



HODDER GRANGE
PARAGRAPH 80e
DESIGN & ACCESS STATEMENT

MR & MRS BELL
SEPTEMBER 2021
2490 / REV A

AUTHOR	VERSION	CHECKED	DATE	DESCRIPTION
SF/RC	REV -		16/09/2021	DRAFT
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SUMMARY

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PREPARED BY
RURAL SOLUTIONS LTD

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SUMMARY

HEADLINES

- To design a new private country residence for Mr & Mrs Bell who wish to continue to live in the area & enjoy the countryside whilst managing the wider site
- To design the first Passivhaus Plus new build property in the North West & the first classically designed Passivhaus Plus property in the world
- To bring significant ecological & environmental benefits to the wider landscape (to deliver an outstanding array of enhancements to the site of which the new traditional house is the centre-point)
- To create a dwelling of exceptional design
- To take a holistic approach that demonstrates the integration of disciplines within the site, breaking down the barriers between architecture, landscape architecture, ecology & biodiversity, sustainability & water management
- To design a traditional dwelling rooted in the history of the area, that embodies the best traditional architecture prevalent in the Forest of Bowland whilst responding to the practical needs of a country estate
- To understand the importance of isolated country houses & farms in the Forest of Bowland
- To utilise the key views of the surrounding landscape and mature woodland from the site, through the positioning & design of the property which will enrich the relationship & frame views of the new dwelling within the existing landscape

SITE PARAMETERS

- To reflect on historic architectural styles & houses of the area such as Browsholme Hall
- Higher Hodder Bridge is Grade II Listed
- Site is located within the Forest of Bowland AONB
- Study shows a deep historical & cultural understanding of the local area & explains in detail, providing numerous local examples, that a substantial number of country houses in the wider Forest of Bowland exhibit a pure classical Georgian style, & embody the principles of Palladian design, symmetry, order & balance

DESIGN SOLUTIONS

- The simple & unostentatious architecture of the Georgian era is exemplified in this 21st Century dwelling in an honest & sensitive way whilst also bringing significant positive impact both in environmental & landscape terms, developed in response to analysis of an in-depth study of the tradition of country houses in The Forest of Bowland, the Ribble Valley, Lancashire & England resulting in a traditional form & architectural typology - an exemplar of classical architecture based upon the Georgian country villa
- To ensure the design of the property is exceptional & reflects the highest standards in architecture to help raise standards of design in rural areas
- Ensured the proposal is sensitive to the defining characteristics of the local area & designations of the site & landscape
- Exploration of form, materiality & innovative technologies combined with wider expertise to create an exemplar Passivhaus Plus classically designed home

1.1 INTRODUCTION

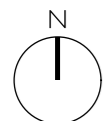
Rural Solutions Ltd have been commissioned by Mr & Mrs Bell to submit a planning application for the construction of a truly outstanding country house on land adjacent to the River Hodder, Lancashire in the Forest of Bowland Area of Outstanding Natural Beauty (AONB).

Planning permission for a new dwelling in the open countryside can be policy compliant according to paragraph 80e (formerly paragraph 79 & 55) of the National Planning Policy Framework (NPPF), which states:

“ 80. Planning policies and decisions should avoid the development of isolated homes in the countryside unless one or more of the following circumstances apply:

- e) the design is of exceptional quality, in that it:
- Is truly outstanding, reflecting the highest standards in architecture, and would help to raise standards of design more generally in rural areas; and
 - Would significantly enhance its immediate setting, and be sensitive to the defining characteristics of the local area

Chapter 5 Delivering a sufficient supply of homes, Rural Housing, Paragraph 80, NPPF July 2021 Ministry of Housing, Communities and Local Government.



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2.1 SITE CONTEXT

The site is an open field situated to the East of the River Hodder which is a County Biological Heritage Site. Lower Hodder Bridge is located 0.20 km North of the site and crosses the river, with Longridge Fell situated 2.85 km to the North-West of the site. The closest settlement to the site is the town of Clitheroe, in the Ribble Valley of Lancashire, which is located 3.60 km to the North-East.

The site comprises of 12.8 hectares. Trees line the boundaries of the site, partially screening it from the adjacent River Hodder and surrounding open landscape. The topography of the site slopes from the East down towards the River Hodder and is surrounded by open fields with views of the neighbouring Longridge Fell.

The site itself is situated within the Forest of Bowland AONB with Site of Special Scientific Interest (SSSI) surrounding the site. These landscape designations will need to be considered as part of the proposal.

The Forest of Bowland is a landscape which is rich in heritage; many of the features present in Bowland today were established in the post medieval period. By the late 14th Century, Bowland comprised of a Royal Forest and a Liberty of ten Manors spanning almost 300 square miles. During the medieval period, the Royal hunting forests were established - the title 'forest' refers to hunting rights and not to woodlands.

- 1 View of the Eastern site from the Public Right of Way running through the site
- 2 Panoramic view to the South West from the central plateau
- 3 A glimpsed view from across the River Hodder



2.2 SITE LOCATION

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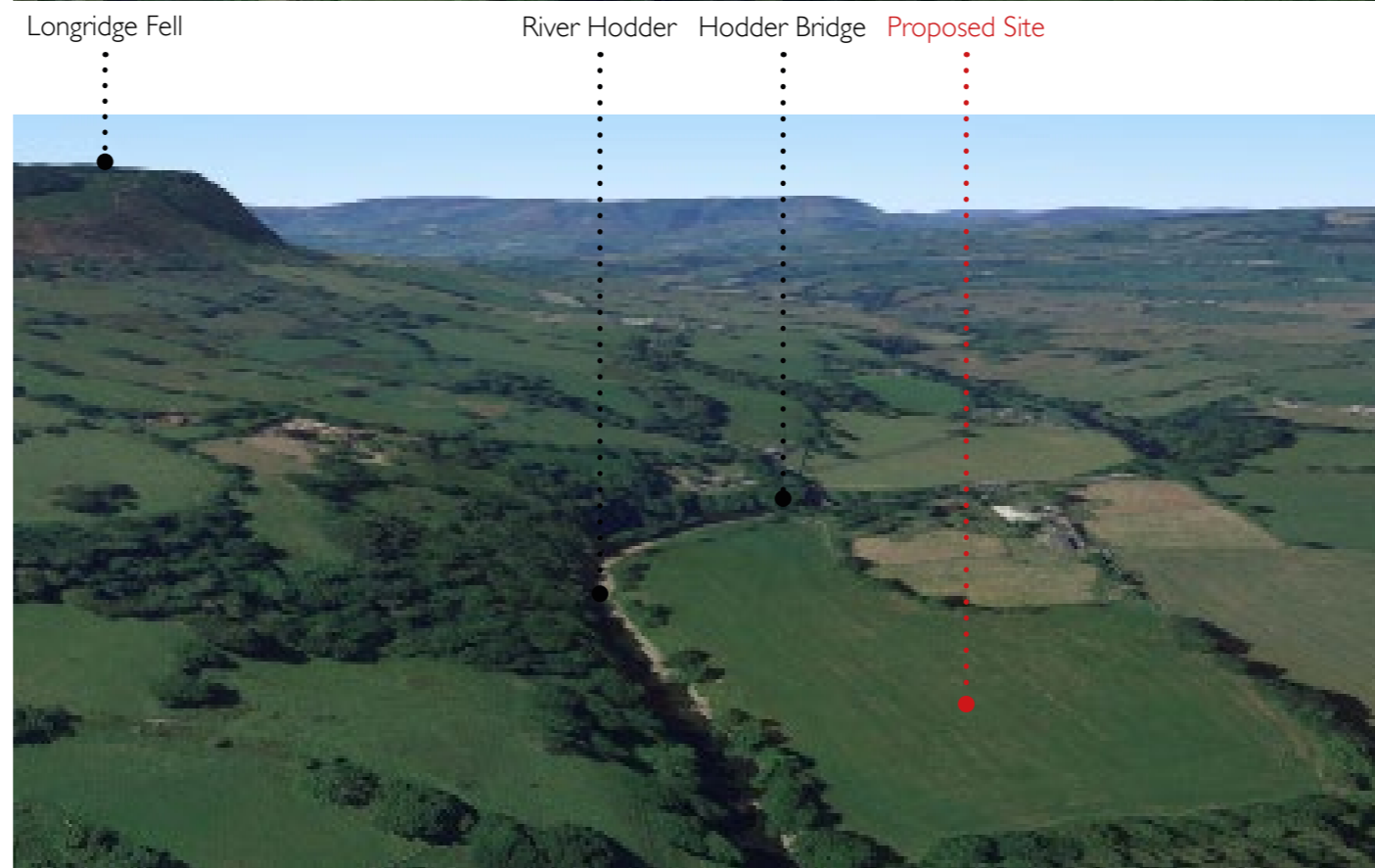
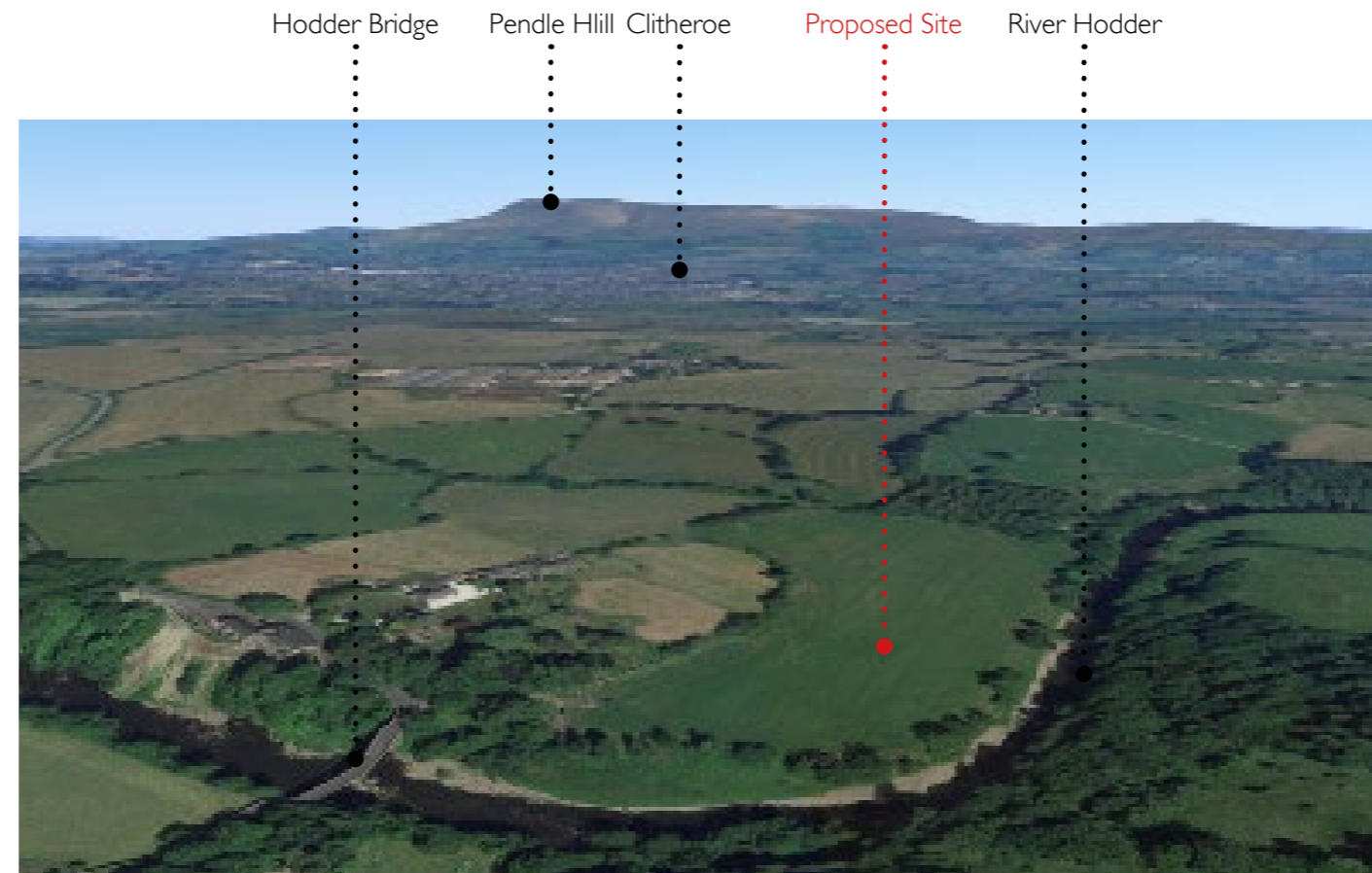
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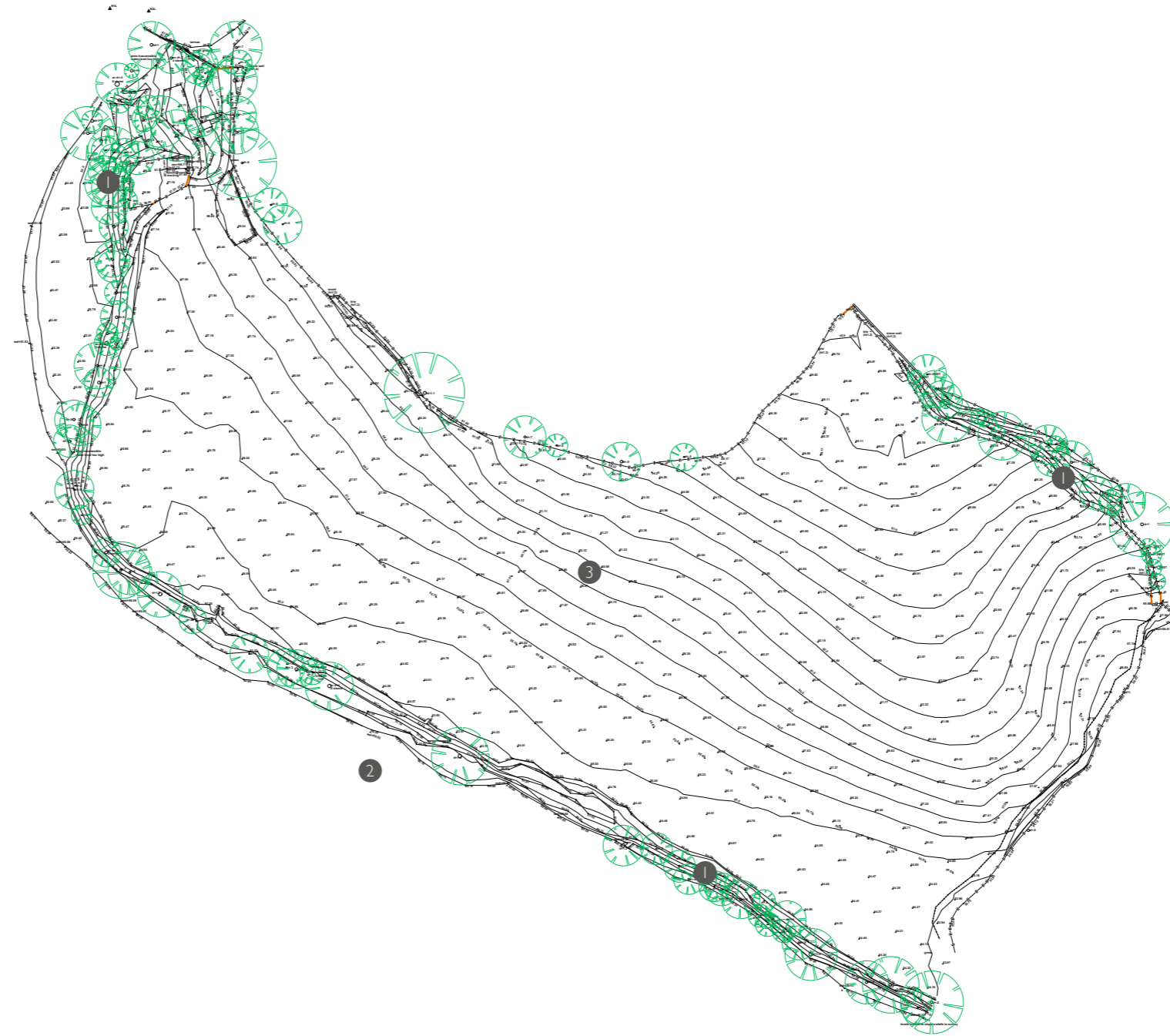
2.3 WIDER CONTEXT



2.4 SITE PLAN_AS EXISTING 1:1000 @ A1

KEY

- 1 Trees
- 2 River Hodder
- 3 Contours



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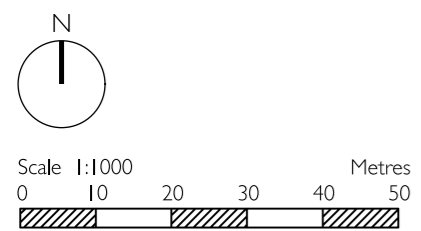
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2.5 SITE DEFINING CHARACTERISTICS

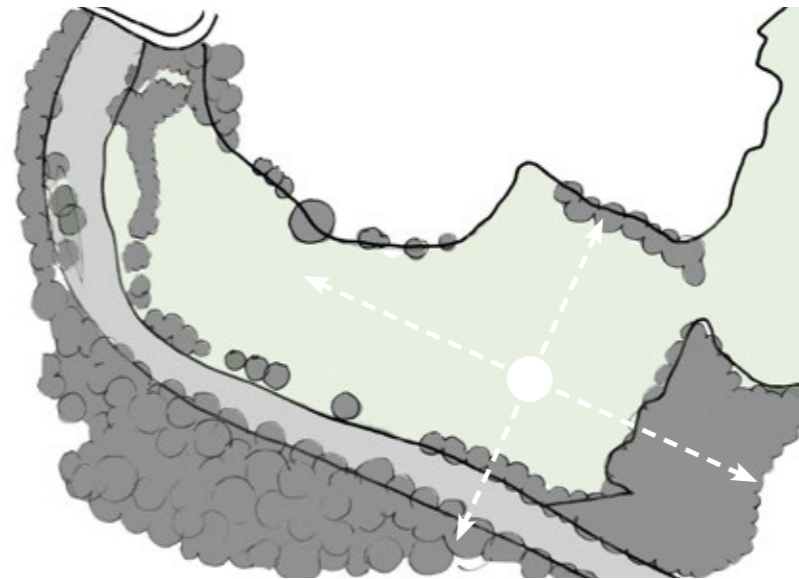
Ecologically degraded field

Provides opportunity for enhancement



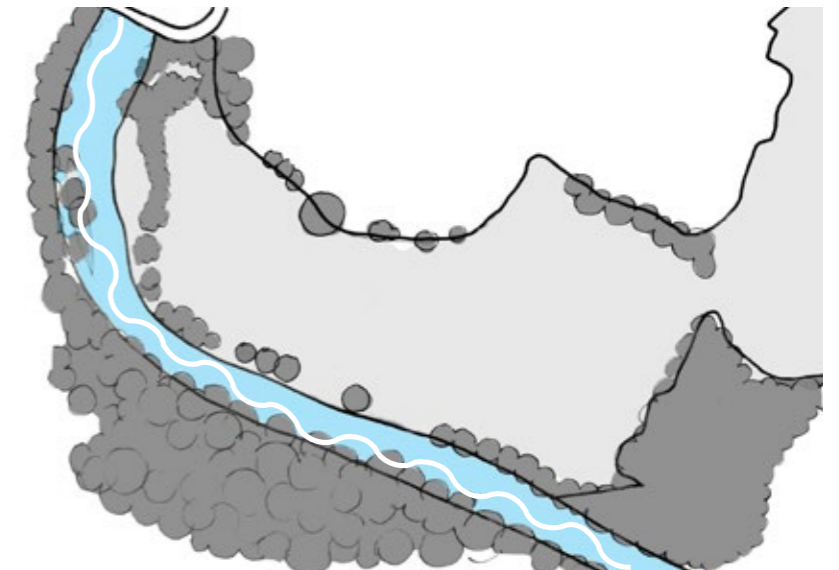
Focal point

At intersection of views within 'Amphitheatre'



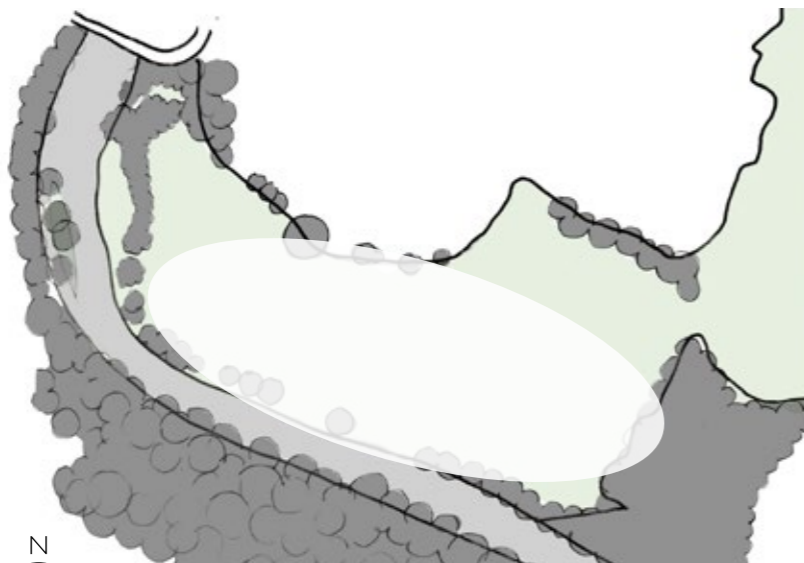
A Bow in the bend of the river

Curving around the site



Trees form a 'Green Amphitheatre'

Creates a natural sense of enclosure



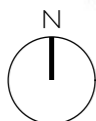
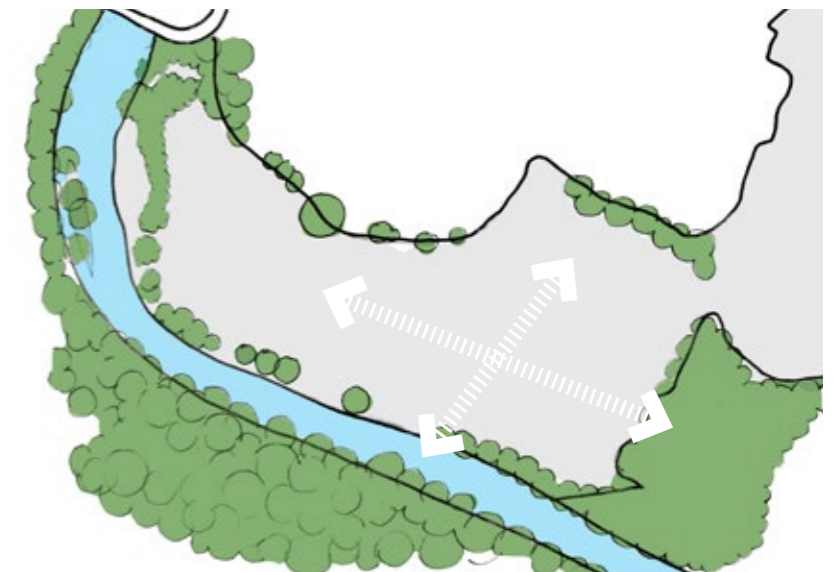
Filtered views

Glimpsed through the trees



Panoramic views

Wide panoramic views of the landscape



2.6 FILTERED VIEWS OF A ROMANTIC CANVAS



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2.7 HISTORICAL MAP ANALYSIS

The adjacent maps of the site and immediate surroundings differ very little from the current context. The built form shown in this area is and has been limited to isolated, dwellings or small clusters. A new dwelling on the proposed site would follow example of other isolated country houses in the area such as nearby Bashall Hall and Browsholme Hall. The former Bashall Lodge, a historic country mansion with barns, garden and land is shown on the last historic map shown adjacent (dated 1886 - 1894). Although the lodge has been demolished, the lodge plantation survives and the outline of the plot remains legible, refer to page 29 of the heritage report.

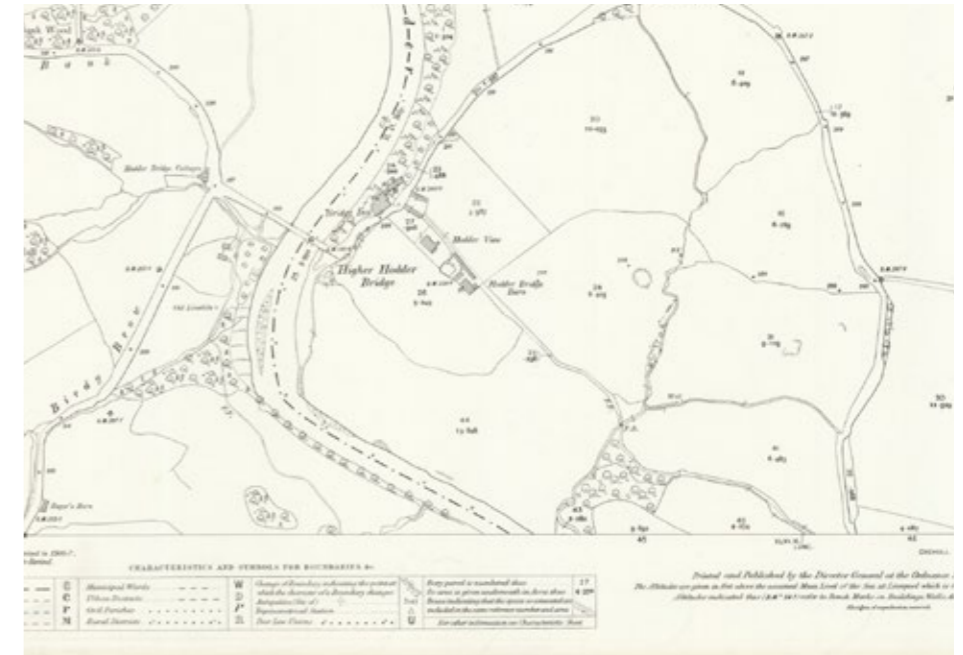
The predominant historic patterns in the Bowland landscape are medieval in date and demonstrate continuity in landownership, community and management over the Centuries. There are variations across the landscape; estate villages, farming settlements, large country estates, larger villages such as Slaidburn and industrial hamlets.

The origins of the name 'Forest of Bowland', the region where the site lies, refers to the meander or 'Bow' of the River Hodder. The proposed site of this project lies in a 'Bow' in the River Hodder. The adjacent maps show development around the Hodder Bridge reinforcing the importance of the bow of the river as a site for building.

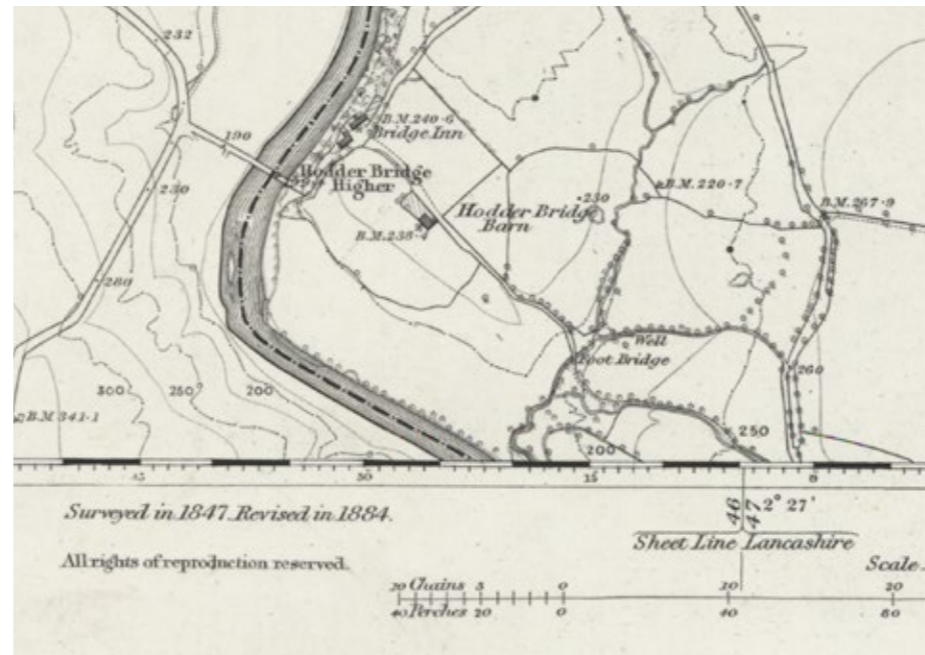
Higher Hodder Bridge is located to the North of the site and this structure is Grade II Listed. There are only limited and intermittent views from the bridge to the site. It is at a much lower level than the site and separated by a bend in the river, therefore, there is little visual connectivity between them.



1850



1901



1884



1886 - 1894

3.1 THE TRADITION OF COUNTRY HOUSES IN THE FOREST OF BOWLAND

'The Tradition of Country Houses in the Forest of Bowland, Ribble Valley, Lancashire and England' by John Hinchcliffe studied the extensive network of historic country houses in close proximity to the site. The study sets out the role of the country house as a 'defining characteristic' of the Forest of Bowland in the wider context of the tradition of country houses.

“ The isolated country houses set in formal parkland, such as Browsholme and Quernmore, are a typical feature of the landscape. A particular feature of this area is the number of large country houses and halls set in parkland, such as Ellel Grange, Waddow Hall, Bolton Park and Leagram Hall, as well as country estates, such as Abbeystead, which have developed from the medieval period.

'Character Assessment' by Natural England

There are many fine examples of stone buildings, built between the 16th and 18th Centuries often to replace earlier timber houses. Grand halls, parks and houses were built such as Browsholme Hall, Leagram, Bashall Hall and Quernmore and from these Estates, the gentry had a controlling influence over the surrounding area. They also hunted in the Forest, traditionally for deer and wild boar but also for rabbits, foxes, hares, pheasants and partridges.

The clients' wish for a new country home in this area is based on the high quality traditional architecture of these examples. The proposal will follow the scale, form and appearance of the local historic country houses, whilst incorporating innovative, modern technologies.



3.2 LOCAL LISTED COUNTRY HOUSES PRECEDENTS



Browsholme Hall, Forest of Bowland (Grade I Listed)



Stonyhurst, Clitheroe (Grade I Listed)



Bashall Hall, Bashall Eaves (Grade II* Listed)



Chaigney Manor, Clitheroe (Grade II* Listed)



Rivington Hall, Rivington (Grade II* Listed)



Whins House, Sabden (Grade II Listed)

3.3 LOCAL LISTED NEO-CLASSICAL GEORGIAN COUNTRY HOUSES PRECEDENTS

In order to draw inspiration for the form, scale and appearance of the dwelling a range of case studies have been gathered, some of these are demonstrated adjacent. These depict the spatial qualities of Georgian architecture, the style the clients requested the proposed dwelling to follow.

'*God is in the detail*' is a quote that resonates not only in modern times but also prior to the 20th Century. The Georgian era can be described as developing a wealth of detail that further enhanced the overall architecture of the period. The importance of these buildings is reflected in the fact that many of them are Grade II or II* Listed status.

There are numerous examples of Georgian architecture in the locality as it described in the separate report on the tradition of country houses in the area. The design of the new house follows this approach and is appropriate to its setting. Townhead Farm and Newton Hall near Slaidburn, shown adjacent, are examples of Georgian country houses in the region of the site.

The adjacent examples help to depict the materials, appearance and style aiming to achieve in the proposed new dwelling.

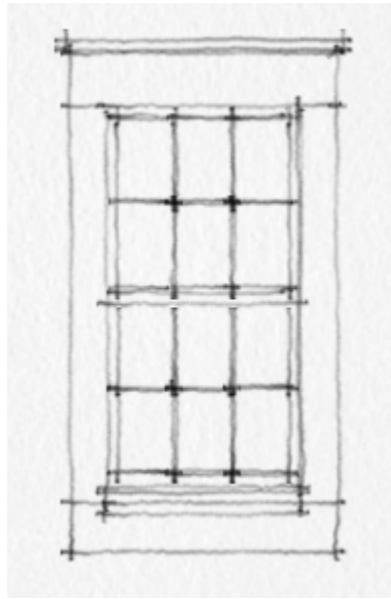
- 1 Downham Hall, Downham (Grade II* Listed)
- 2 Townhead, Slaidburn (Grade II* Listed)
- 3 Whins House, Sabden (Grade II Listed)
- 4 Cogshall Hall, Comberbatch (Grade II* Listed)
- 5 Parbold Hall, Parbold (Grade II* Listed)
- 6 Casterton Hall, Kirkby Lonsdale (Grade II Listed)



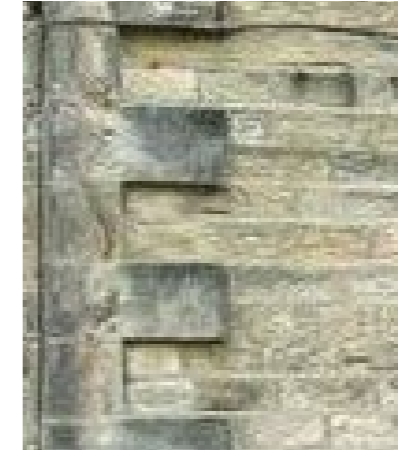
3.4 ARCHITECTURAL REFERENCES TO LOCAL LISTED COUNTRY HOUSES



Stone heads and jambs with sliding sash window, Whins House, Sabden



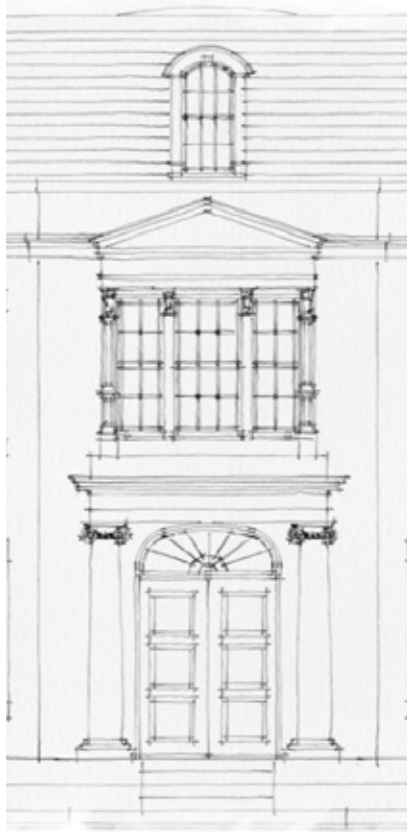
Bowed Portico & Orangery at Casterton Hall, Kirkby Lonsdale (Grade II Listed)



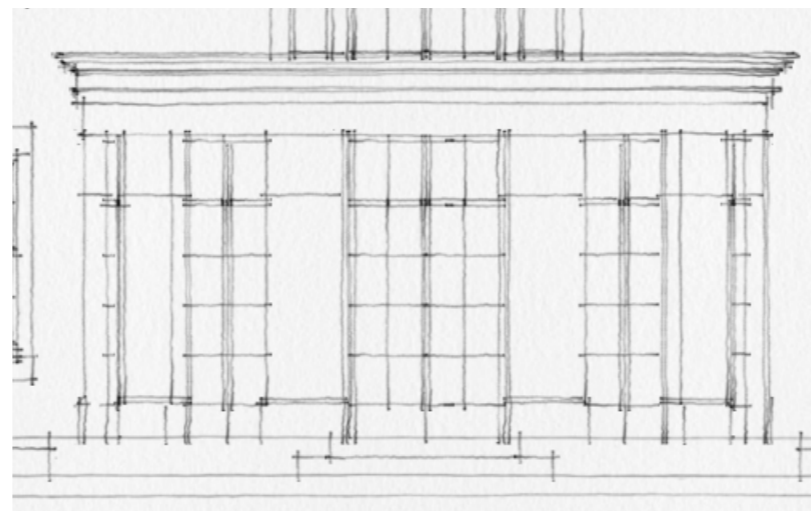
Projecting Quoins at Whins Hall, Sabden (Grade II Listed)



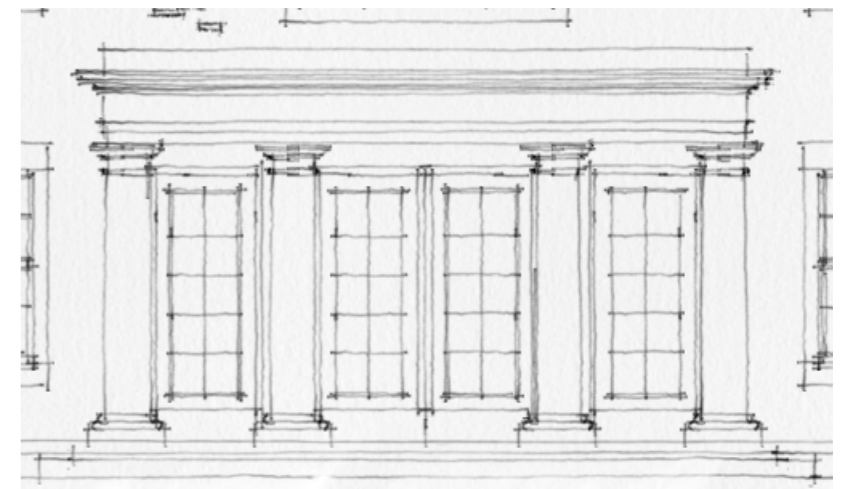
Parapet and cornice at Downham Hall



Tower of Orders (reference to Stonyhurst & Browsholme Hall)
North West Elevation_As Proposed



Bowed Portico (reference to Casterton Hall)
South West Elevation_As Proposed



Row of four columns (reference to Downham Hall)
North East Elevation_As Proposed



Row of four columns, parapet & cornice detail at Downham Hall, Clitheroe (Grade II * Listed)

3.5 HISTORICAL STABLES PRECEDENTS

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Gibside Stables, Newcastle



Kinston Lacy Stables, Wimborne Minster



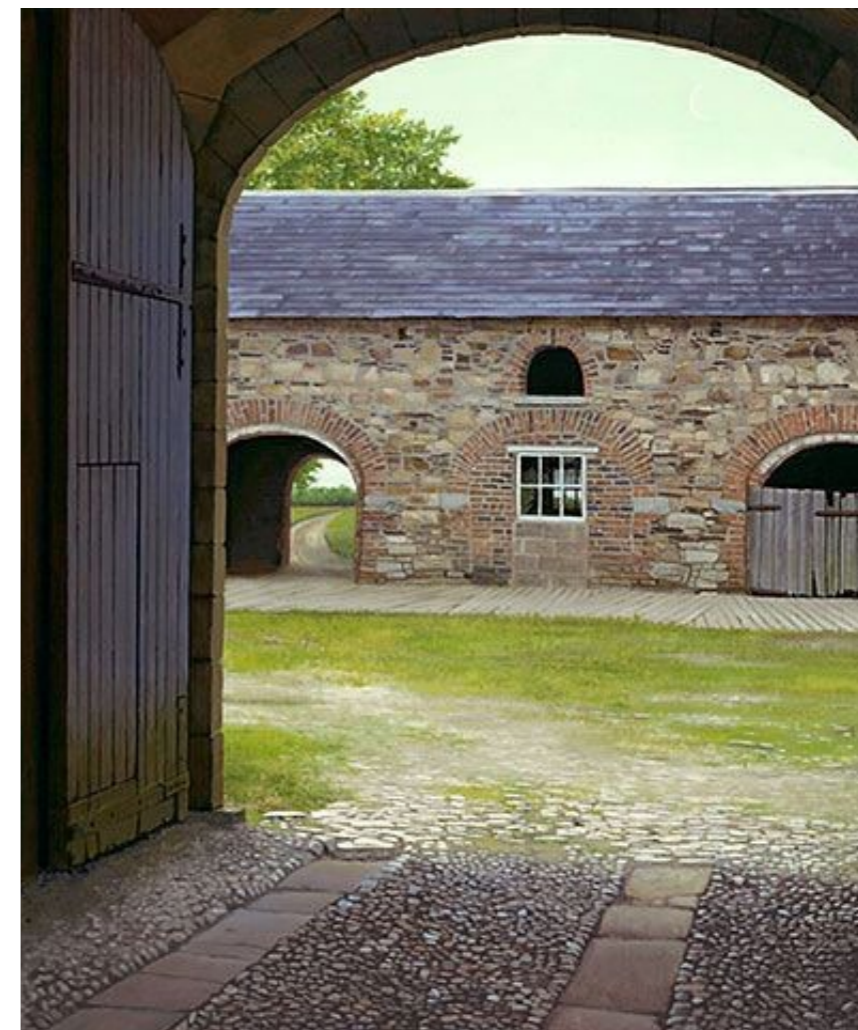
Hall Lane, Antrobus



Stables Cottage Hendersyde



The Courtyard & Stable Yard, The Carriage Rooms, Montalto



Traditional stable yard

3.6 'GENIUS LOCI' & THE INFLUENCE OF ROMANTICISM



“ To select, combine & concentrate that which is beautiful in nature & admirable in art is as much the business of the landscape painter in his line as in the other departments of art

J. M. W. Turner

3.6 'GENIUS LOCI' & THE INFLUENCE OF ROMANTICISM

A natural green amphitheatre surrounds a sloping field. Where the view from Hodder Bridge meets a shallow basin, there is a confluence of views, a central stage. The place evokes a William Turner painting where the autumn mists cling to the treetops over the bow of the River Hodder. This magical place focuses the eye on its central basin, a blank canvas within the heart of the green backdrop.

When visiting the site, some of the most prominent qualities of the landscape were the colours of the leaves in the surrounding mature woodland dappled by the soft overcast light and mist, which evoked a sense of a William Turner painting.

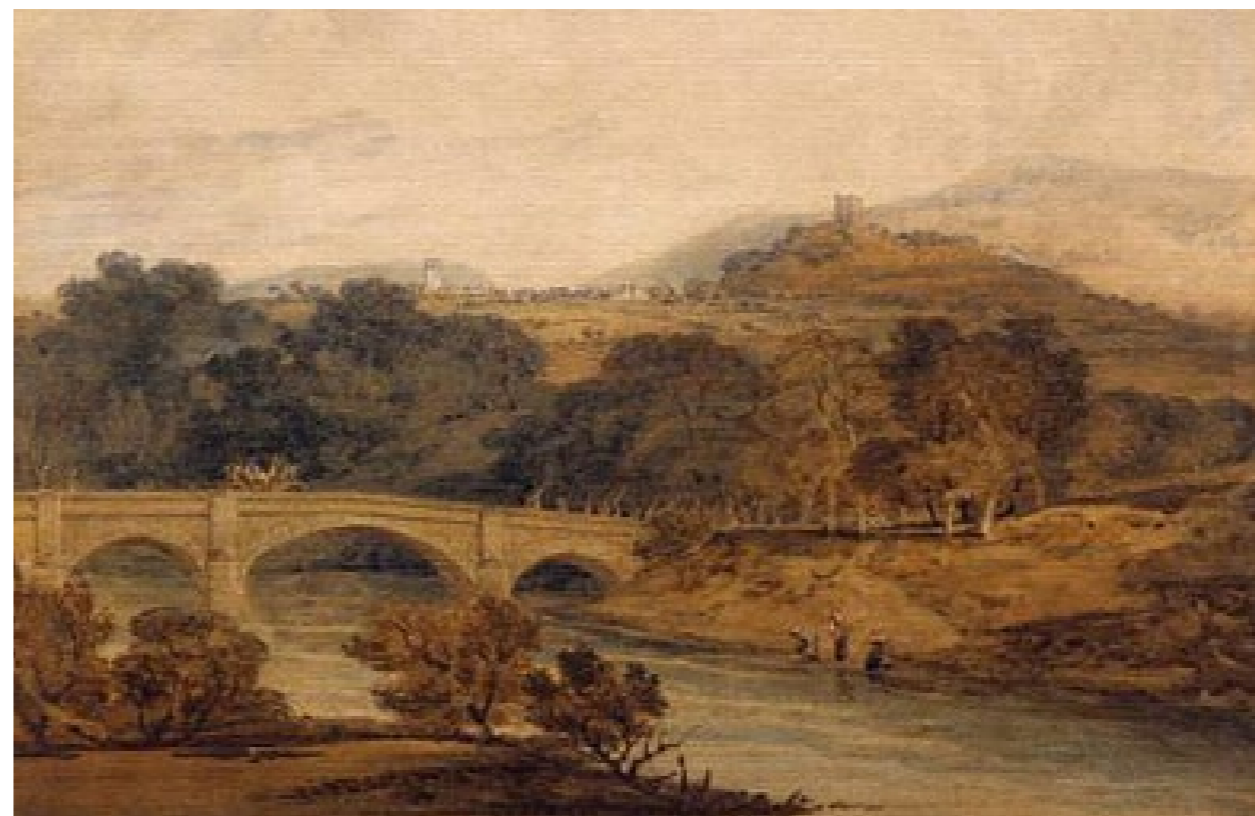
Positioning the new house on the site in a manner that captures and embraces these qualities depicted by Turner in his paintings will enrich the relationship of the new dwelling with the existing landscape. The position of the proposal, as shown on the proposed site plan in this document, endeavours to frame views that embody these qualities and also reinforce these qualities when viewed within the setting for the benefit of others, in a similar manner to Turner's depiction of Browsholme Hall, adjacent.



Early sketch



William Turner painting of nearby Browsholme Hall



William Turner painting of nearby Eadesford bridge

3.7 PASSIVHAUS DESIGN



Passivhaus Plus Certified UK Precedent Images: Carrstone House, Lark Rise, Leyburn Passivhaus & Bristol Passivhaus Plus - all of these examples demonstrate that Passivhaus Plus designed houses are all contemporary in style

Hodder Grange will be the first classically designed Passivhaus Plus property in the world, The first Passivhaus Plus New Build property in the north-west, & a 'True' Zero Energy / Zero Carbon House. This exemplary home will employ a petrochemical-free building fabric & concrete free foundations setting a new low carbon standard for the rural built environment.

3.7 PASSIVHAUS DESIGN

Passivhaus Plus

Hodder Grange will be:

- A 'True' Zero Energy / Zero Carbon House
- The first Passivhaus Plus new build property in the North West; and,
- The first classically designed Passivhaus Plus property in the world

There are no other known cases of other approved buildings which would meet the Passivhaus Plus standard. Passivhaus Plus is a higher standard of sustainability than the standard Passivhaus accreditation (Passivhaus Classic).

“ Hodder Bridge will be one of, if not the most, sustainable houses built in the classically designed tradition, and an exemplar in how classical design can respond to the challenges of the 21st century.

Sustainability Statement by Ecospheric

Passivhaus Planning Package (PHPP)

The design was assessed by Ecospheric at the very earliest stage and was developed with Passivhaus principles. In order to determine whether Hodder Bridge is capable of achieving the esteemed Passivhaus Certification Levels the dwelling was modelled in the PHPP, one of the most powerful and comprehensive building physics engines and calculation tools developed by the International Passivhaus Institute of Germany. *In summary, the high level outputs indicated energy use for heating Hodder Grange is 18% lower than that of a Passivhaus Classic. Passivhaus limiting criteria is 15kWh/m²a for space heating, whereas this house is at 12.3 kWh/m²a.*

“ This project offers a unique opportunity to deliver repeatable sustainable solutions, benefiting future generations of designers, landowners and farmers... The House at Hodder Bridge will contribute to all areas of embodied and operational carbon, setting new standards for rural dwelling houses... The final product will be functional, healthy, low maintenance accommodation, capable of producing enough energy on site to power all household and site needs, appliances, lighting, space heating/cooling, domestic hot water and ventilation resulting in over 100% reduced carbon footprint over an

equivalent new build. True innovation will be necessary in order to deliver this ambitious goal, especially in a classically designed country house setting.

Sustainability Statement by Ecospheric

As such, the new dwelling will not only have a very high standard of energy efficiency but it will also represent a unique example of how to achieve this in a traditional country house of this size.

Fabric Construction Type

Juwo Evolved Smartwall blocks have the unique combination of a high thermal insulation and a high thermal mass which provides a constant indoor climate. They have a lifespan of over 100 years and contribute to an ecological and sustainable building.

Ground Floor Construction

Limecrete floor construction has a high thermal mass and the ability to deal with naturally occurring moisture.

Windows

Viking SW17 windows in engineered wood are proposed in a traditional style for their exceptional energy efficiency with class 4 airtightness performance standards.

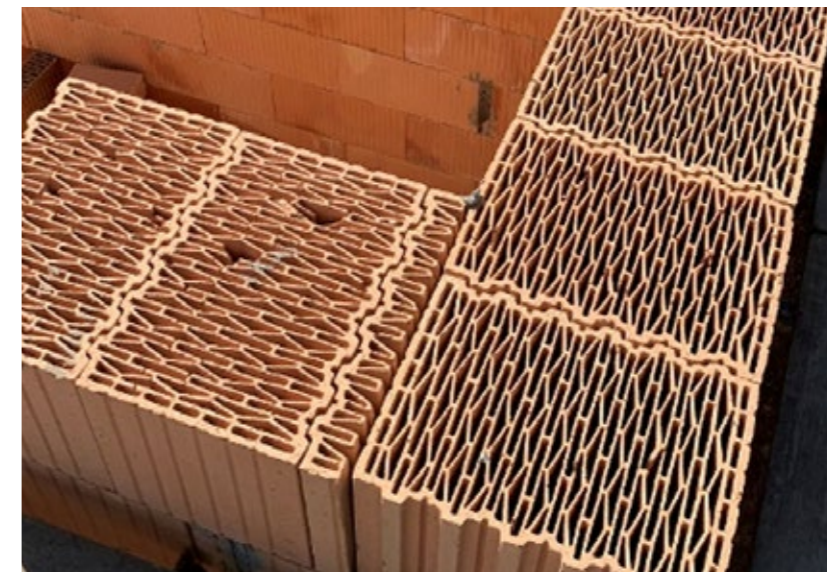
Renewable Energy Generation

Solecco solar PV tiles in a slate grey are to be positioned on the building's secondary elevations. The Ecospheric Sustainability Statement refers to the site generation and demand figures in relation to a solar PV array. *A 99m² Solecco Solar Slate array, generating 14.5kW peak and a predicted annual 13,500kWh. The second roof mounted system is to be located on the SE roof of the courtyard buildings. A 52m² Solecco Solar Slate array, generating 7.8kW peak and a predicted annual 7,000kWh. Combined site generation of 20,500kWh more than covers the total projected annual site demand of 17,000kWh (including gym, external lighting, security etc).*

An air source heat pump is proposed to be sensitively-sited inside the courtyard in a concealed location. It will provide the necessary domestic hot water and space heating for the main building. It is located within a slatted container designed for minimal visual and acoustic impact, whilst optimised for pipe run minimisation.



Slate Grey Solecco Solar PV Tiles
(As Proposed for the SE Roof of Courtyard Building)



Juwo Evolved Smartwall



Air Source Heat Pump

3.8 FOOTPRINT COMPARISON OF EXISTING COUNTRY HOUSES

Below is an approximate footprint study comparing the size of some of the established country houses within the Ribble Valley to the proposed dwelling. The adjacent aerial illustrates the proximity of existing country houses to the site for the proposed house. This information demonstrates that Hodder Grange will be sensitive in scale to the characteristics of the local country house tradition.

Chaigley Manor

Chaigley Manor - 481m²
Outbuildings - 101m² & 92m²

Total Footprint = 674m²

0.71 km North West of the site

Browsholme Hall

Browsholme Hall - 1,033m²
Cottage - 105m²

Total Footprint = 1,138m²

4.63 km North West of the site

Bashall Hall

Bashall Hall - 377m²
Outbuilding - 218m²

Total Footprint = 595m²

1.88 km North East of the site

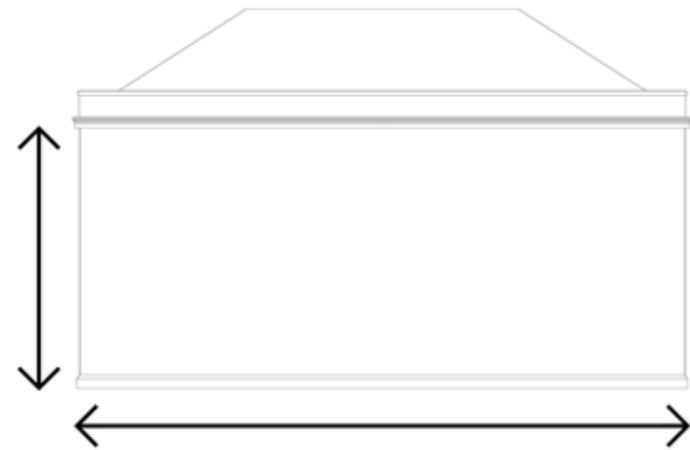
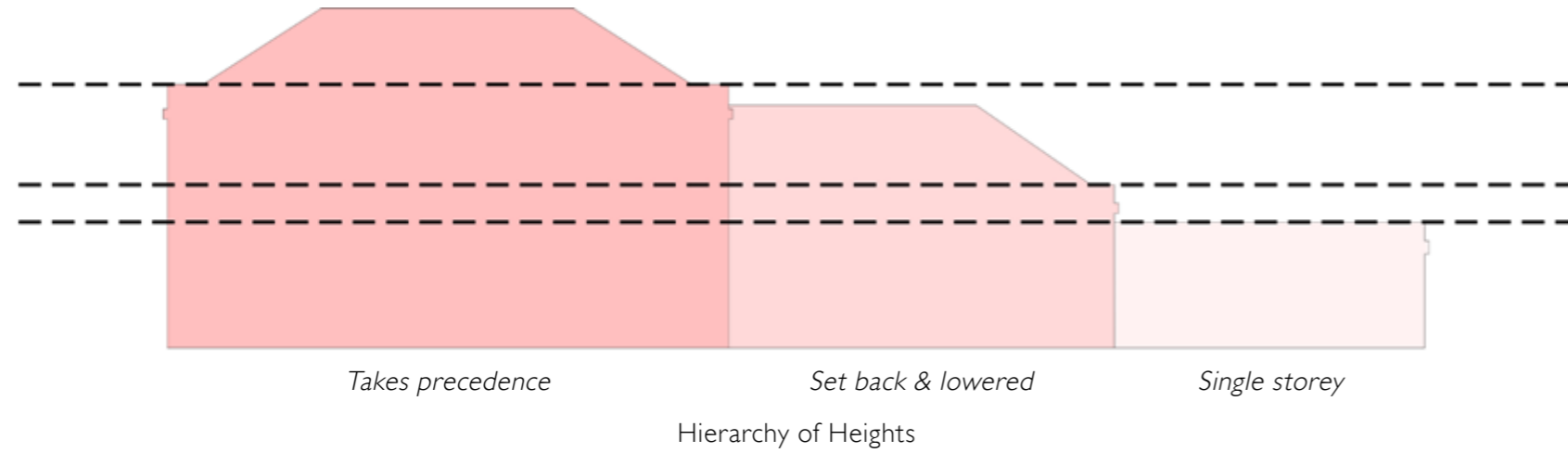
Proposed Hodder Grange

Footprint of proposed dwelling - 460m²
Courtyard Buildings - 309m²

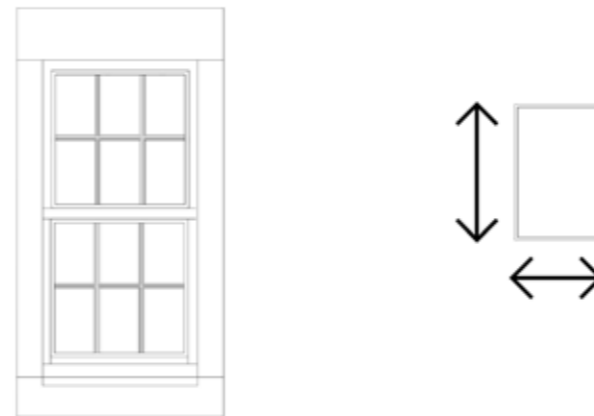
Total Footprint = 769m²



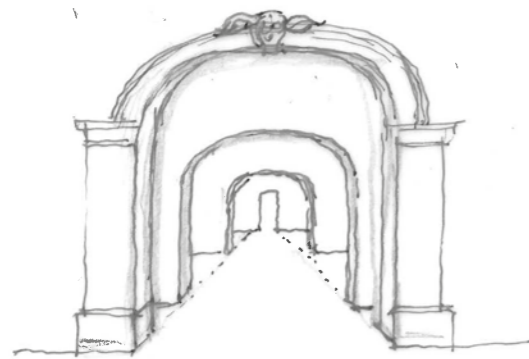
3.9 KEY DIAGRAMS



Low 'squat' proportions similar to Casterton & Chigley House



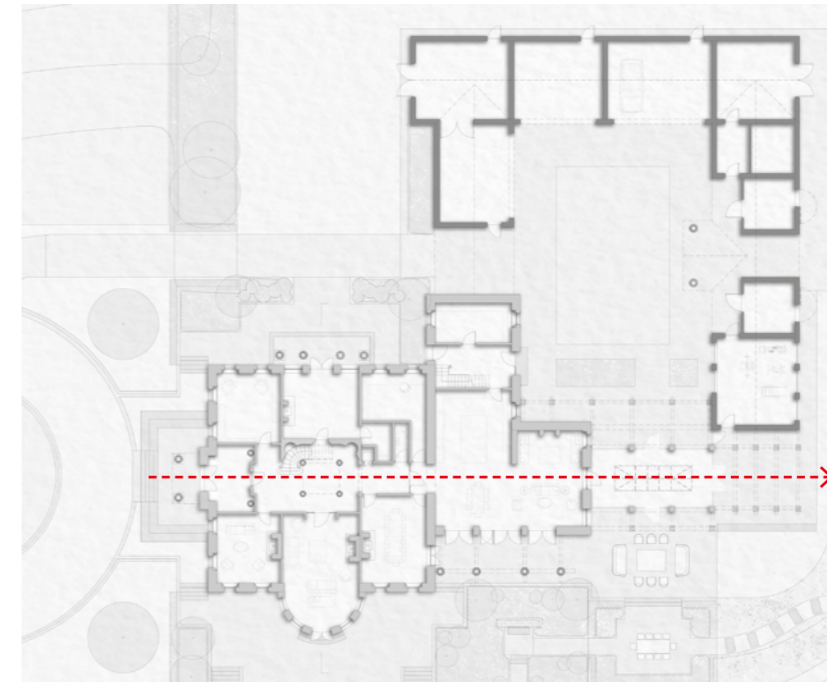
Sash windows based upon golden ratio 1:1.6 & stone jambs, heads & cills typical of houses in Forest of Bowland



Internal detail of repeating arches along an axis typical of Georgian architecture



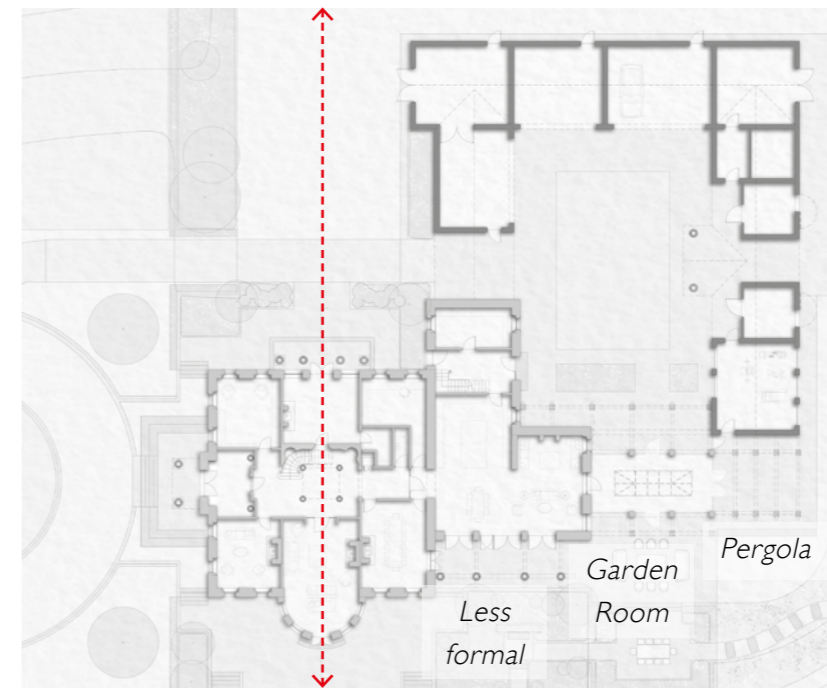
Symmetrical layout of elevation incorporating square bays either side of a central door or feature



Views framed through doors/arches to countryside

Central Axis

FORMAL GARDEN



FORMAL TERRACES & VIEW TO RIVER

Hierarchy of Formality

4.0 DESIGN DEVELOPMENT



PROJECT TIMELINE

Client Commission & Brief | October 2019

Initial Sketch Schemes | December 2019 - March 2020

Country Houses in Forest of Bowland Report Received | April 2020

Further Design Development | March - May 2020

Pre-application Submission | May 2020

Pre-application Written Feedback | June 2020

Post-Pre-application Design Development for DRP | June 2020 - May 2021

Jeremy Musson Site Visit | April 2021

DRP | June 2021

Post-DRP Design Development | June - August 2021

Finalisation of Planning Application Drawings | September 2021

4.1 CLIENT BRIEF



“ The clients' aspirations for their proposed country home embodied, from the outset, the traditions of the homes within the local area; a retreat within the beautiful Ribble Valley setting, with layouts that traditionally served their residents with facilities for their pursuits such as horse riding. Whilst grand in appearance & scale, these homes were also functional.

Sandy Fishpool RIBA CR, Lead Hodder Grange Project Architect

4.2 INITIAL SKETCH SCHEMES (DECEMBER 2019 - MARCH 2020)

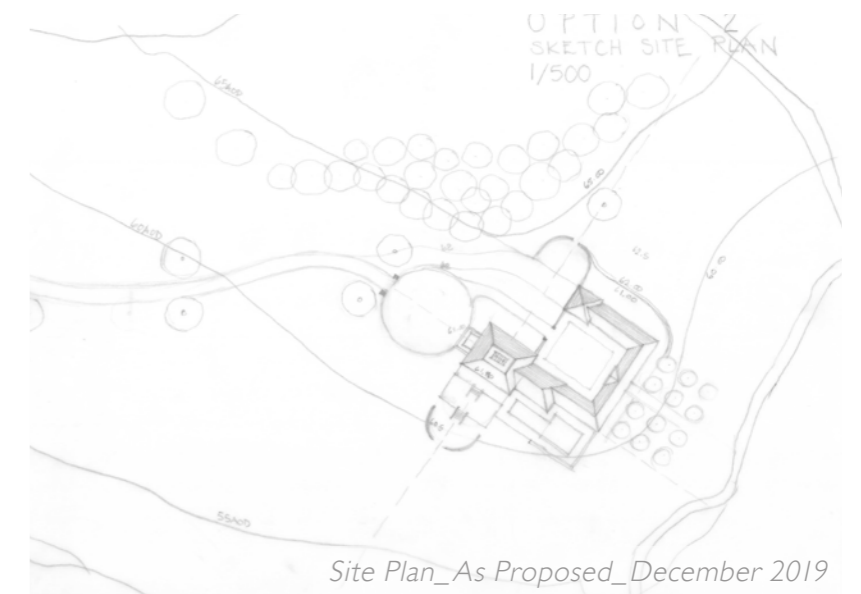
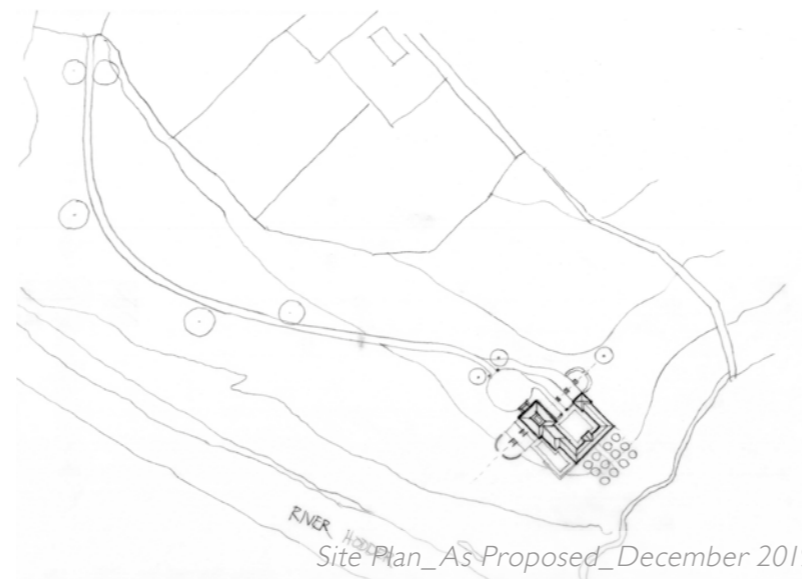
The design of Hodder Grange and its gardens has developed gradually and in well-considered and iterative way. Architectural plans were developed together with the project landscape architect, Alex Robinson. The landscape and architecture were therefore created jointly and in all respects were seen as inextricably linked.

Prior to any detailed design works a conservation expert (John Hinchliffe, a founder member of the IHBC) was commissioned to produce a detailed report on Country Houses in the Forest of Bowland (submitted separately). The heritage study carried out has enabled a clear understanding of the locality, its heritage, cultural background and history. It also created a clear direction for the architectural format of the new dwelling. A design was drafted in the traditional country house style found within the local area. The plethora of examples within the Ribble Valley were a good source to draw upon when drafting the design. These drawings were then presented to the client and the heritage consultant to gauge their views and receive feedback.

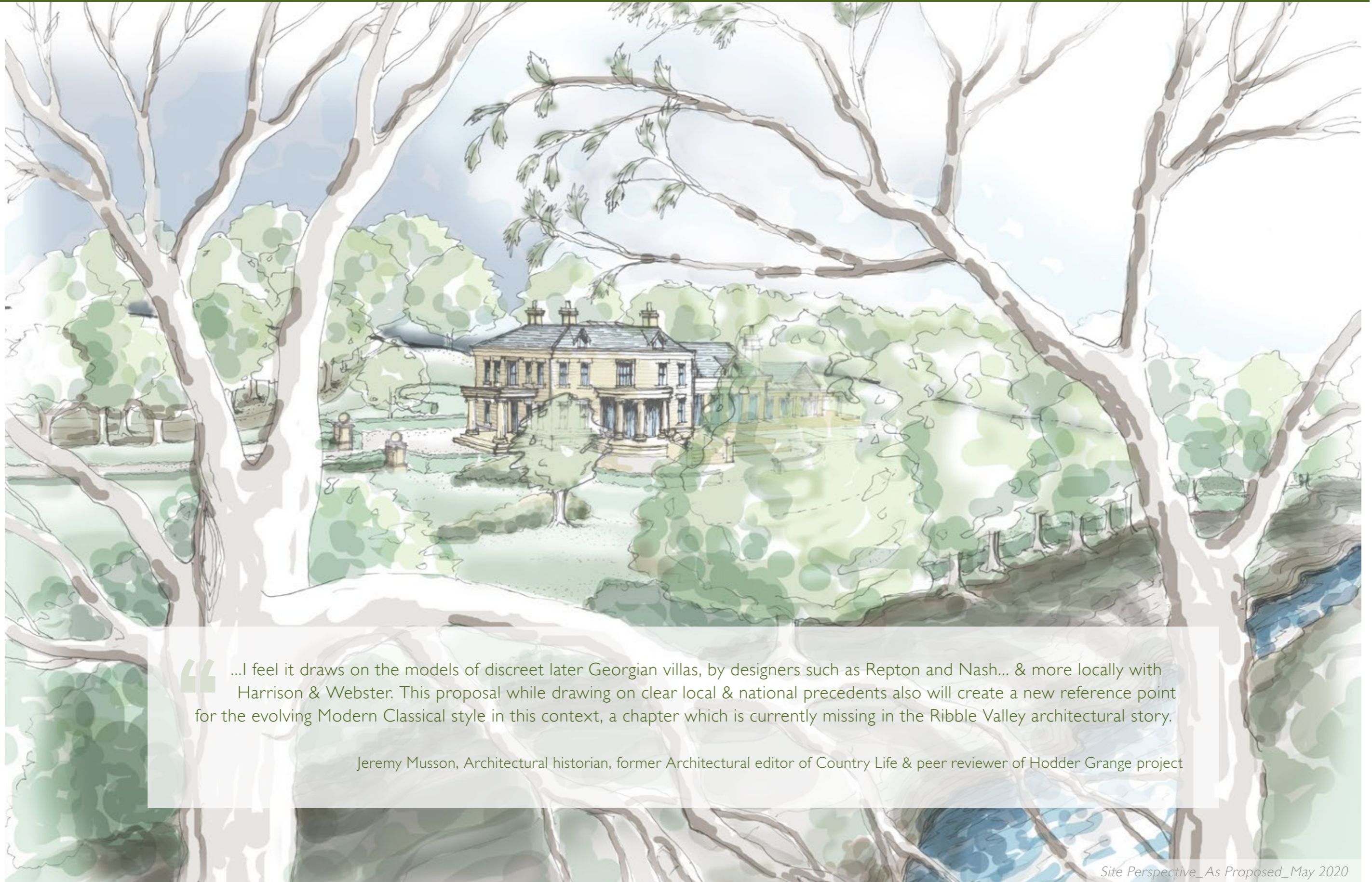
The report informed design development based on local precedents such as Browsholme Hall, Chaigley Manor and Bashall Hall. The aforementioned nearby halls and manor have grown overtime in response to cultural and historic changes. This incremental growth has influenced the architectural form and layout. In some instances, a historic hall has been completely re-built. The re-creation and growth of manor houses represents the development and history of the area. This proposal seeks to continue this tradition whilst enhancing the whole site and creating an outstanding and bespoke house.

As initial plans were advanced Jeremy Musson an architectural historian and former architectural editor for Country Life was brought into the team to provide additional expert advice. Jeremy visited site to meet with the lead project architect Sandy Fishpool and also undertook a tour of the notable country houses in the surrounding area including Whins House and Downham.

Adjacent are drawings to show the process which took place to produce the final design of the new country house, from the initial concept sketch to the final agreed design.



4.3 PRE-APPLICATION (MAY 2020)



“...I feel it draws on the models of discreet later Georgian villas, by designers such as Repton and Nash... & more locally with Harrison & Webster. This proposal while drawing on clear local & national precedents also will create a new reference point for the evolving Modern Classical style in this context, a chapter which is currently missing in the Ribble Valley architectural story.

Jeremy Musson, Architectural historian, former Architectural editor of Country Life & peer reviewer of Hodder Grange project

4.4 PRE- APPLICATION FEEDBACK & RESPONSE (JUNE 2020)

The proposal was submitted for a pre-application consultation with the Ribble Valley Borough Council in May 2020.

The report highlighted in order to meet paragraph 80 (formerly para 79/55) criteria the design must be of the highest quality and outstanding in terms of architecture and landscape design and significantly enhance its immediate setting and wider surroundings. Introduced in 1997, the policy provides an opportunity to secure permission for new country houses (and other development) to continue and add to the tradition of building stately homes in the English countryside. The proposal should be sited well within the site and the design should respond positively to the setting in terms of materiality, scale and form. Paragraph 80 schemes should demonstrate that proper account has been taken of the defining characteristics of the local area, including local and regional building traditions and materials.

“Stonyhurst, Browsholme etc. provide the context and ‘set the bar’ for the exceptional (outstanding/innovative) architectural quality encouraged by paragraph 79e. In this respect, I note Pevsner suggests of Stonyhurst that “with its frontpiece of four orders of paired columns it is one of the proudest in England”.

Pre-Application Response 17/06/2020

The officer's advice was very helpful in developing the design further. Fine local examples of country houses were visited and their details, proportion and design examined. The proposed design was then developed with reference to these local examples, in particular the front facade (North West elevation).



4.5 DESIGN REVIEW PANEL (JUNE 2021)



“ The resulting pavilion form of the house speaks both to its functionality as well as the romantic notion of discovery of the house as a temple or folly nestled in the landscape... The Panel applaud the extent to which the applicant has analysed the site & the detail put into the consideration of the design the project has the potential to achieve an exceptional design to be truly outstanding.

Traditional Architecture Group (TAG) Design Review Panel Report 21/06/2021

4.6 DESIGN REVIEW PANEL FEEDBACK & RESPONSE (JUNE 2021)

In June 2021, the scheme was presented to the Traditional Architecture Group (TAG). TAG is a linked society of the Royal Institute of British Architects and is the national expert in design review of traditional architecture schemes.

The emerging proposals were presented to TAG to receive peer review / panel feedback and ensure that the final proposals for Hodder Grange could be considered of exceptional quality.

A TAG panel visited the site on 21st June 2021 and a panel session was received on 30th June 2021.

The DRP articulated confidence in this scheme and we were able to draw the following conclusions from their report (continued overleaf).

Position of the House

The DRP expressly endorsed the house siting, and its relationship to the surrounding levels.

“ The Panel were in agreement with the choice of position for the new house and the logic of orientation and placement in section/level.

TAG Design Review Panel Report 21/06/2021



Site Plan_As Proposed_June 2021

4.6 DESIGN REVIEW PANEL FEEDBACK & RESPONSE (JUNE 2021)

Passivhaus Design

“ The building process that would be part of this project in itself would be a significant exceptional and innovative departure from the norm. Subject to the production of more detailed information and further evidence to support the ability of the design to achieve the Passivhaus standards (which formed an integral and highly important aspect of the proposal) in association with further development of the design with regard to the impact in the setting this has the potential to be truly outstanding.

TAG Design Review Panel Report 21/06/2021

Building Form & Language

“ It is understood by the Panel that the building form is driven not just by an historical aesthetic set by precedent but also by the science driving the energy performance of the building. The simple square and rectangular forms of the plan are necessary to maintain a good surface to volume ratio of the building and to make the most of the efficient orientation.

TAG Design Review Panel Report 21/06/2021

“ The cast of the building as a more formal farmhouse is understood and a good choice.

TAG Design Review Panel Report 21/06/2021

“ The square Palladian planning of the main house works well in ordering the formal interior spaces and the principal of the hierarchy of building form language and material was explained to the Panel. The main house was to be of more refined stuff and as one progresses back to the ancillary buildings and stable courtyard these materials and details would become less formal (more course) so the nature and status of parts of the building can be read in form and material. The Panel thought this to be an essential component of the breadth and depth of the design that will add to its exceptional qualities.

TAG Design Review Panel Report 21/06/2021

Further Considerations

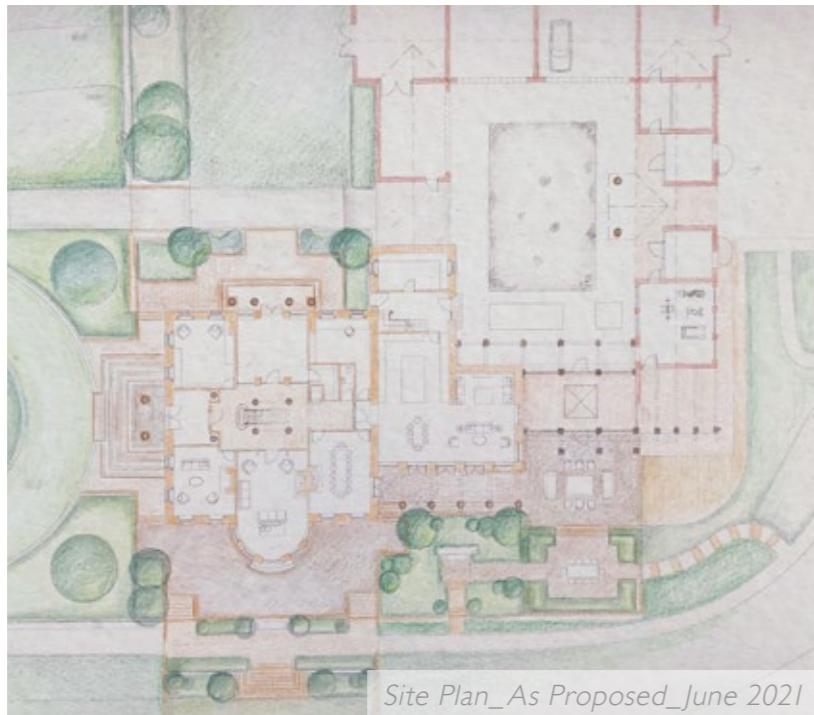
The DRP also notably made a series of recommendations to elevate the architectural response, in particular the classically led set pieces, to outstanding detailed below:

- Strengthen the North West entrance composition of front porch, tripartite window with bracketed cornice feature & dormer above in terms of vertical hierarchy
- Diminish the depth of the porch as seen from the South West
- Reconsider the junction between the main house parapet & kitchen family wing roof - there is an imbalance here between the forms & the proportions which may only require a minor adjustment to resolve
- Review & refine the classical details such as columns, cornices surrounds, quoins & parapets & continue to reference local vernacular
- Explore the position of the central staircase which currently interrupts the axial arrangement running west to east through the building
- Minimise lanterns & roof lights to be less evident from viewing from ground level

Each of these elements were addressed and amended in retrospect of the comments made and subsequent to receiving the Panel's written feedback.



4.7 FINAL DEVELOPMENT (JUNE - AUGUST 2021)



A dialogue with Jeremy Musson and other peer review experts was maintained and the design was developed further with details being critiqued and then refined.

Amendments to respond to TAG suggestions:

- Curved walls around staircase with niche
- Amendment to parapet wall & cornice (reference to Downham Hall)
- Addition of two dormers on the south east elevation primary roof to create a row of three
- Removal of quoins above the cornice
- Removal of quoins to lesser wings
- Reduction in size of parapet & cornice over kitchen wing
- Addition of balcony & doors out from master bedroom
- Amendment to tripartite window to include pilasters
- Amendment to rooflight to form round oriel
- Amendment to rooflight over orangery
- Addition of detail to fanlight over front door
- Projection of wall on front elevation (north west) to emphasise its importance
- Correction of roof position in relation to parapet wall
- Addition of section showing principal axis & stairwell
- Amendment to show 140mm thick walls



Subsequent iterations:

NE ELEVATION

- Adjustment to the North East portico: this is now slightly taller but the columns have also been moved together so that the whole portico is not as wide
- The detail of the cornice, frieze & pediment has been corrected
- The tripartite window: this has been widened slightly

SW ELEVATION

- Bowed portico: the astragals in the fanlights above the windows/doors have been added so that this appears elegant & seamless with the windows/doors below.
- Stone balustrading to balcony: these have been moved inwards & the detail corrected - curved stone balustrading over the curved portico to be recessed from the edge of the overhang - it would cause the stone cornice detailing to topple over so the stone balustrade would be set back to be in line with the walls below
- The tripartite window to the South-West Elevation: central vertical astragal has been removed on the sides

NW ELEVATION

- The front portico: this has been heightened slightly & the columns have been moved together as well, giving it a more vertical appearance. - this also connects it better visually with the tripartite window above.
- Added an additional slab of stone over the top of the front porch