

## 5.0 PROPOSED DESIGN



80. Planning policies & decisions should avoid the development of isolated homes in the countryside unless one or more of the following circumstances apply:

e) the design is of exceptional quality, in that it:

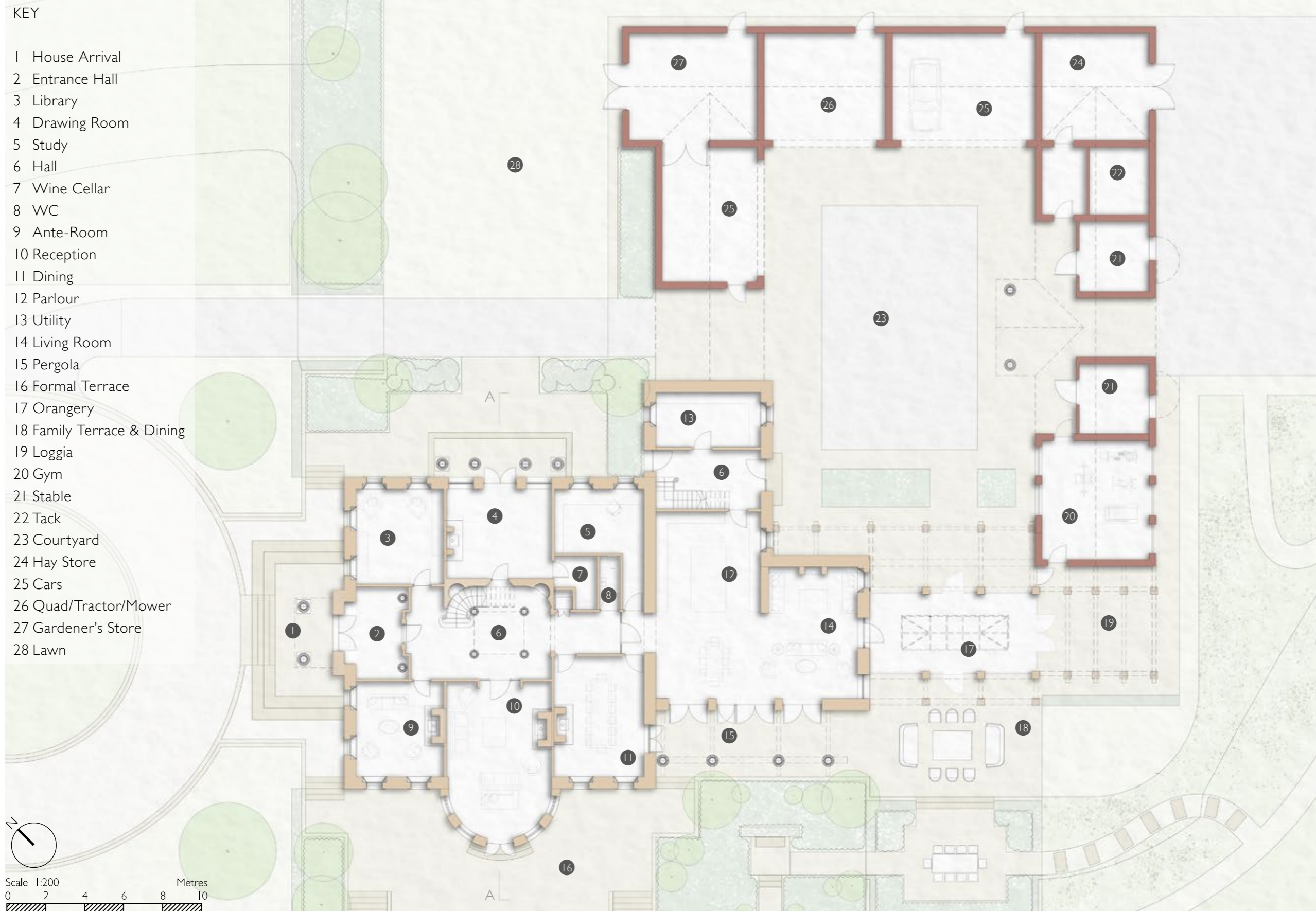
- Is truly outstanding, reflecting the highest standards in architecture, & would help to raise standards of design more generally in rural areas; &
- Would significantly enhance its immediate setting, & be sensitive to the defining characteristics of the local area

National Planning Policy Framework, July 2021

## 5.1 SITE PLAN\_AS PROPOSED



## 5.2 GROUND FLOOR\_AS PROPOSED 1:200 @ A3



HODDER GRANGE  
PARA 80e

DESIGN & ACCESS  
STATEMENT

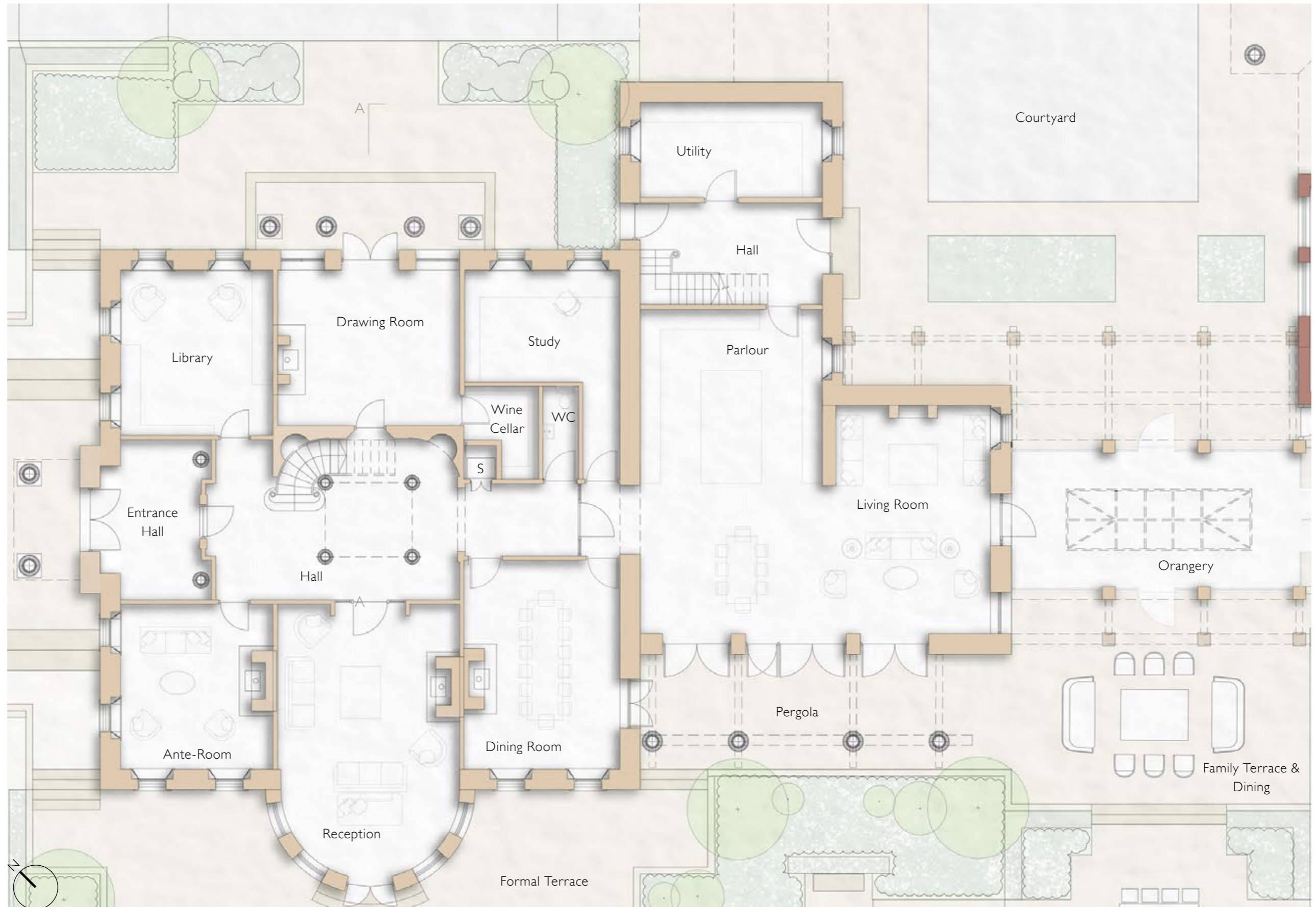
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## 5.3 MAIN HOUSE GROUND FLOOR PLAN\_AS PROPOSED



# 5.4 FIRST FLOOR\_AS PROPOSED



HODDER GRANGE  
PARA 80e

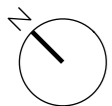
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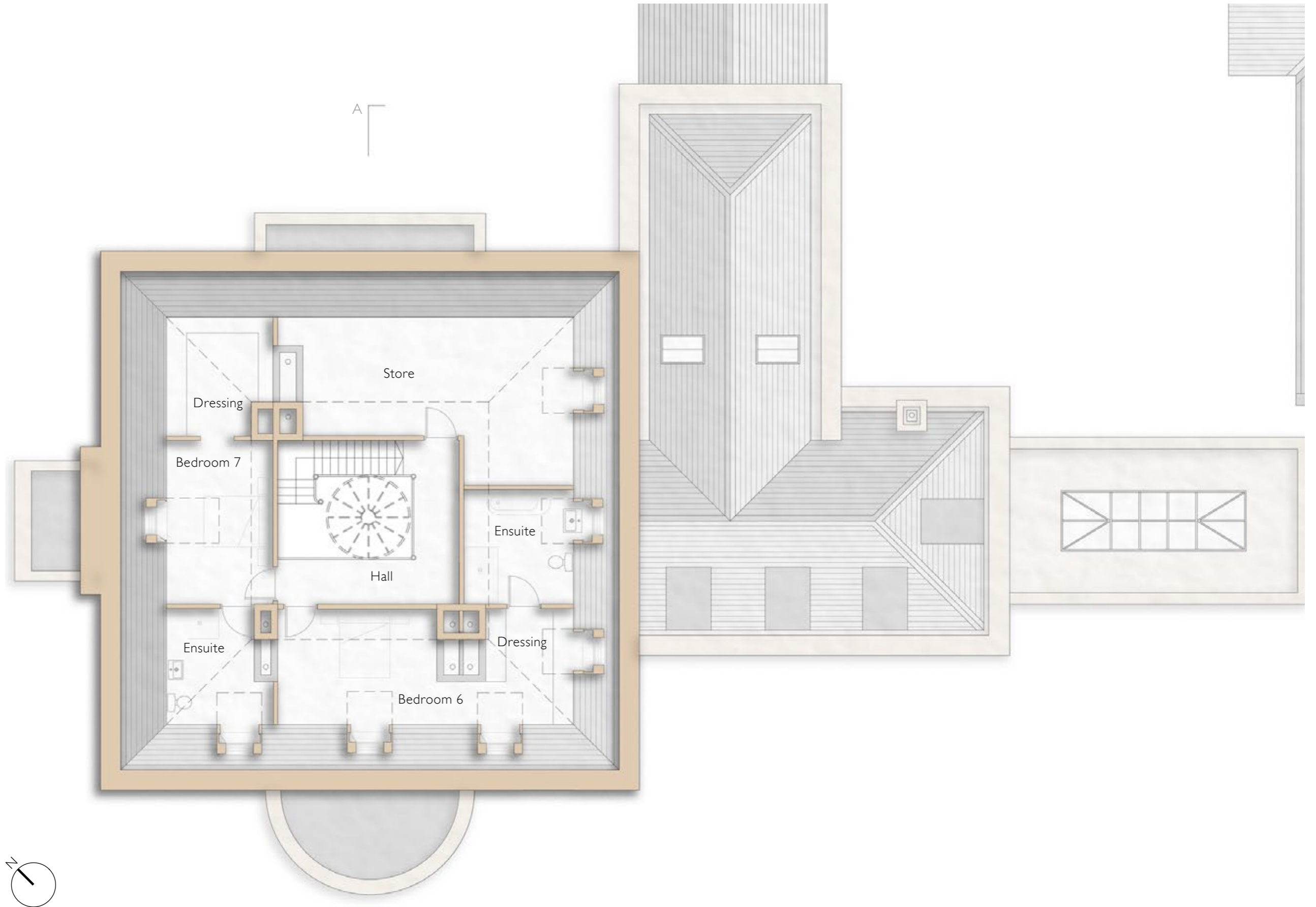
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## 5.5 SECOND FLOOR\_AS PROPOSED



## 5.6 NORTH WEST ELEVATIONS\_AS PROPOSED



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## 5.7 SOUTH WEST ELEVATIONS\_AS PROPOSED





5.8 NORTH EAST ELEVATIONS\_AS PROPOSED



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## 5.9 SOUTH EAST ELEVATIONS\_AS PROPOSED



## 5.10 COURTYARD ELEVATIONS\_AS PROPOSED

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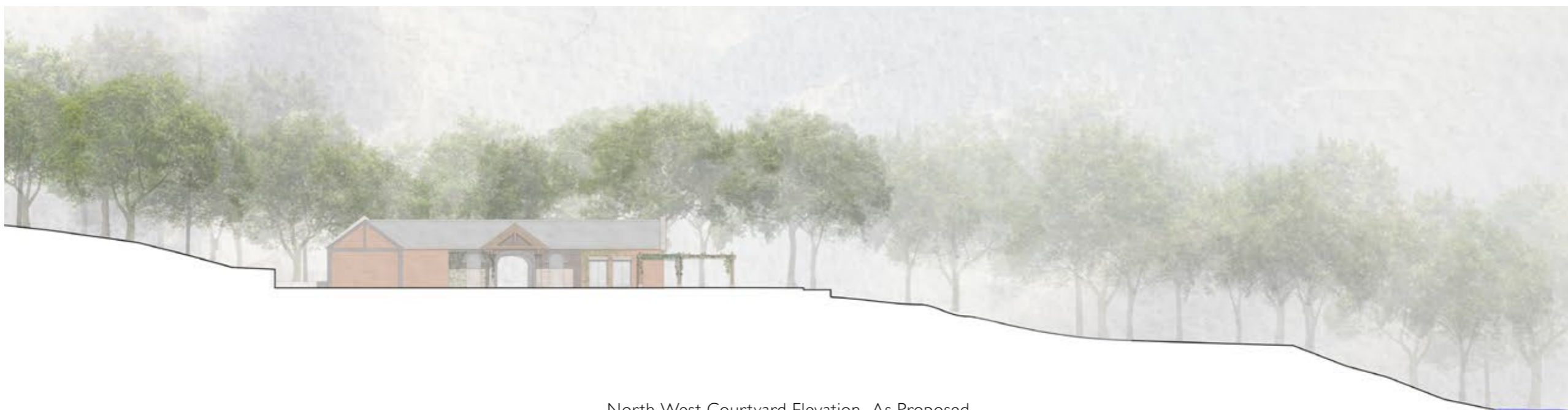
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South West Courtyard Elevation\_As Proposd



North East Courtyard Elevation\_As Proposed



North West Courtyard Elevation\_As Proposed

## 5.11 MATERIAL PALETTE\_AS PROPOSED

As the proposal is to design a new dwelling of exceptional quality and the highest level of design the scale, form and choice of materials have been carefully and thoughtfully considered.

The size and architectural style of country houses in North-East Lancashire and the area around Hodder Bridge varies but the choice of materials is constant and provides unity in their appearance. The properties are generally constructed from the following materials:

- Local Millstone grit (sandstone)
- Ashlar stone
- Blue/grey slate roof tiles
- Red/brown brick
- Painted timber windows & doors
- Black powder-coated aluminium rainwater goods

It is proposed to use Ashlar stone for the principal elevations and details and uncoursed square rubble (masonry which uses stones which have straight bed and sides) millstone grit for the subservient courtyard buildings. This will provide a hierarchy and variety throughout the scheme.

Materials where possible will be sourced locally and reflect the many local examples of stately Georgian homes.

The symmetry and details within the facade will reflect the traditional Georgian style of architecture which the dwelling will follow.

The Georgian style will also be carried out into the grounds of the property, providing an formal gardens immediately around the house and a barn courtyard incorporating stables.

Adjacent are an array of materials to help depict the overall appearance of how the proposed dwelling will look, and the elements wishing to incorporate into it.

Please refer to the full materials schedule overleaf as proposed.

*North West Elevation\_As Proposed - Principal Elevation*



*South West Elevation\_As Proposed - Principal Elevation*



*North East Elevation\_As Proposed - Secondary Elevation*



*South East Elevation\_As Proposed - Secondary Elevation*



## 5.11 MATERIAL PALETTE\_AS PROPOSED

### Materials Schedule

#### Roof to Main House & Barns:

- Reclaimed blue-grey slate laid in diminishing courses
- Code 4 lead roof to flat roof areas with traditional lead rolls

#### Walls to Main House

- Buff/grey local Millstone grit/sandstone, pointed in a standard lime mortar mix
- Matching heads, cill, jambs, quoins, water tables, entablature, plinth, columns & parapets
- Gritstone sample & wall panel to be provided

#### Walls to Barn Courtyard

- Natural heritage red/brown brick, pointed in standard lime mortar mix - English bond

#### Windows, glazed screens & doors to Main House

- Handmade painted (white) solid timber sash windows in Georgian format (see detail) with slim astragals (to be recessed 150mm from front face of stone)
- Handmade painted (white) timber screens, both fixed & opening
- Handmade painted (white) timber glazed doors recessed 150mm from front face of stone

#### Windows & doors to Barns

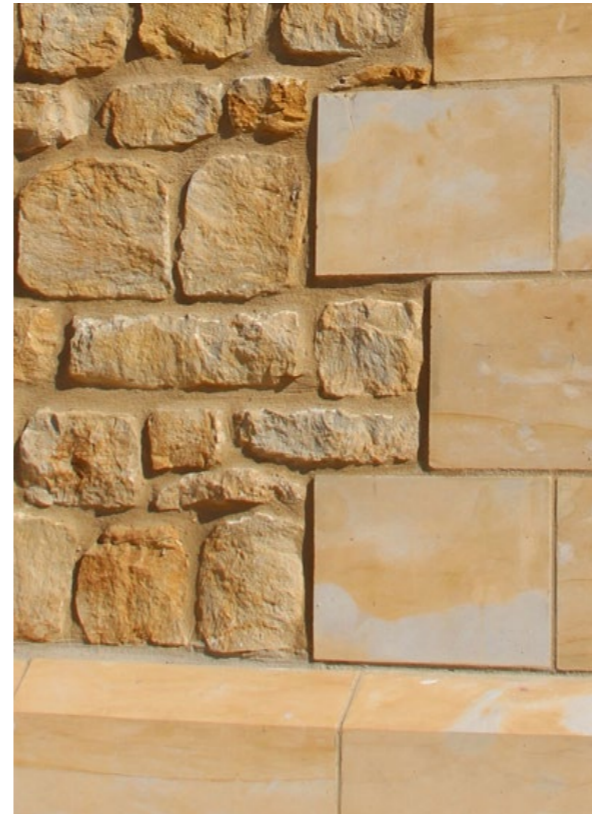
- Simple, timber casement windows (no astragals), recessed 100mm from front face of brickwork
- Solid timber doors, vertically-boarded ledged & braced doors, painted white

#### Rainwater goods

- Black powder-coated aluminium



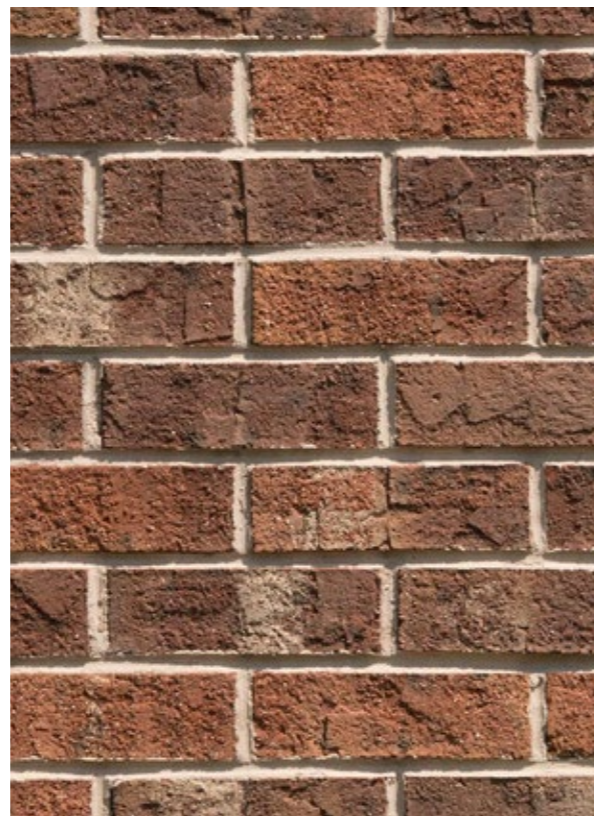
Local Millstone grit (sandstone)



Ashlar Stone quoins



Blue/grey slate tiles



Heritage red/brown brick



Painted timber sash window



Soft landscaping

## 5.12 SECTION\_AS PROPOSED 1:100 @ A3



Scale 1:100 Metres  
0 1 2 3 4 5

## 5.13 VIEW OF THE PROPOSAL FROM RIVER HODDER



HODDER GRANGE  
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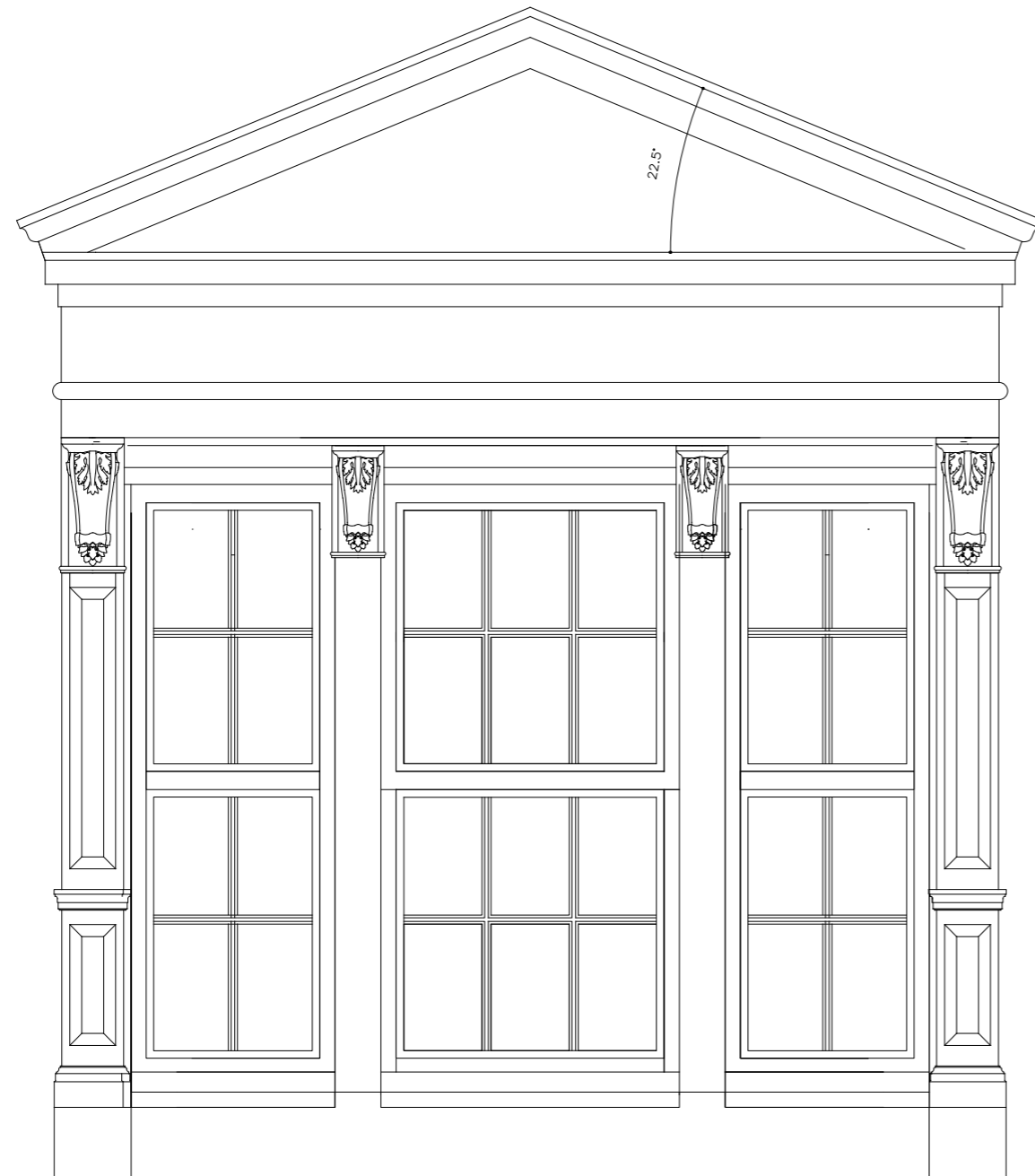
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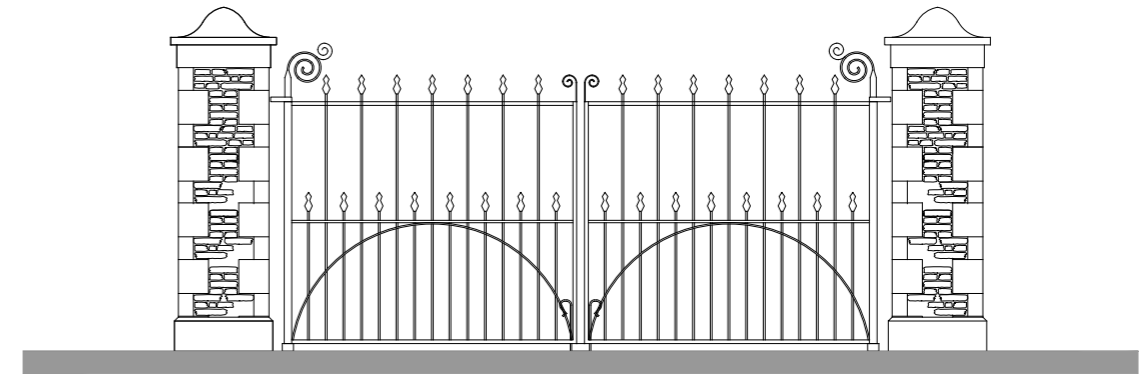
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## 5.14 GEORGIAN ARCHITECTURAL DETAILS 1:50 & 1:20 @ A3



Tripartite Window 1:20

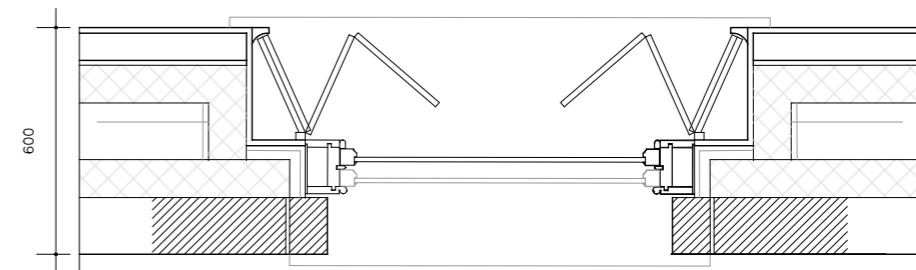


Entrance Gates 1:50



Entrance & Front Door 1:50

Stone Plinth 1:20



Plan of Sash Window 1:20



5.14 GEORGIAN ARCHITECTURAL DETAILS 1:20 @ A3

HODDER GRANGE  
PARA 80e

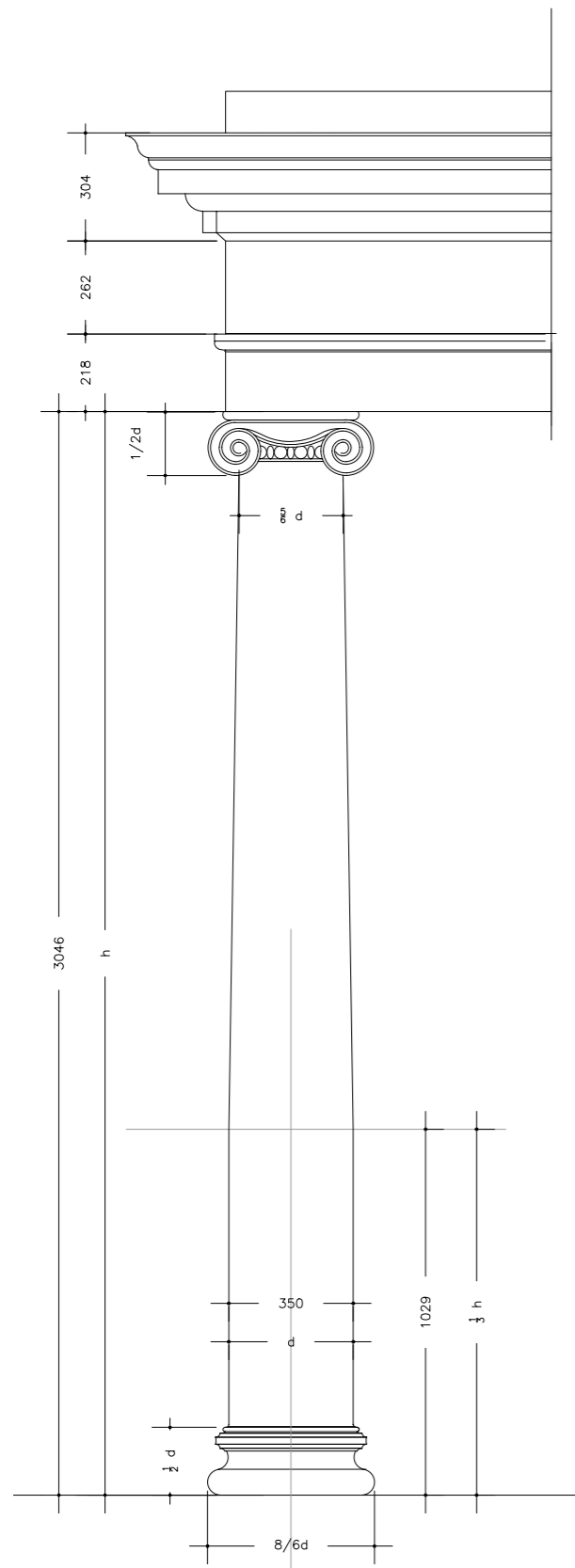
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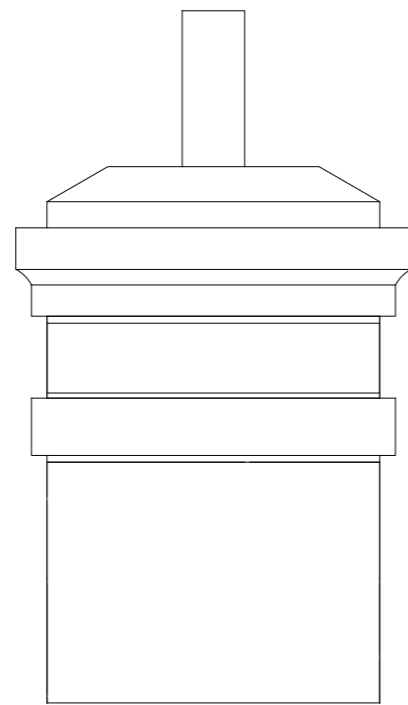
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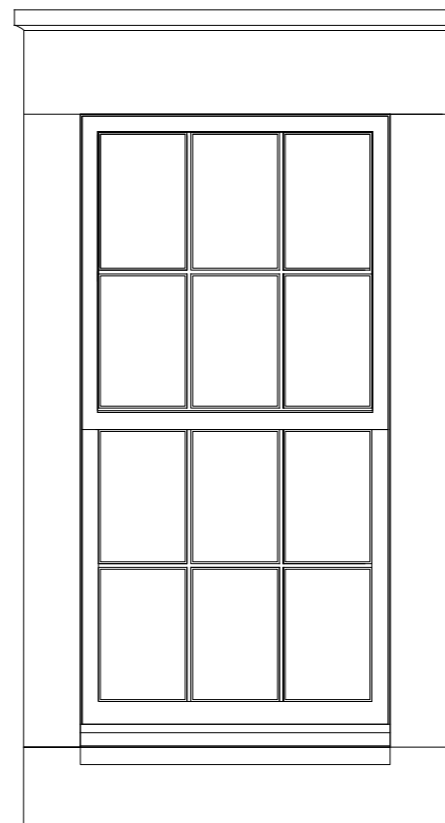
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Ionic Order Stone Column 1:20



Elevation of Chimney 1:20



Sash Window 1:20



Dormer Window 1:20



Stone Entablature 1:20 (see below)

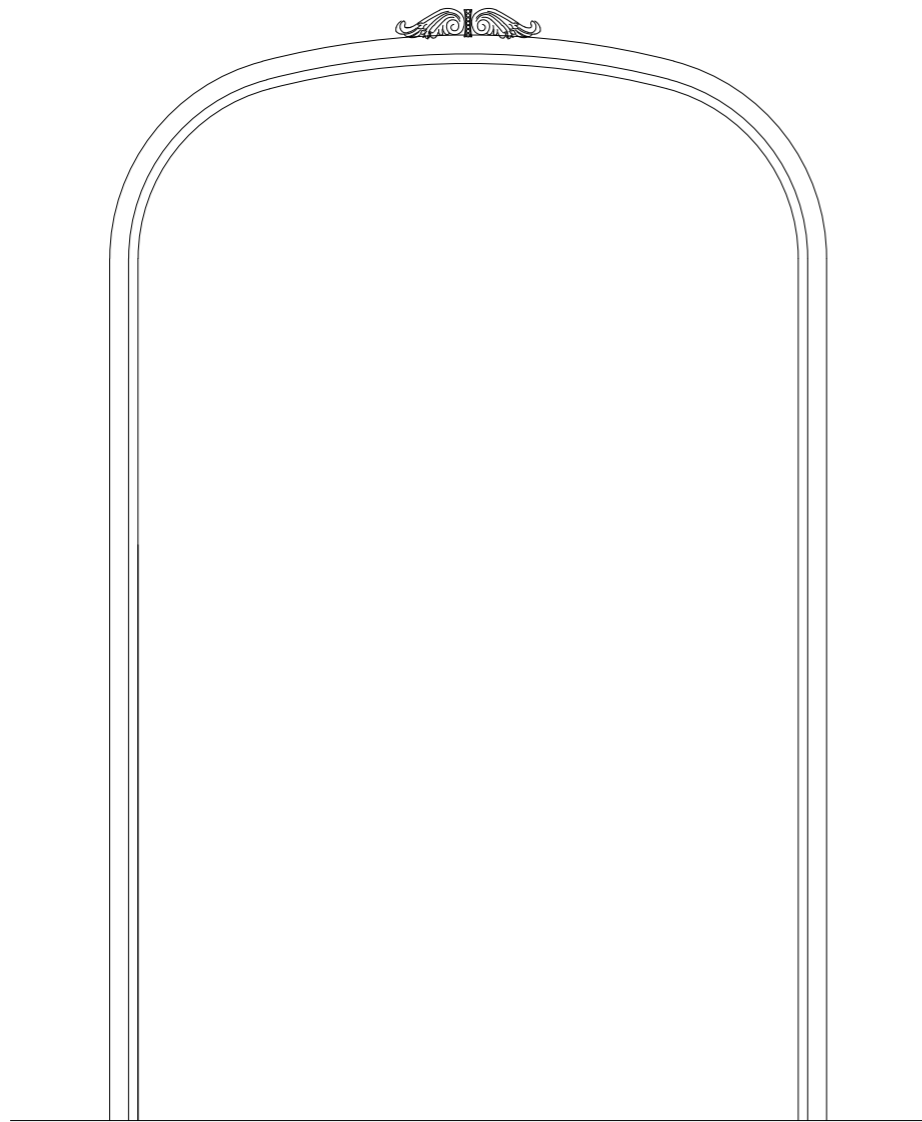


Reference to the parapet & cornice detail at  
Downham Hall, Clitheroe (Grade II \* Listed)

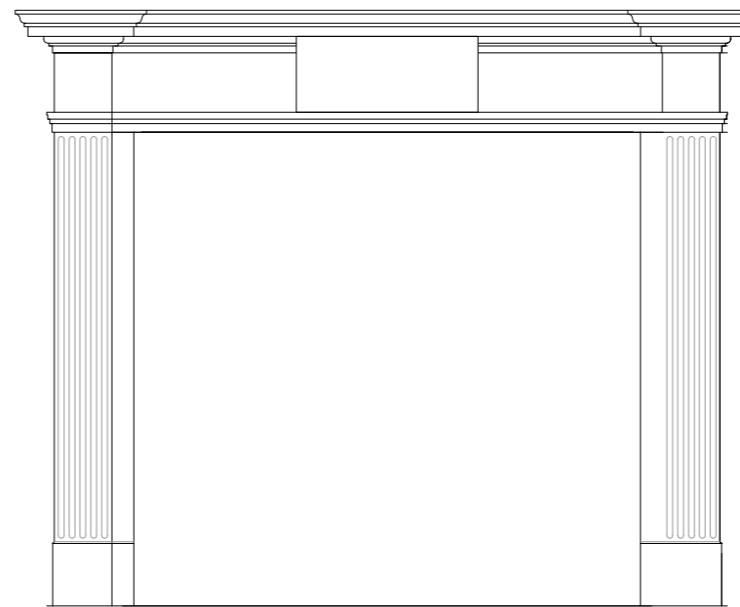


Reference to the projecting quoins at Whins  
Hall, Sabden (Grade II Listed)

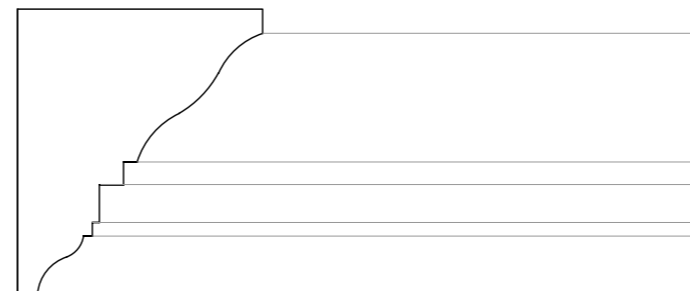
## 5.15 INTERNAL GEORGIAN ARCHITECTURAL DETAILS 1:20 & 1:5 @ A3



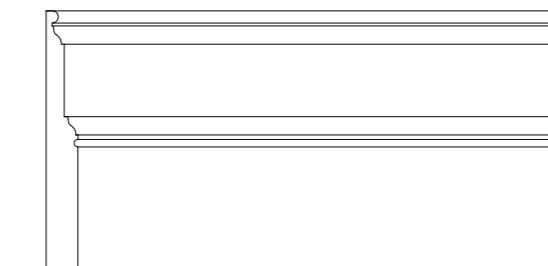
Internal Arch 1:20



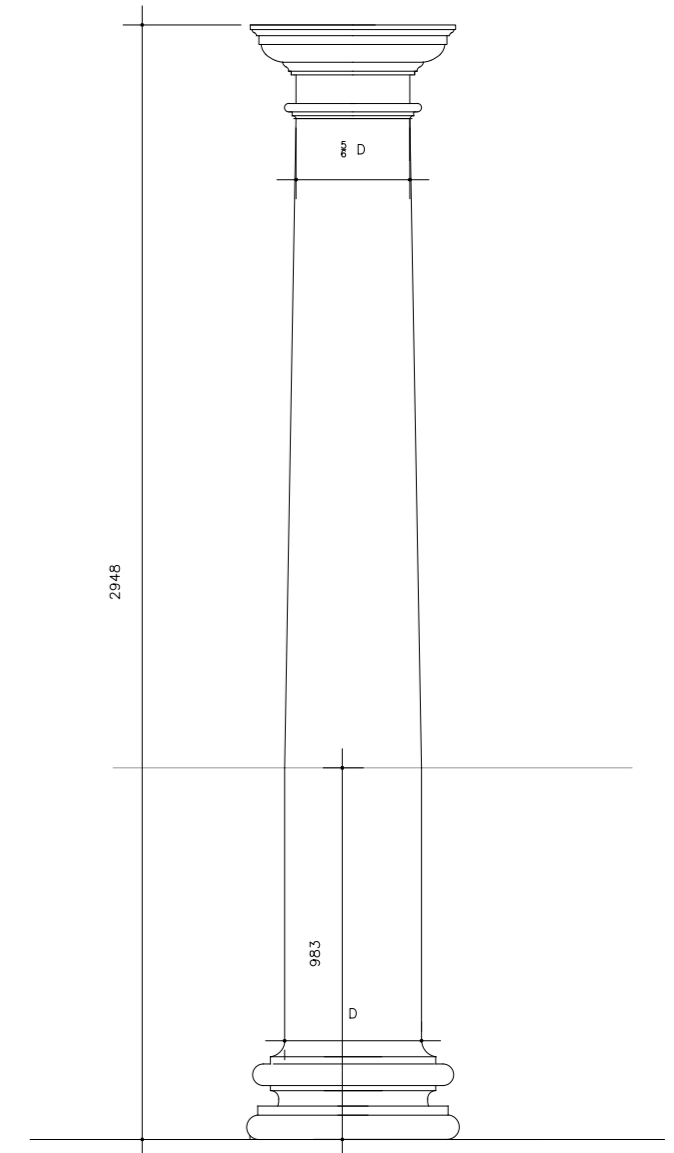
Fireplace 1:20



Coving 1:5



Skirting Board 1:5



Doric Order Stone Internal Column 1:20

## 6.1 LANDSCAPE MASTERPLAN



HODDER GRANGE  
PARA 80e

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## 6.2 LANDSCAPE ENHANCEMENTS

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1:1250

### LANDSCAPE ENHANCEMENTS



- DECIDUOUS SEMI NATURAL WOODLAND**  
14,000M<sup>2</sup> – 1.4HA – 3.45A

Creation of a long-term native deciduous woodland assists in nestling the house in a wooded setting and increases the quantity of woodland cover in the landscape. Typical varieties would reflect locally abundant species and include a dominant percentage of oak supplemented with alder, sycamore, beech, a small quantity of sweet chestnut and Scots Pine. A mid-level layer would include larger bushy species to form thickets with species such as holly, hawthorn and hazel. The mid-level layer would be further supported by a rich ground layer of spreading and naturalising varieties such as wild garlic, ferns and shade tolerant grasses. Within the woodland bird/bat boxes and hibernaculas are promoted to ensure opportunities are provided for as wide a species diversity to colonize. A primary function of the woodland is to ensure the house is positioned within a permanent managed setting, as the woodland matures it will hug and nestle the house within the landscape.
- HEDGEROW PLANTING**  
1,120M

A mixed native hedgerow is proposed at woodland and landscape corridor edges around the site, recreating lost habitats and providing valuable biodiversity and connectivity with the wider landscape. Species would typically include a mix of fruiting, flowering and scented varieties for year-round interest and the opportunity to support extended seasonal foraging. Typical species would include, hawthorn, blackthorn, field maple, holly, elder, honeysuckle, privet, hazel and dog rose.
- REINSTATE HEDGEROWS AND HEDGEROW TREES**  
255M

The northern field boundary consists of a broken remnant hedgerow with a variety of established trees. As part of the enhancement the broken hedgerow is gap filled and reinstated with the next generation native hedgerow trees.
- SPECIES RICH GRASSLAND MARGINS**  
12,000M<sup>2</sup> – 1.2HA – 2.96A

Species rich grasslands are located predominantly at the margins of proposed landscape corridors around the base of trees and buffer planting. The area of long grass recreates lost meadow grass habitats, encourages biodiversity and wider connectivity between the site and wider ecological network. Grassland to be under-planted with seasonal naturalizing native wild-flowers such as Ox-eye Daisy and Cow Parsley to reinforce the rural character.
- BUFFER PLANTING LANDSCAPE CORRIDORS**  
8250M<sup>2</sup> – 0.825HA – 2A

Field margins, stream corridors and historic field boundaries are enhanced with a 10m corridor of additional native tree and shrub planting. Specimen deciduous and fruit trees are included to provide varying habitat types and foraging opportunities. Within the corridors containing streams and ditches, water tolerant species are included to promote the creation of marginal aquatic zones and riparian woodlands. The scalloped corridors create generous corridors for ecological connectivity and habitat creation, both on the ground and for flying species, whilst functioning to reinstate a lost rural character.

- PARKLAND**  
28,500M<sup>2</sup> – 2.85HA – 7A

2.85ha of intensively managed farm pasture is reverted from crop production to a simple parkland pasture and over sown with a native meadow mix then managed through sheep grazing to maintain the sward. Additional planting of Oak and native hardwood trees in small groups and specimens, seeks to reinforce parkland character. The additional tree planting creates a more visually varied experience of the setting and utilize trees to subtly frame and direct views. To permit unhindered grazing and consistency of sward, sheep are permitted to roam the land with unhindered access between the north and south of the house.
- ESTATE ENTRANCE**

A formal gated entrance appropriate to a country home is positioned south of the Hodder Bridge to ensure the listed structure remains in a setting of its own. The new estate entrance is located beyond the Anglers Association club hut and parking to ensure conflict and setting of each are respected. An estate railing gate and piers provides a rural yet quality arrival experience within a small tunnel of woodland. The darker wooded arrival opens to a wide parkland to enhance the arrival journey.
- DRIVE**

A simple parkland drive follows an established contour to ensure construction has minimal impact on the existing landscape. Through careful and considered construction the drive could be subtly sunk within the landscape to screen views from the south and Public Right of Way.
- RIVER HODDER**

Periods of high water have eroded the root zone of trees and banks along this section of the River Hodder. Next generation planting along the bank edges seeks to promote long term bank stability and continuity of visual character.
- ATTENUATION AND DRAINAGE**

High levels of ground water movement are addressed through a series of woodland streams and scrapes to capture and slow inherent ground water movement. Clean water runoff collected from house will be captured and piped to a seasonal attenuation pond in the wider parkland absorbed by woodland planting. Large hard surfaces are proposed as permeable and where possible water runoff is to be captured and stored in woodland ditches and scrapes. Where new water bodies, ditches and scrapes are proposed water tolerant species and marginal aquatic zones will be introduced to offer further opportunities for ecological enhancement and improved biodiversity.
- PUBLIC RIGHT OF WAY (PROW)  
PROW RUNNING THROUGH THE SITE**

The open character of this corridor is retained and where possible the landscape either side enhanced to improve the quality of setting and experience. Views to the wider landscape are retained with directional views and glimpses to the Fells beyond provided. The proposed woodland will screen views of the house and stable complex whilst its organic form and parkland tree planting will provide an attractive setting and maintain privacy.

- PROW ACROSS THE RIVER HODDER**

Additional tree planting along the Banks of the River Hodder further diffuse views from the PRow whilst permitting isolated glimpses of the parkland and proposed house as an example of high-quality architecture in a rural setting.
- ACCESS TRACK**

The secondary access route is provided via a carriageway constructed to appear like a rural track with a central grass margin. The access track reinforces the rural character and gently follows the existing contours upon arrival at the house. On the final house approach the track utilises cattle grids for ease of movement and travels through a short section of woodland to provide a dramatic reveal of the stable complex.
- DRY STONE WALLS**

Existing dry-stone walls are restored to ensure the long-term landscape character is maintained for future generations.
- RETAINED AGRICULTURAL PASTURE**

Productive agricultural pasture is retained for either light grazing or horse paddocks to support the stables.
- DOMESTIC SETTING  
HOUSE ARRIVAL**

A simple permeable gravel turning circle and mown lawn formalizes arrival without competing with built form. Views and a fluid connection with the parkland are appreciated through a classic estate railing boundary.
- FORMAL TERRACE**

The principal rooms benefit from a formal south west facing set of three terraces which provide opportunities to entertain and appreciate the view from. The three terraces embrace the inherent level change within the site and ensure the house sits comfortably in the elevated location. Seating, steps and planting additionally soften any retaining walls ensuring the house is not competed with or views of the house dominated with walls. The lower half moon lawn terrace sits 1.2m above the parkland at its highest point permitting livestock close to the house setting. Steps and a gated access provide opportunities to walk and enjoy the wider landscape directly from.
- NORTH AXIS AND FORMAL LAWN**

Internally the house layout is established along a north-south axis with a drawing room located central to the northern elevation. As an important room to retire to a simple yet formal north facing space draws the eye to the wider landscape, formal grass terraces, feature tree and woodland beyond. A timeless estate railing fence ensures views of the wider landscape remain unhindered.
- STABLE COURTYARD**

Cars, vehicles, deliveries and daily life is supported by the generous courtyard which ensures all vehicular movement is contained within the built form. A generous band of high-quality cobbles flanks the edge whilst a central zone of permeable macadam permits practical uses. Within the courtyard garaging, covered bays, stables, garden store and gym all overlook and interact with the space creating a lively bustle and heart of the estate. A small section of soft landscape and pergola de-marks the domestic curtilage, softening the transition to living space.
- FAMILY TERRACE AND DINING**

A smaller set of terraces provides intimate family space directly accessed from the core family room and benefiting from an undisturbed east-south-west aspect. Ornamental planting surrounds these spaces to provide colour, texture, scent and animation throughout the year, whilst not competing with wider views. From these spaces are a series of walking options with access to the formal terraces, orchard, and wider landscape. Along these routes are a variety of seating areas to enjoy the setting from.
- WILD-FLOWER ORCHARD AND MOWN WALKWAYS**

A simple orchard and wild-flower bank provide a managed level of informality which transitions from the house to wider landscape. Within the orchard banks generous swathes of naturalizing bulbs provide spring animation.
- WORKING YARD**

A simple secondary yard for stable deliveries, midden store, back of house access and overflow parking.



1:500

## 6.3 HARD & SOFT LANDSCAPING

HODDER GRANGE  
PARA 80e

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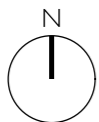
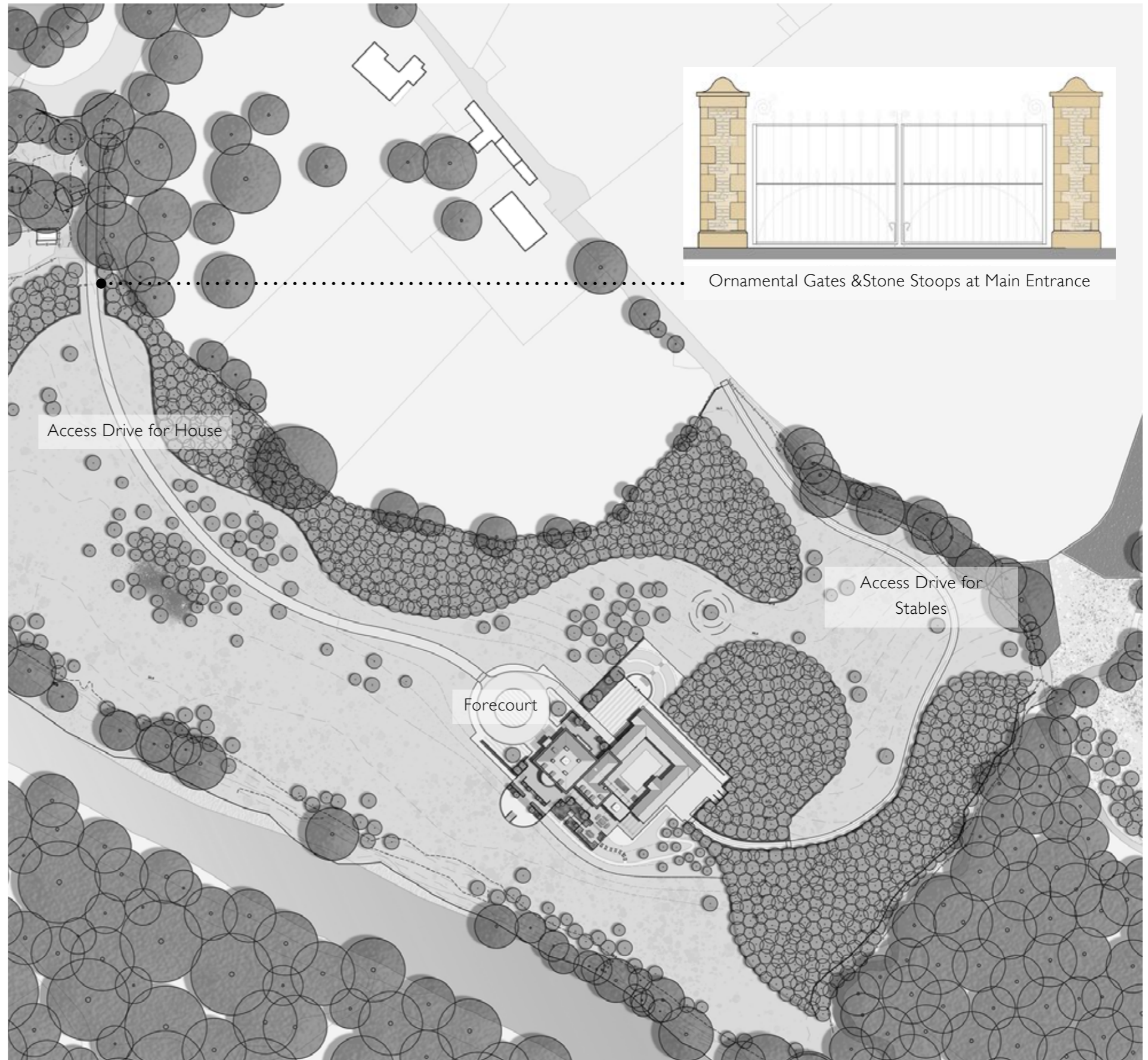
## 6.4 VEHICULAR ACCESS

Ornamental gates in the Georgian style will adorn the entrance of the access drive to the house. The design for the entrance gates is shown adjacent.

Like many houses within the Forest of Bowland, these refined architectural gateways will announce the presence of the house from public routes. It gives people an impression of the style of house which lies beyond the gates. The gates will be positioned to the end of the access drive North-East of the house. The proposed access drive will be long and sweeping to create a dramatic approach for vehicles as they approach the house.

The layout of the entrance forecourt enables vehicles to manoeuvre efficiently in order to exit the grounds of the property.

The connecting stable yard will have a separate access route to the rear of the house, keeping it separate from the main access drive to the property. This route will be used by service vehicles, additional tree planting will help to screen views of this track from the house and surrounding grounds.

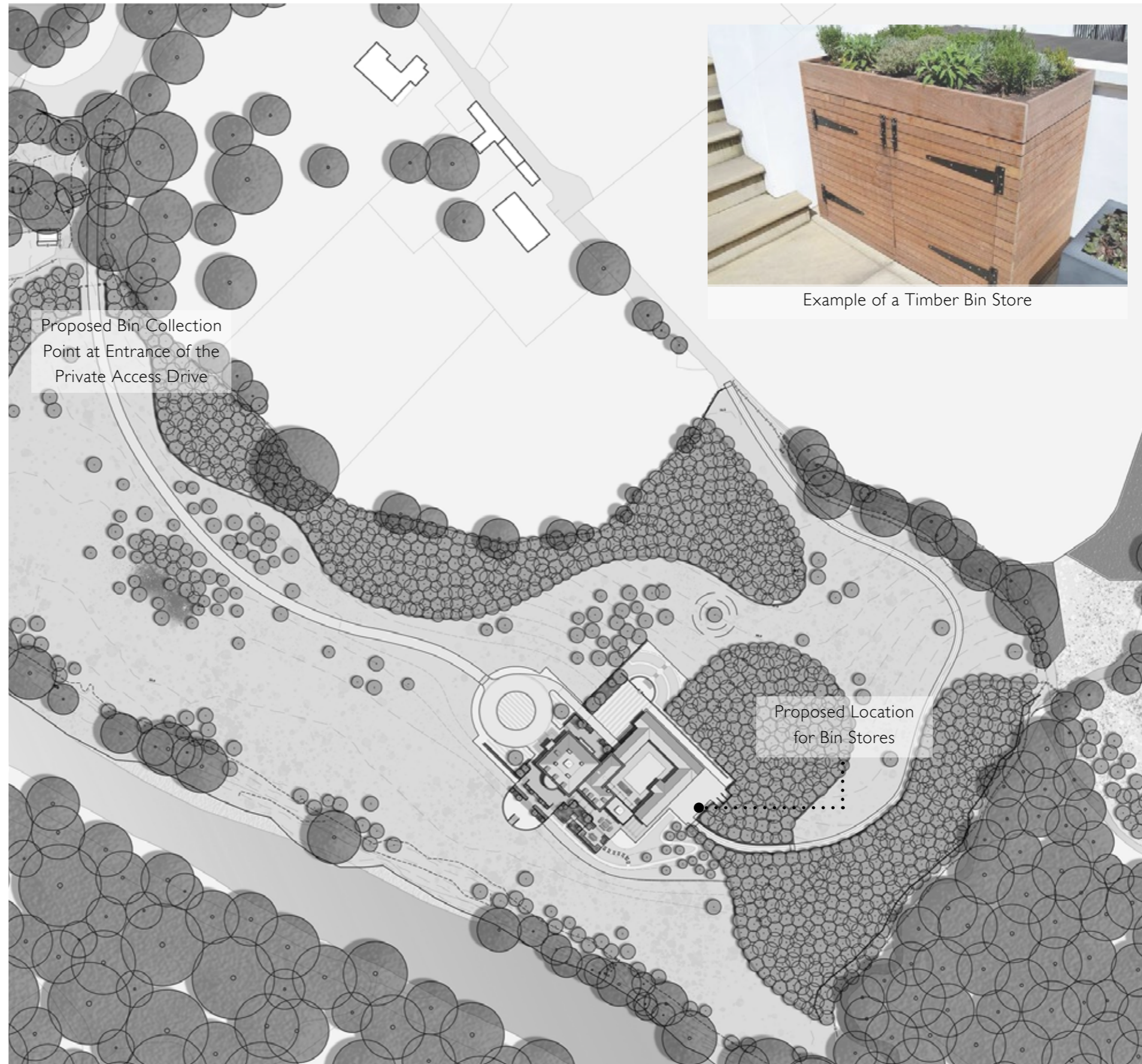


## 6.5 REFUSE ARRANGEMENTS

It is proposed to store household waste in timber bin stores so they do not detract from the appearance of the house and setting of the site. These bin stores will also provide the residents with a fixed place to store their waste ready for collection.

Due to the length of the proposed private access drive, refuse vehicles will not be able to come to the property to collect the bins. Instead, the bins will be left by the entrance gates so refuse vehicles can access them on the collection days.

Examples of how refuse stores can be stored are shown adjacent. The adjacent site plan shows the proposed position of the timber bin stores.



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## 6.6 INTEGRATED SUSTAINABLE SYSTEMS

The proposal will incorporate innovative technologies, demonstrating how high-quality architecture can have a positive environmental impact and how the landscape and setting influences the principal design. Passivhaus Plus has been considered from the very beginning and the exacting requirements of this energy-efficiency standard have been incorporated into the design through energy-producing technologies, construction methods and built form. As such, the new dwelling will not only have an extremely high standard of energy efficiency, but it will also represent a unique example of how to achieve this in a traditional country house of this size.

The site borders the River Hodder where flooding can occur at the lower levels of the site. Currently, water run-off exacerbates the flooding in this section of the river and as such, it constitutes a site where flooding could be reduced and bring wider benefits to the areas surrounding the River Hodder. Advice has been taken from hydrologists on how to significantly reduce the water run-off and provide storage on site in the event of extreme weather conditions. A host of water management enhancements have therefore been incorporated into the design such as swales, retention ponds, tree planting, water recycling and SUDS, thus exceeding the requirement for surface water run-off into the Hodder whilst bringing many ecological, landscape and architectural benefits. The water management is an integral part of the whole design and impacts every part of the proposal.

The collective contribution of the house, its landscape design and environmental enhancements is an excellent example of 'the whole is greater than the sum of the parts'.





## 6.7 DRAINAGE STRATEGY



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## 6.8 UTILITY SUPPLIES



## 6.9 LIGHTING STRATEGY\_PRECEDENTS

Situated in an AONB and isolated in the open countryside with beautiful views of the sky during the hours of darkness, inadequately considered and inefficiently utilised lighting can cause unnecessary light pollution. From upward light or too much indirect reflected light, careful design are essential for mitigating obtrusive light, spill light, glare, light trespass and sky glow.

With careful consideration to the factors above, along with the impact on the surrounding ecology, the concept lighting scheme has been designed to be low key and purposeful, whilst minimising its' effects on the surrounding environment.

The proposed strategy is designed to subtly provide task lighting and to aid wayfinding through exterior space. Careful consideration to the application and proposed specification of lighting to each area was given, whilst ensuring the balance of its necessity, form and function.

The exterior lighting is to be fully integrated with the interior lighting schemes, control of each lighting element with dimming, switching, time clocks, photocells and PIRs is essential.

The images adjacent illustrate the desired aesthetic and allude to the types of lighting proposed at Hodder Grange.



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## 6.10 HODDER GRANGE LIGHTING STRATEGY DESIGN CONSIDERATIONS

### Exterior Lighting

#### Arrival Forecourt

- Subtle approach carefully defining the forecourt boundaries with low level features
- Deep recessed downlights closely offset from the front door, accents the main entrance & provides task lighting with a controlled pool of light

#### Terraces

- Discreet, low key navigation lighting & localised task based lighting
- Surface/recessed wall lights provide soft, low level illumination to depict the start & end of level changes, accentuating the steps

#### Stable Courtyard

- Minimal low to mid level illumination

#### Family Terrace & Dining

- High level wall/surface downlights providing concealed dappled lighting to the loggia

#### Orchard & Walkways

- Spotlights mounted within the trees create functional, soft, dappled pools of light
- Low profile floor marker lights to aid wayfinding
- Warm, white spectrum of 2700K-3000K to be used to reduce the impact on wildlife

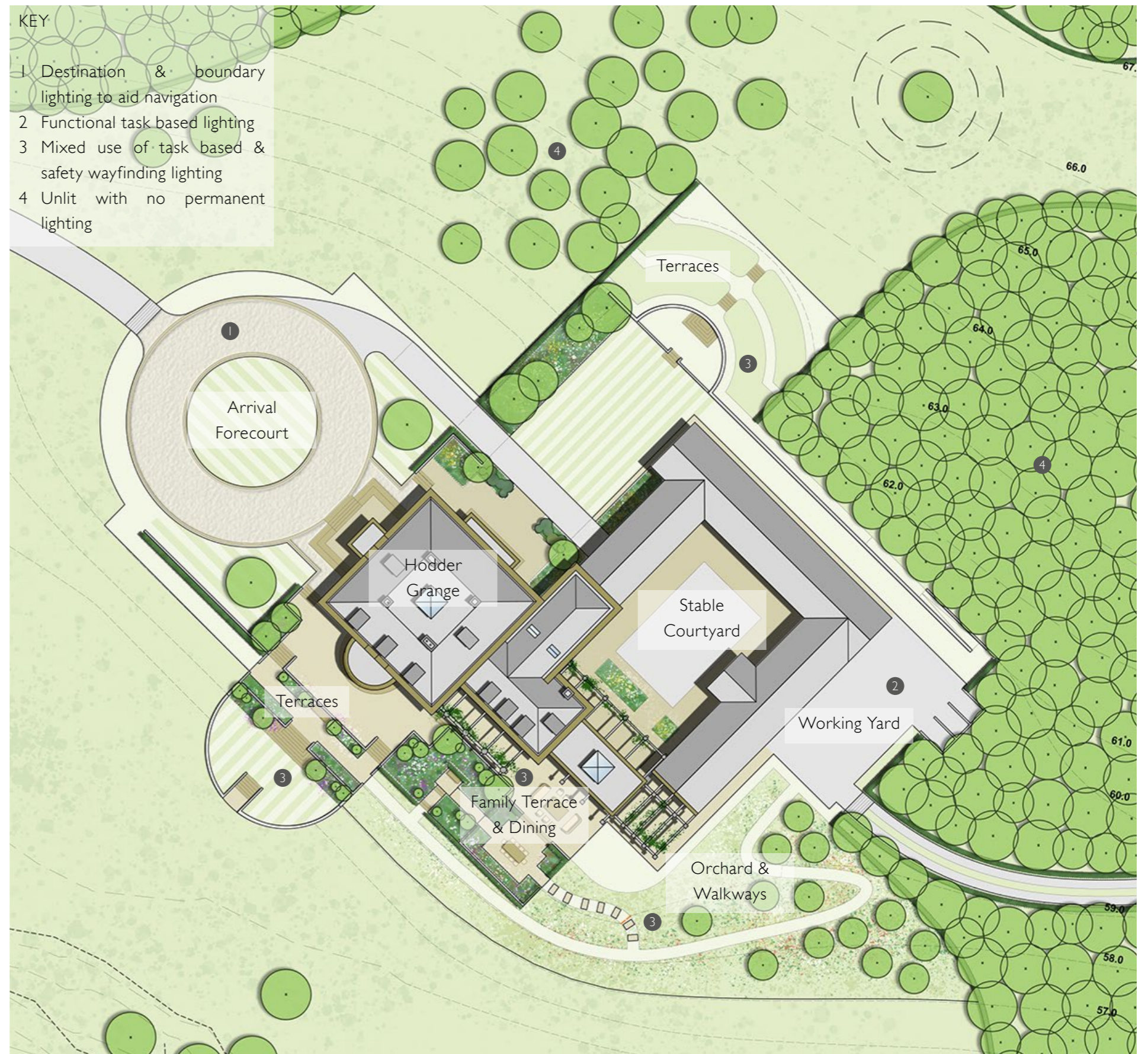
#### Working Yard

- Task lighting with focus on safety

### Interior Lighting

#### Hodder Grange

- Traditional & sympathetic lighting scheme designed to enhance the architectural features



# SUMMARY

## HEADLINES

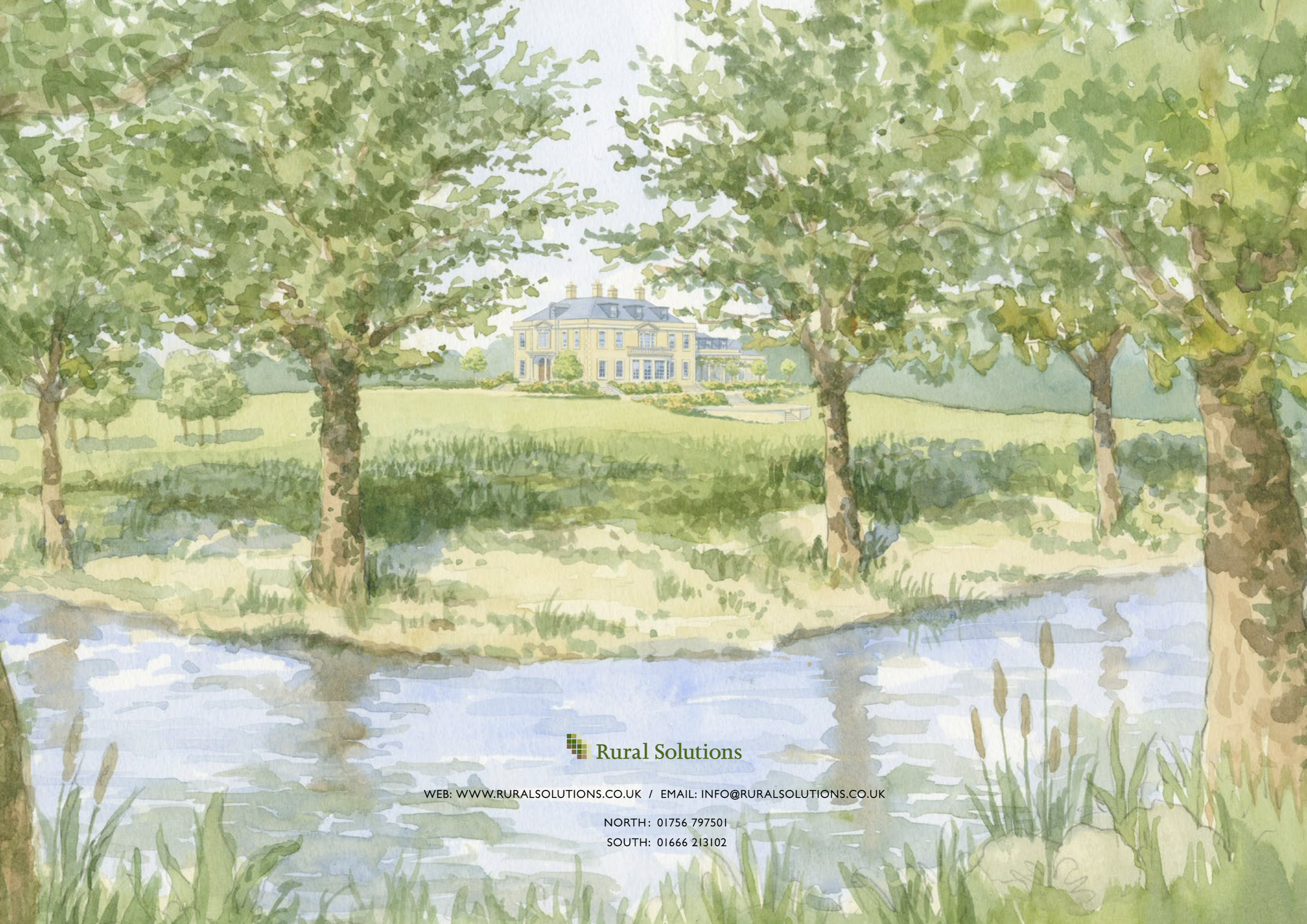
- To design a new private country residence for Mr & Mrs Bell who wish to continue to live in the area & enjoy the countryside whilst managing the wider site
- To design the first Passivhaus Plus new build property in the North West & the first classically designed Passivhaus Plus property in the world
- To bring significant ecological & environmental benefits to the wider landscape (to deliver an outstanding array of enhancements to the site of which the new traditional house is the centre-point)
- To create a dwelling of exceptional design
- To take a holistic approach that demonstrates the integration of disciplines within the site, breaking down the barriers between architecture, landscape architecture, ecology & biodiversity, sustainability & water management
- To design a traditional dwelling rooted in the history of the area, that embodies the best traditional architecture prevalent in the Forest of Bowland whilst responding to the practical needs of a country estate
- To understand the importance of isolated country houses & farms in the Forest of Bowland
- To utilise the key views of the surrounding landscape and mature woodland from the site, through the positioning & design of the property which will enrich the relationship & frame views of the new dwelling within the existing landscape

## SITE PARAMETERS

- To reflect on historic architectural styles & houses of the area such as Browsholme Hall
- Higher Hodder Bridge is Grade II Listed
- Site is located within the Forest of Bowland AONB
- Study shows a deep historical & cultural understanding of the local area & explains in detail, providing numerous local examples, that a substantial number of country houses in the wider Forest of Bowland exhibit a pure classical Georgian style, & embody the principles of Palladian design, symmetry, order & balance

## DESIGN SOLUTIONS

- The simple & unostentatious architecture of the Georgian era is exemplified in this 21st Century dwelling in an honest & sensitive way whilst also bringing significant positive impact both in environmental & landscape terms, developed in response to analysis of an in-depth study of the tradition of country houses in The Forest of Bowland, the Ribble Valley, Lancashire & England resulting in a traditional form & architectural typology - an exemplar of classical architecture based upon the Georgian country villa
- To ensure the design of the property is exceptional & reflects the highest standards in architecture to help raise standards of design in rural areas
- Ensured the proposal is sensitive to the defining characteristics of the local area & designations of the site & landscape
- Exploration of form, materiality & innovative technologies combined with wider expertise to create an exemplar Passivhaus Plus classically designed home



 Rural Solutions

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