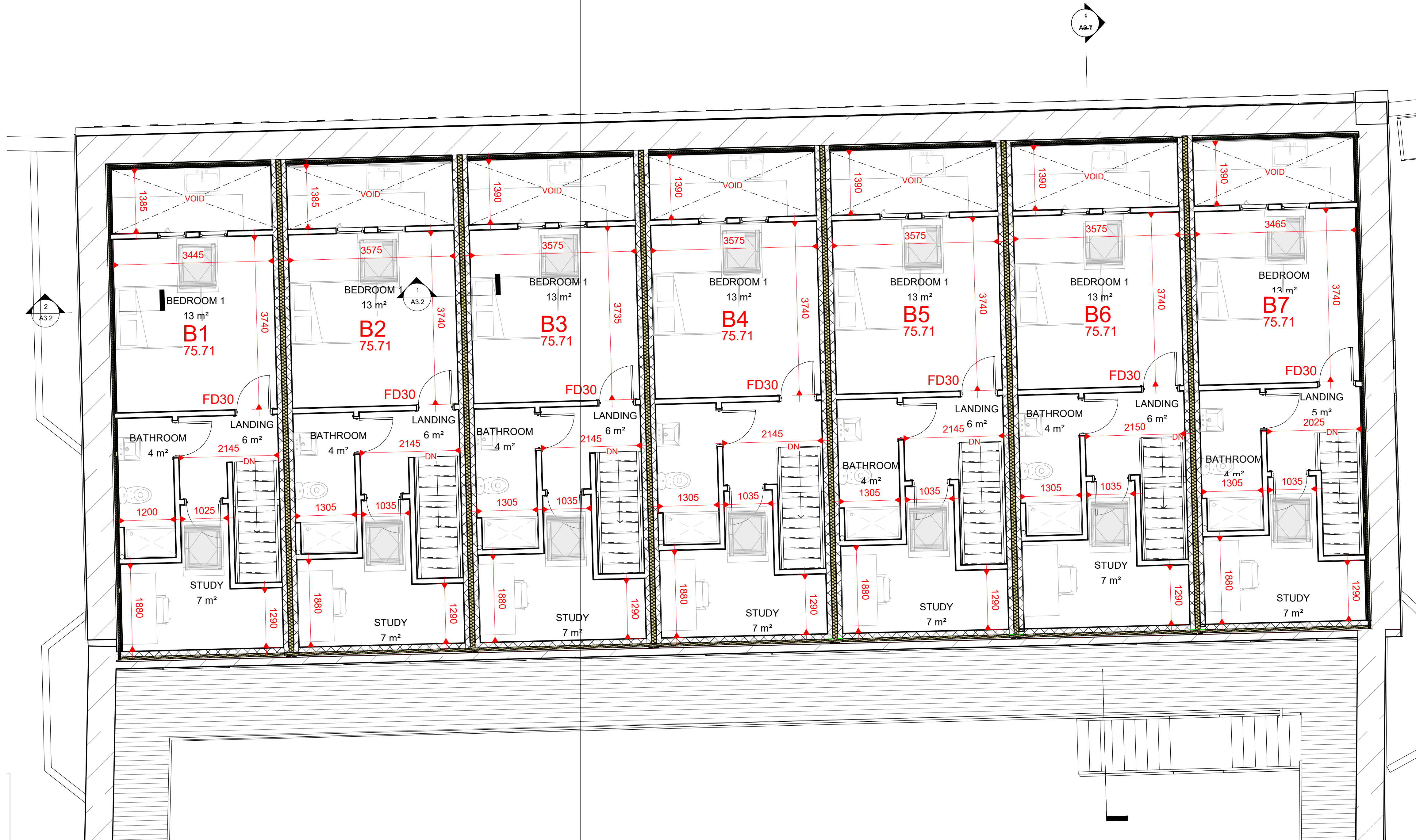
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1 : 50

Sheet size

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1 PROPOSED BLOCK B SF
1 : 50

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NOTES:

- Summary of works
- Proposed conversion of the existing former mill into 21 apartments and car parking and associated works.
1. An initial building and drainage survey has been carried out by the engineer. All matters relating to the suitability of the existing structure and the final drainage layout will be subject to a thorough investigation as the works progress. Initial survey work to determine the design to be in accordance with the current building regulations and the drainage layout will be subject to a thorough investigation as the works progress.
 2. It is intended to provide for three car spaces and the final layout to be subject to the requirements of the local planning authority and the drainage layout will be subject to a thorough investigation as the works progress.
 3. The contractor shall ensure the ground level is in accordance with the requirements of the local planning authority and the drainage layout will be subject to a thorough investigation as the works progress.
 4. The contractor shall ensure the ground level is in accordance with the requirements of the local planning authority and the drainage layout will be subject to a thorough investigation as the works progress.
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 7. The contractor shall ensure the ground level is in accordance with the requirements of the local planning authority and the drainage layout will be subject to a thorough investigation as the works progress.
 8. The contractor shall ensure the ground level is in accordance with the requirements of the local planning authority and the drainage layout will be subject to a thorough investigation as the works progress.

No.	Description	Date
3	EXISTING FLOOR LVL	10/06/2020
4	FIRST FLOOR WALL CONSTRUCTION AND COURTYARD LVL CHANGE	12/06/2020
5	STAIRCASE ALTERATION	03/07/2020
6	DRAINAGE CHANGE	11/08/2020

CLIENT:

MR R EVANS

PROJECT:

THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

SHEET:

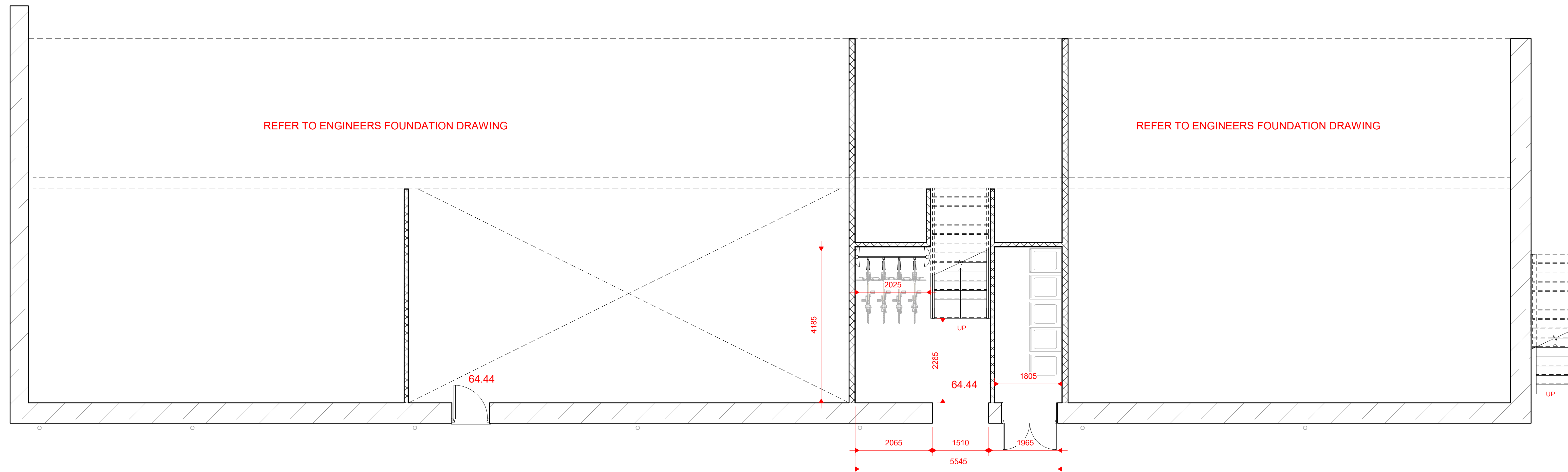
PROPOSED BLOCK B SECOND
FLOOR PLAN

Project number	PHA/425
Date	08/10/2021
Drawn by	RH
Checked by	PH

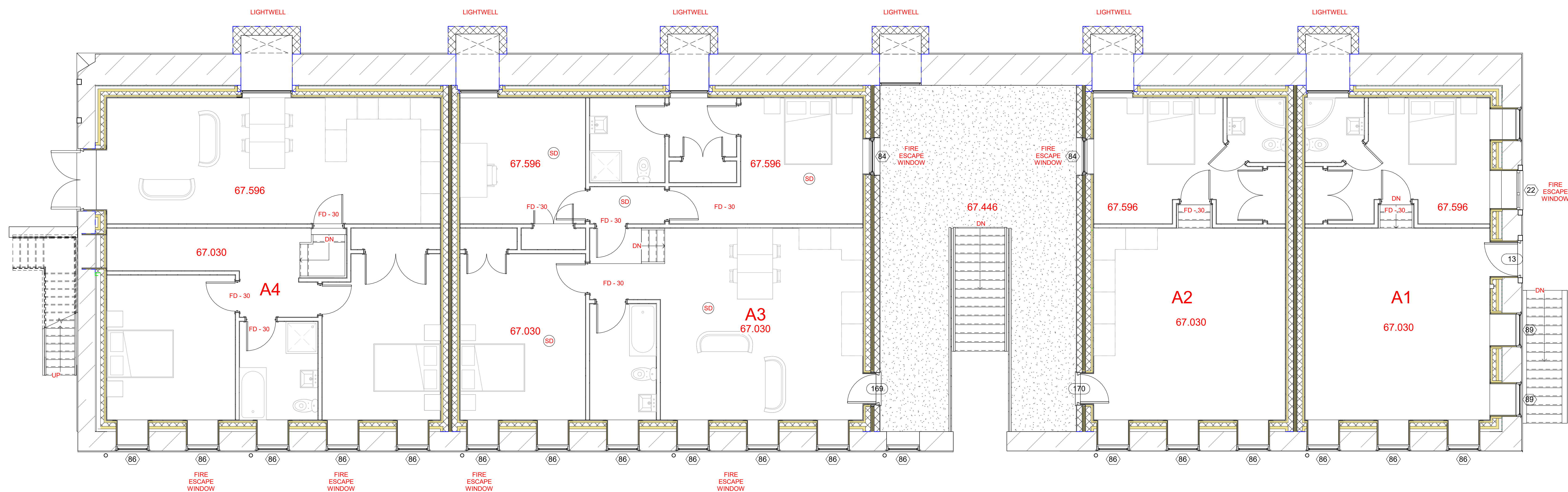
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Sheet size	A1

NOT FOR CONSTRUCTION USE



1 PROPOSED BLOCK A BASEMENT
1 : 50



2 PROPOSED BLOCK A GF REVISION
1 : 50

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Summary of works

- Proposed conversion of the existing former mill into 23 apartments and car parking and associated works.

1. An initial building drainage survey has been carried out by the engineer, all matters relating to the suitability of the existing structure and the first floor drainage system have been noted and a programme of works has been agreed. The progress of the works will be monitored and the design as far as is practical.
2. All materials to be suitable for their purpose and be fixed, applied or mixed in accordance with the manufacturer's instructions.
3. The contractor shall take into account necessary for the proper execution of the works to the satisfaction of the appointed approved inspector. The contractor is responsible for the accuracy of all dimensions and for the correct setting out of the works.
4. The Contractor to notify the architect of any discrepancies as soon as they become reasonably apparent and prior to the work being carried out.
5. All works and installations to comply with the regulations and requirements of the Building Regulations and the Building Regulations of the approved inspector.
6. The Structural Engineers details are included on the architectural drawings and the contractor is to ensure that the work is carried out in accordance with the details. Specific reference must be made to the consultant's instructions to ensure the works are constructed in accordance with the details.
7. The strength of all material to comply with the current building regulations.
8. The works are to be carried out in accordance with the specification and the contractor is to be held responsible for the completion of the works and the progress in order to arrange the site visits.

[illegible]

Client:

MR R EVANS

Project: THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

Sheet: **PROPOSED BLOCK A BASEMENT
& GROUND FLOOR**

Project number: PHA/425

Date: 08/10/2021

Drawn by: JD

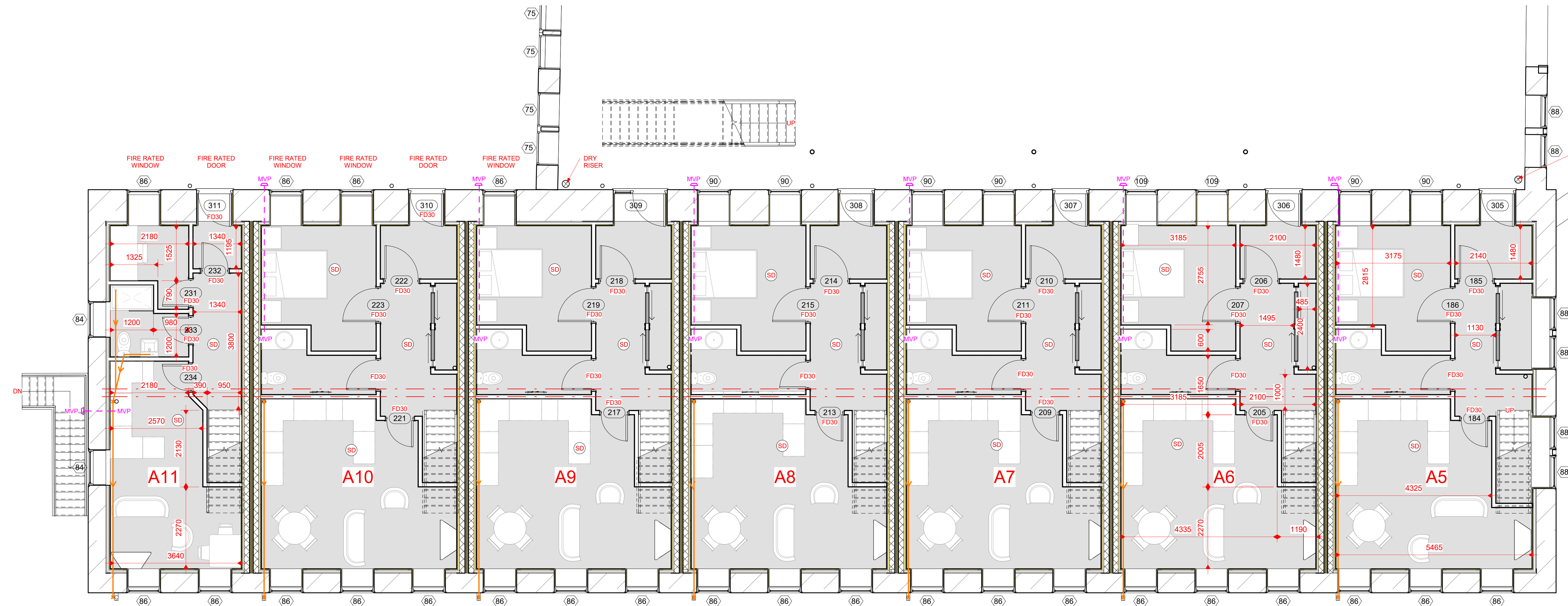
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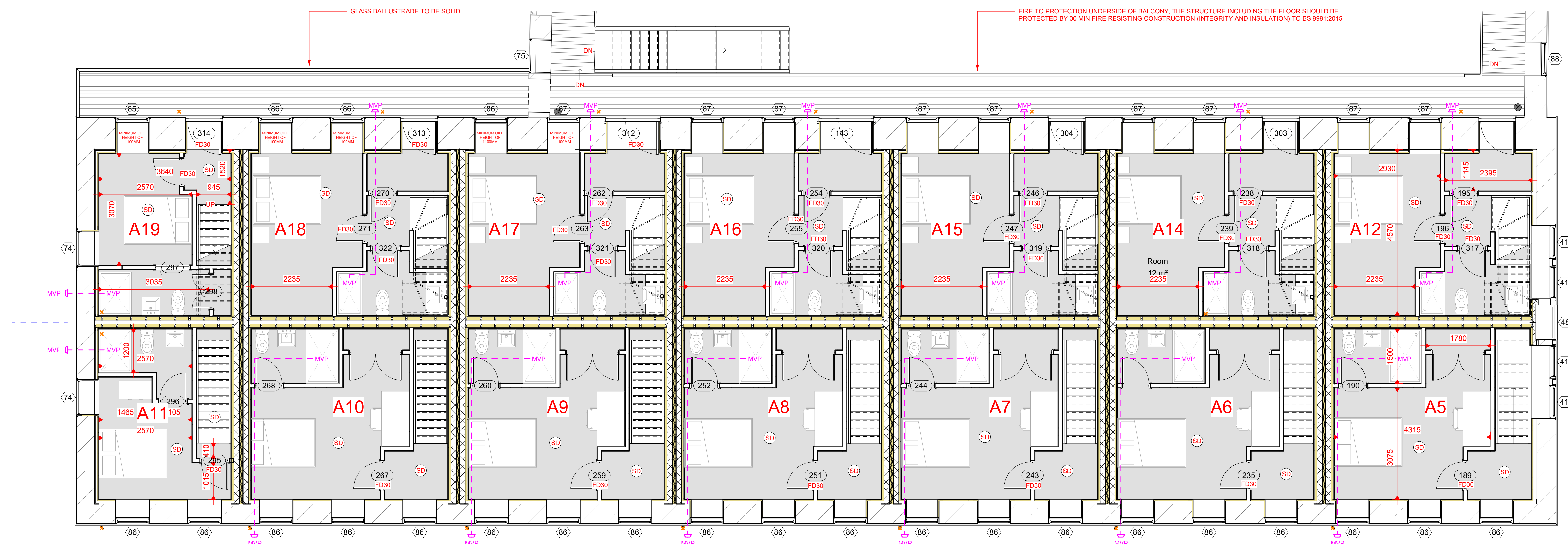
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NOT FOR CONSTRUCTION USE



1 PROPOSED BLOCK A FF
1 : 50



2 PROPOSED BLOCK A SF
1 : 50

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Notes:

Summary of works

- Proposed conversion of the existing former mill into 23 apartments and car parking and associated works.

1. An initial building and drainage survey has been carried out by the engineer, all matters relating to the suitability of the existing structure and the final drainage layout will be subject to a thorough investigation as the works progress. Initial drawings to be submitted to the contractor shall be in accordance with the following:
3. All materials to be suitable for their purpose and be fixed, applied or mixed in accordance with the manufacturers instructions and specifications.
4. The Contractor shall take into account necessary for the proper execution of the works to the satisfaction of the appointed approved inspector. The contractor shall be responsible for the accuracy of all dimensions and for the correct setting out of the works onsite.
5. The Contractor is to notify the architect of any discrepancies as soon as they become reasonably apparent prior to the work being carried out.
6. All works and materials to comply with the recommendations of the respective board or authority to the satisfaction of the approved inspector.

Notes: All drawings and details are included on the architectural drawings.

but specific reference must be made to the consultant's information to ensure the works are constructed in accordance with the details.

7. Sizes and strengths of all material to comply with the current building regulations

8. The works are to be carried out in accordance with the specification and the approved Inspector is to be kept fully informed by the contractor of the progress in order to arrange the site visits.

[illegible]

Client: **MR R EVANS**

Project: THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

Sheet: PROPOSED BLOCK A FIRST FLOOR & SECOND FLOOR

Project number: PHA/425

Date: 08/10/2021

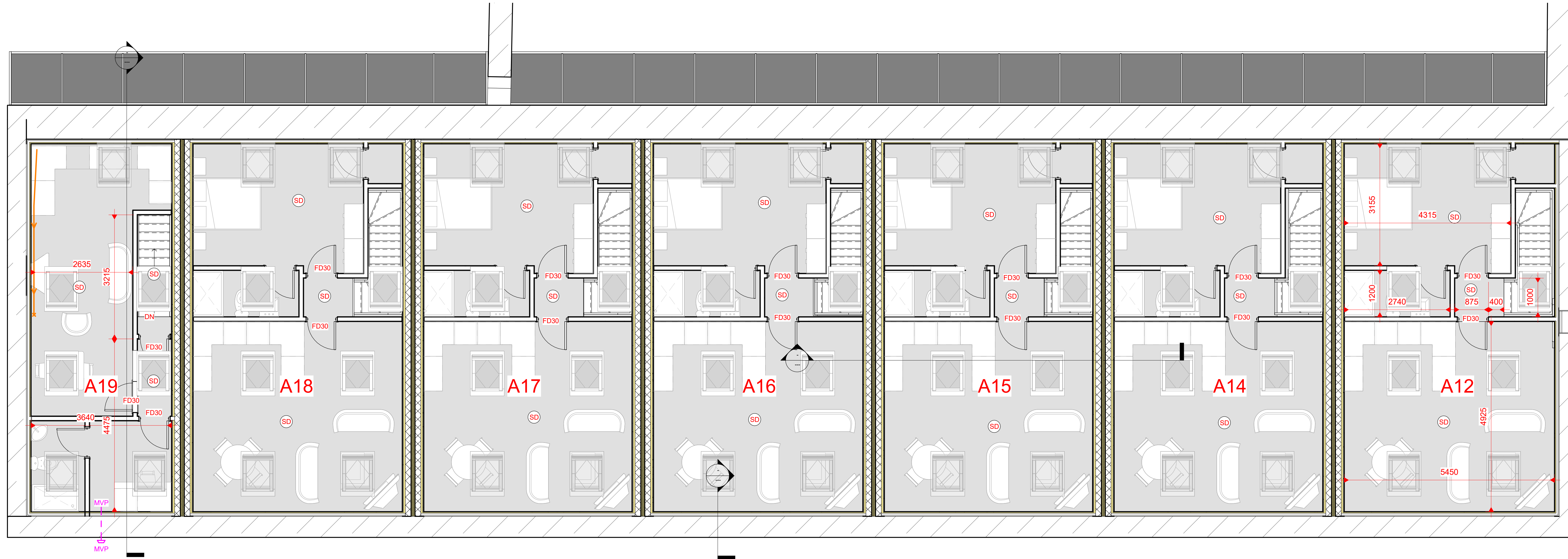
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Checked by: PH

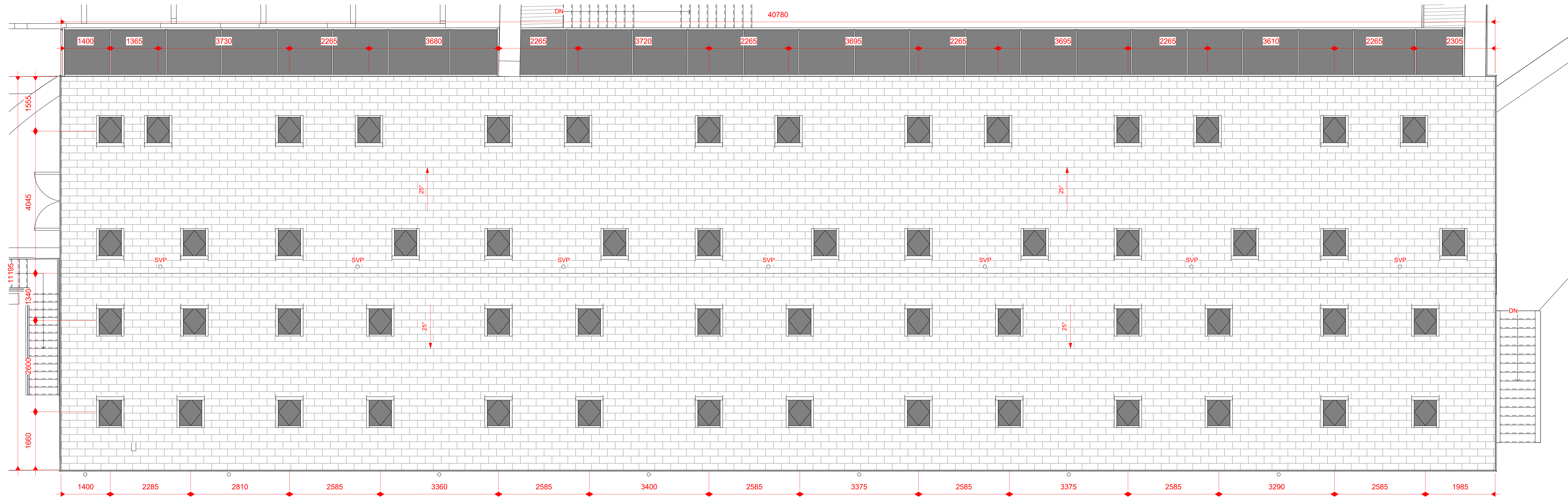
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NOT FOR CONSTRUCTION USE



1 PROPOSED BLOCK A TF
1 : 50



2 PROPOSED BLOCK A ROOF PLAN
1 : 50

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Notes:

Summary of works

- Proposed conversion of the existing former mill into 23 apartments and car parking and associated works.

1. An initial building and drainage survey has been carried out by the engineer, all matters relating to the suitability of the existing structure and the proposed works to be undertaken have been investigated and approved for the works to proceed. Initial survey work to determine the design as far as is practical.
2. All work to be undertaken has been approved for its purpose and be fixed, applied or made in accordance with the manufacturer's instructions and specifications.
3. The contractor shall take into account the necessary for the proper execution of the works to the satisfaction of the appointed approved Inspector. The contractor shall be responsible for the accuracy of all dimensions and for the correct setting out of the works.
4. The Contractor is to notify the architect of any discrepancies as soon as they become reasonably apparent and prior to the work being carried out.
5. All drawings and instructions issued by the architect, and the written recommendations of the respective board or authority to the satisfaction of the approved Inspector.
6. The Contractor's engineers details are included on the architectural drawings but specific reference must be made to the consultant's information documents to ensure the works are constructed in accordance with the details.
7. The Contractor's engineers are to be fully qualified and registered with the relevant regulatory bodies.
8. All work to be carried out in accordance with the specification and the approved Inspector is to be kept fully informed by the contractor of the progress in order to arrange the site visits.

[illegible]

Client:

MR R EVANS

Project:

THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

Sheet:

PROPOSED BLOCK A THIRD FLOOR & ROOF PLAN

Project number:

PHA/425

Date:

08/10/2021

Drawn by:

RH

Checked by:

PH

A1.10

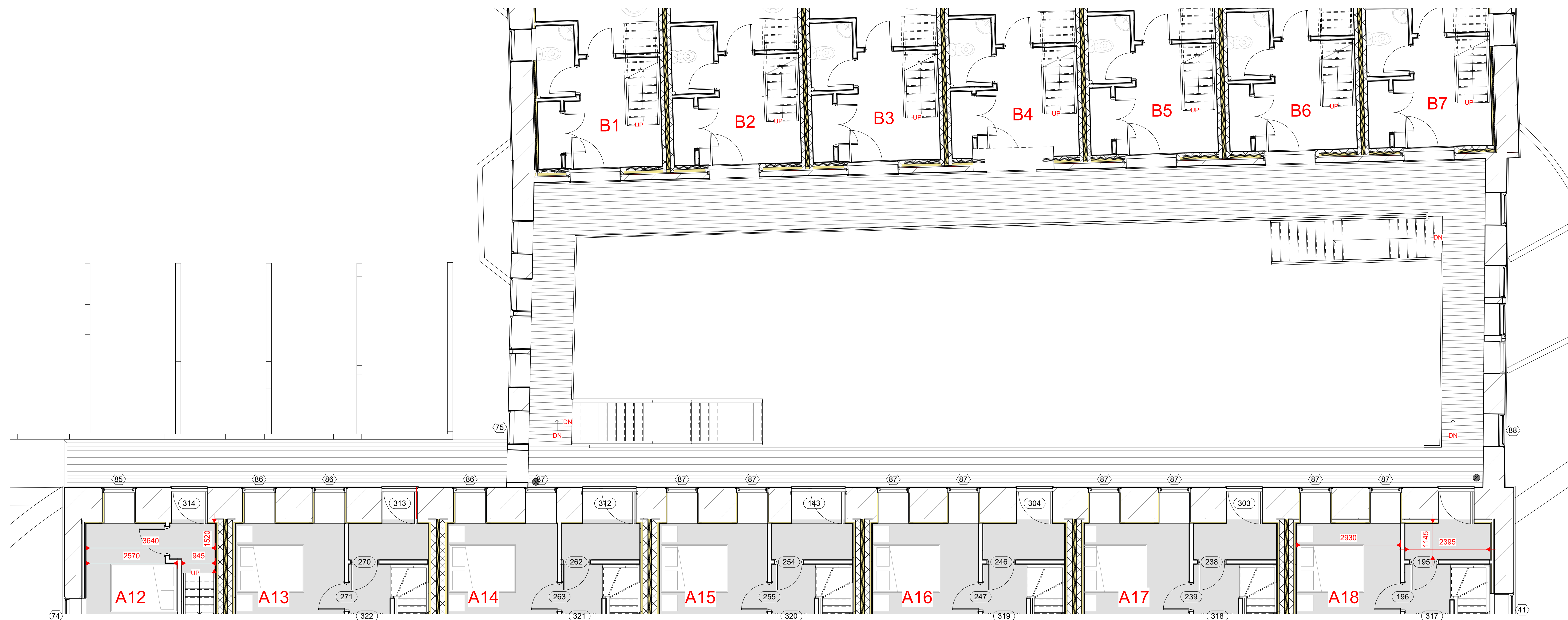
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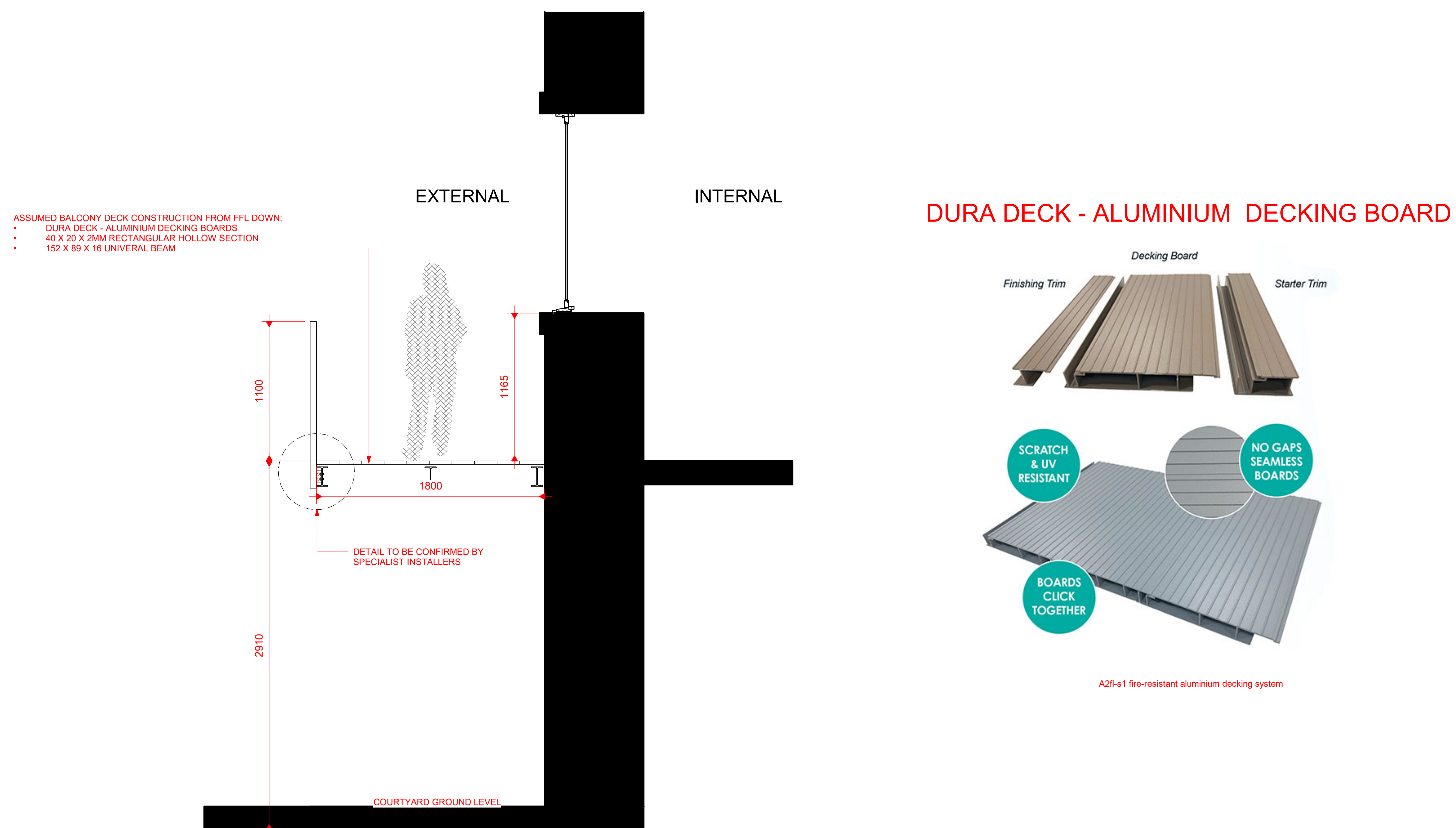
1 : 100

3 PROPOSED SOUTH
1 : 100

NOT FOR CONSTRUCTION USE



1 PROPOSED BALCONY LAYOUT
1 : 50



2 BALCONY DETAIL
1 : 20

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Notes:

[illegible][illegible]

Client:

MR R EVANS

Project:

THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

Sheet:

COURTYARD - BALCONY

Project number:

PHA/425

Date:

08/10/2021

Drawn by:

RH

Checked by:

PH

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Scale:

As indicated

2 BLOCK B ELEVATION
1 : 50

NOTES:

[illegible]

CLIENT:

MR R EVANS

PROJECT:

THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

SHEET:

PROPOSED PARKING ARRANGEMENTS

Project number

PHA/425

Date

08/10/2021

Drawn by

JD

Checked by

PH

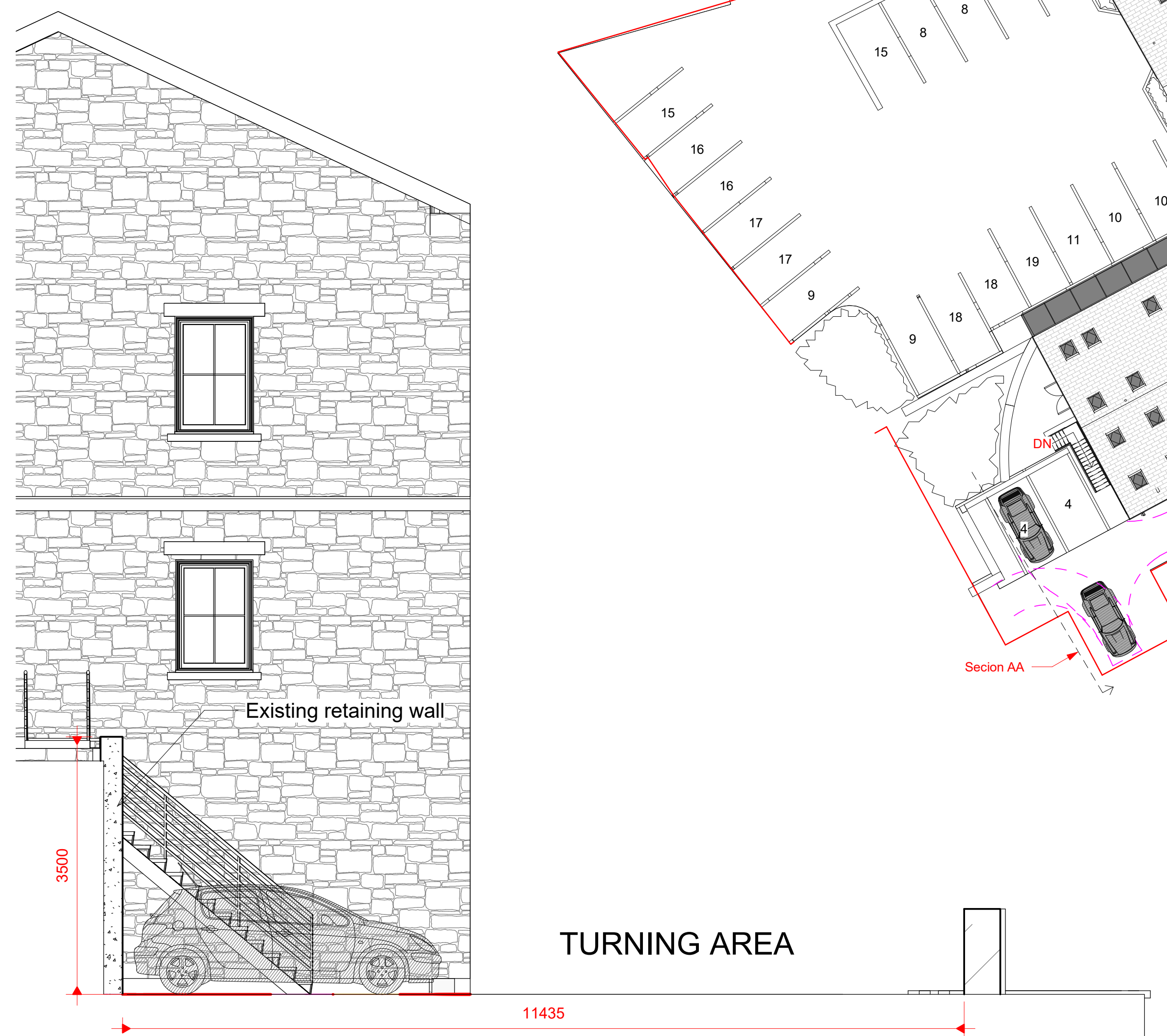
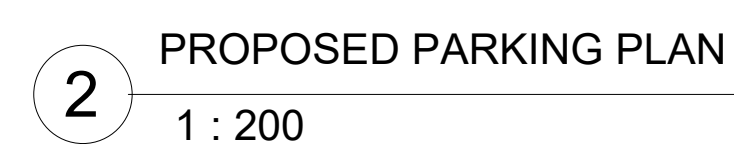
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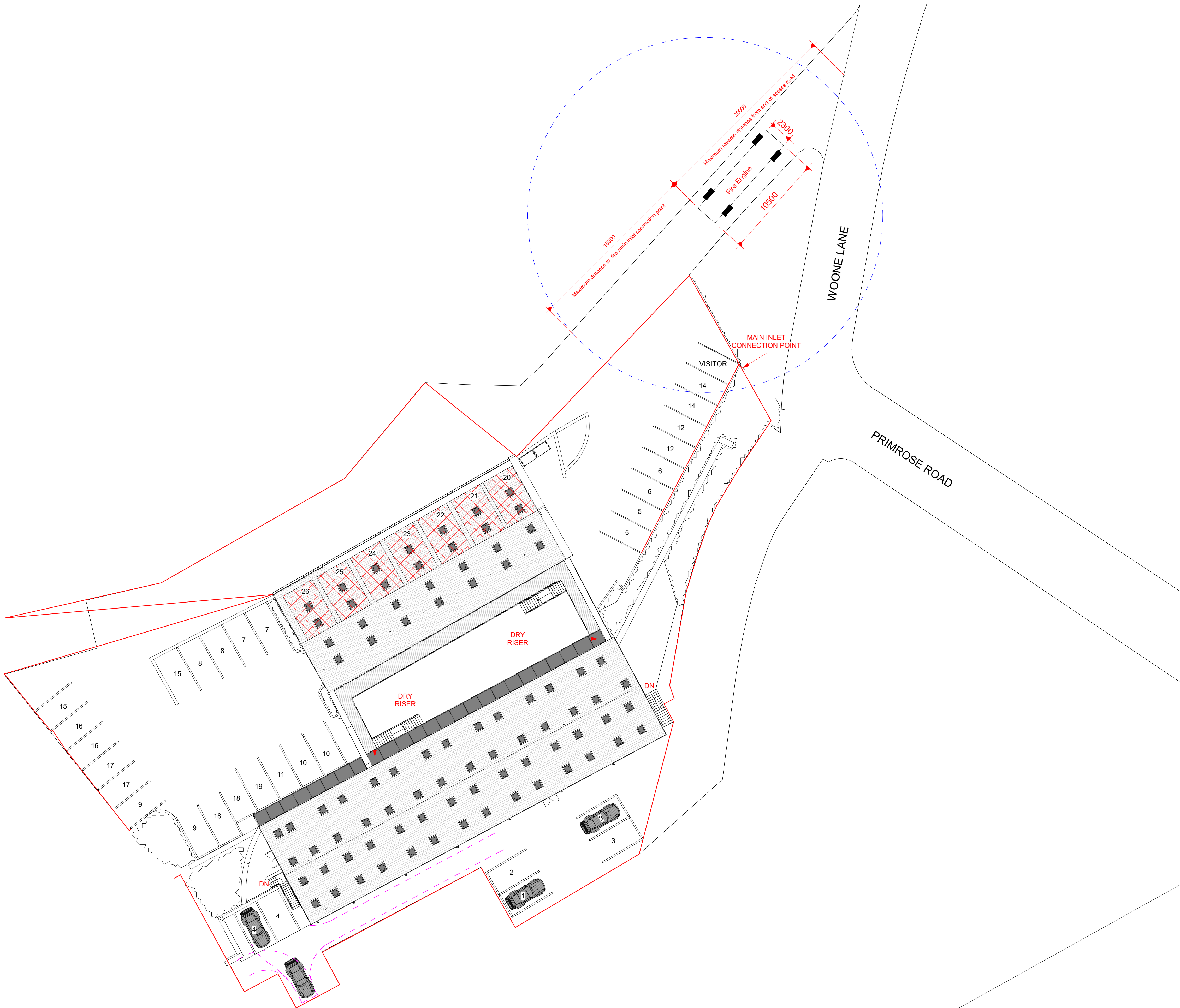
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Section AA

1 : 50

- ALL PARKING BAYS ARE 4.8 X 2.4M
- ALL EXTERNAL PARKING NUMBERS RELATE TO THE APARTMENTS IN BLOCK B
- REFER TO THE APARTMENT FLOOR PLANS



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NOTES:

No.	Description	Date

CLIENT:

MR R EVANS

PROJECT:

THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

SHEET:

PROPOSED FIRE STRATEGY
PLAN

Project number

PHA/425

Date

08/10/2021

Drawn by

JD

Checked by

PH

A1.18

Scale

1 : 200

Sheet size

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NOT FOR CONSTRUCTION USE

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Notes:

Summary of works

- Proposed conversion of the existing former mill into 23 apartments and car parking and associated works.

1. An initial building drainage survey has been carried out by the engineer, all matters relating to the suitability of the existing structure and the final drainage layout will be subject to a thorough investigation as the works progress. Initial survey work to determine the design as far as is practical.
3. All materials to be suitable for their purpose and be fixed, applied or mixed in accordance with the manufacturers instructions and specifications.
4. The contractor shall take into account necessary for the proper execution of the works to the satisfaction of the appointed approved inspector. The contractor shall be responsible for the accuracy of all dimensions and for the correct setting out of the works onsite.

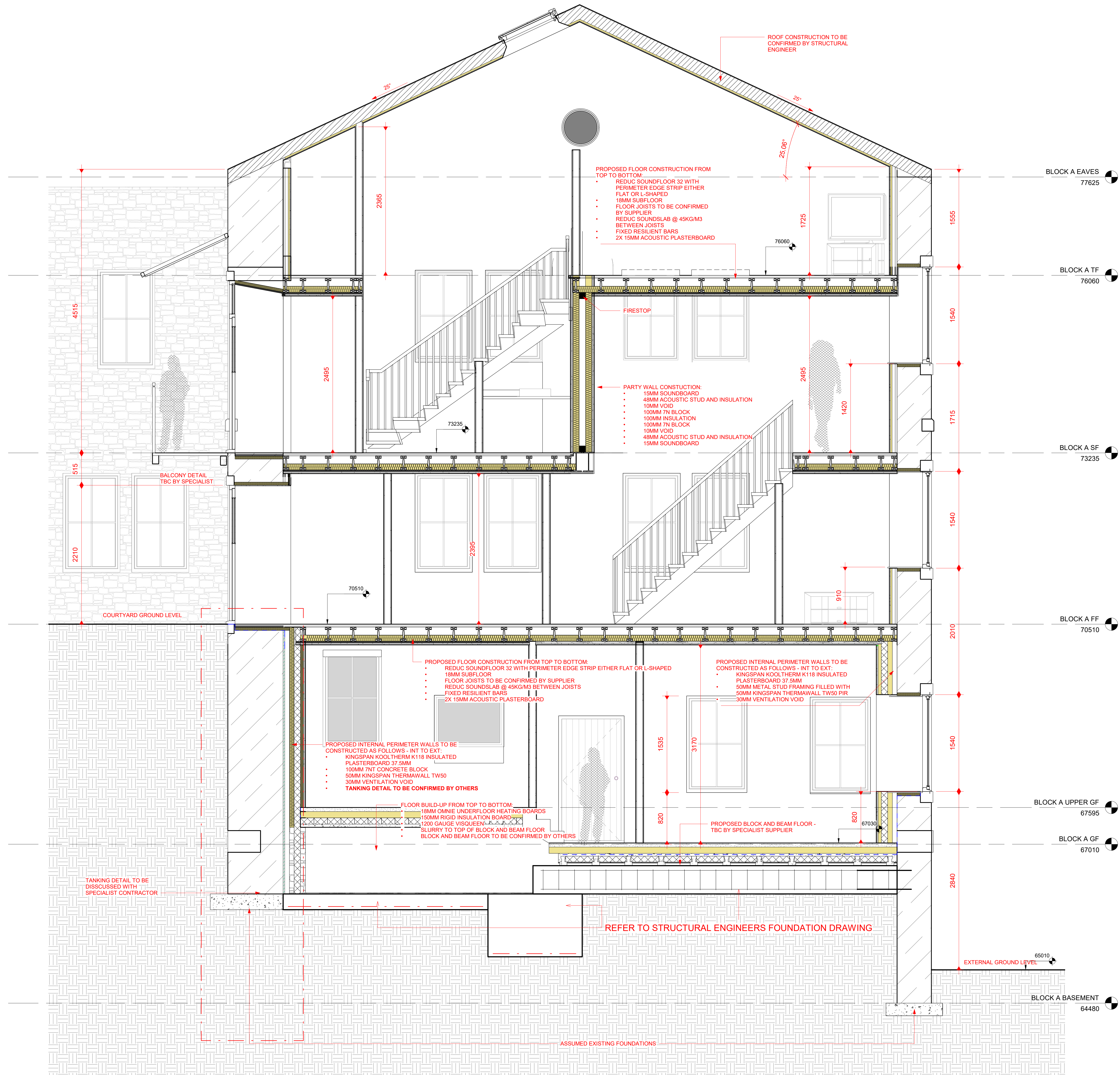
5. All works and installations to comply with the regulations and recommendations of the respective board or authority to the satisfaction of the approved inspector.

6. The Structural engineers details are included on the architectural drawings but specific reference must be made to the consultant's information to ensure the works are constructed in accordance with the details.

7. Sizes and strengths of all material to comply with the current building regulations

8. The works are to be carried out in accordance with the specification and

6. The works are to be carried out in accordance with the specification and the approved Inspector is to be kept fully informed by the contractor of the progress in order to arrange the site visits.



1 PROPOSED BLOCK A SECTION
1 : 25

Client:

MR R EVANS

Project:

THE OLD COTTON MILL,
PRIMROSE ROAD, CLITHEROE

Sheet:

PROPOSED BLOCK A SECTION

Project number:

PHA/425

Date:

08/10/2021

Drawn by:

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