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TAG PEER REVIEW- HODDER BRIDGE, CLITHEROE

Introduction-

This final review follows an engagement with the Applicants and the Design Team over a six-month period which started with the first formal review on 21st June 2021.

Since the first review there were additional on-line assessments of progress on the 12th August, 12th October and 23rd November. There were also a number of informal telephone discussions with the scheme architect.

As previously identified, this is a proposal submitted under the NPPF Paragraph 80(e) clause which states:

80. Planning policies and decisions should avoid the development of isolated homes in the countryside unless one or more of the following circumstances apply:

(e) the design is of exceptional quality, in that it:

- is truly outstanding, reflecting the highest standards in architecture, and would help to raise standards of design more generally in rural areas; and*
- would significantly enhance its immediate setting, and be sensitive to the defining characteristics of the local area.*

The Panel feel that the resulting building design and integrated enhancements in landscape, ecology and energy efficiency that are part of the scheme represent a scheme that should be considered of a quality that will fulfil the requirements of NPPF paragraph 80(e) above.

The Panel's reasoning that concludes this is set out further below.

The design team has been through a significant journey and have responded in a positive manner to the Panel's suggestions as to how the scheme might be improved. They have worked hard to refine the scheme and increase the artistic and intellectual depth necessary for it to be successful.

Landscape and siting-

A detailed landscape appraisal has been undertaken and acts as the foundation for the design and subsequent development. Projects such as these should be landscape and contextually led with the proposed scheme informed by and growing from the landscape, visual and contextual (and cultural) analysis. This then sets a clear planning and landscape character context.

There are two parts to this appraisal: a) the review of the general siting and proposed landscape treatment and, b) the heritage report of local country houses by Hinchcliffe Heritage which outlines features relevant to the scheme from the local built context.

Some further information and research has also been done regarding the designs of George Webster which has also positively informed the scheme; this will be discussed in the later sections.

The principal point is that the site is extraordinary both in the possibilities it offers for a great design but also in its context. The architectural response must be observant that the opportunity offered by clause 80(e) is an intensification of design beyond normal /standard considerations and must be understood through the possibilities of the site and landscape and the context both natural and manmade.

The proposed design should enhance an already intrinsically beautiful setting. The Panel believes the scheme now does so.

The Panel were generally in agreement with the choice of position for the new house and the logic of orientation and placement in section and level.

The entrance sequence from the main road is well considered. The drive is to be partly sunken into the field taking advantage of the existing contours, and gently winding to allow a sense of discovery on approaching the house. Both the digging in and curving shape suppress the effect of the drive and heighten the experience of glimpse views to the house.

Strategic trees and pinch point such as that between the central informal grove and new proposed woodland planting work to subtly frame the arrival; the true arrival being signalled by the more formal circular forecourt.

The Panel notes the ground rises steeply to the north and the proposal includes ground works, terracing and planted mounding which will further contain the new structures in the natural bowl within which the overall site sits.

These confining moves to “nest” the structures add to the sense of discovery of the house. The more formal areas of courtyards and small gardens intimate to the structures intensifies the experience. These formal spaces around the house offer a strong relationship with internal house functions whilst taking advantage of the sloping site and views to create a series of small formal terraces. The proposed style and character of proposed materials is fully in keeping with the emerging design concept.

The panel was interested in what might happen with the cut and fill and how that would be managed. It was understood that all materials would be used onsite in the landscaping. Further site sections are provided to show the impact of the contouring between the as existing and as proposed.

The river setting is of interest in that the river itself is more of an acoustic presence than one which is visible, the river set some meters below the edge of the bank. Removal of the formal pond present in the previous landscape scheme is seen as being beneficial and so the presence of the river can be fully appreciated without another less dynamic water feature, it was just not necessary.

The Buildings-

It is understood by the panel that the building form is driven not just by an historic aesthetic set by precedent but also by the science driving the energy performance of the building. The simple square and rectangular forms of the plan are necessary to maintain a good surface-to-volume ratio of the building and to make the most of efficient orientation. The resulting pavilion form of the house speaks both to its functionality as well as the romantic notion of discovery of the house as an “ideal” country villa nested into the landscape.

The square Palladian plan of the main house works well in ordering the formal interior spaces and the principle of a hierarchy of building form, language and material was explained to the Panel. The main house was to be of more refined stuff. As one progresses back to the ancillary buildings and stable courtyard these materials and details would become less dignified (more course) so the nature and status of parts of the building can be read in form and material. The Panel thought this to be an essential component of the breadth and depth of the design that will add to its exceptional qualities.

There was much discussion about aspects of the detailing of the building. The cast of the building as a more formalised farmhouse is understood and a good choice. This is a relatively small house (the design team has provided a very useful area comparison with other estate houses in the area). The design team had done some further research at the request of the Panel find a language that was simple but still had some refined qualities. The exemplar was found in the work of George Webster and his local work at Downham Hall:

- On arrival at the forecourt one is presented with a tidy composition of the entrance facade, a simple and direct piece of architecture (Webster inspired) that is restrained from any move to a grand or more ostentatious gesture;
- The south-east elevation of the house works well. Once again, the simple classical forms create a neat geometric composition. There is a clear progression shown through the diminution of the building forms towards the east service block. This is matched by graduating facing materials from the refined towards the rustic;
- The junction between the main house and kitchen family wing is happily resolved;
- The skills and craft necessary to execute the stonework alone should be a significant consideration in establishing the exceptional qualities of the proposal;

- Emphasis was placed on the axial arrangement running west to east through the building. This is very strong and well defined and the secondary axis north south also well considered. The crossing of the axis rightly taking place in the centre of the house and main circulation space. The spatial journey through the house from front porch to compression in the entrance vestibule then the spectacle of the hall, grand stairs and three storey space will make a dramatic and unique experience that will centre and ground the visitor and act as the orientating element of the house. Around this central space the more formal and historic type of Palladian plan sits.
- To the east one moves into the less formal spaces for family living, the orangery and links to the service court the sequence reflecting the external hierarchy of formal to less formal and subservient spaces.

It should be further appreciated that this project not only speaks to the design quality in the aesthetics of the building but also is designed to be PassivHaus. The construction fabric enhances the traditional classical cast of the building in the use of the thick walls of the clay block Smartwall construction method proposed to be used.

Such an aspirational project will depend on the quality of the detailing, some details are indicated and surety that a high standard of design will be executed can be safeguarded by the authority through condition.

Conclusion-

To reiterate, the Panel feel that the resulting building design and integrated enhancements in landscape, ecology and energy efficiency that are part of the scheme represent a scheme that should be considered of a quality that will fulfil the requirements of NPPF paragraph 80(e).

The building process that would be part of this project in itself would be a significant, exceptional and innovative departure from the norm, it would, in the terms of the NPPF policy would be... *truly outstanding, reflecting the highest standards in architecture, and would help to raise standards of design more generally in rural areas and would significantly enhance its immediate setting, and be sensitive to the defining characteristics of the local area.*

Issued 29 November 2021.



A Linked Society of the RIBA

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Its registered and correspondence address is

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HODDER GRANGE
PARAGRAPH 80e
DESIGN & ACCESS STATEMENT

MR & MRS BELL
NOVEMBER 2021
2490 / REV B



| AUTHOR | VERSION | CHECKED | DATE | DESCRIPTION |
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| SF/RC | REV A | | 28/09/2021 | FOR PLANNING SUBMISSION |
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SUMMARY

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SUMMARY

HEADLINES

- To design a new private country residence for Mr & Mrs Bell who wish to continue to live in the area & enjoy the countryside whilst managing the wider site
- To design the first Passivhaus Plus new build property in the North West & the first classically designed Passivhaus Plus property in the world
- To bring significant ecological & environmental benefits to the wider landscape (to deliver an outstanding array of enhancements to the site of which the new traditional house is the centre-point)
- To create a dwelling of exceptional design
- To take a holistic approach that demonstrates the integration of disciplines within the site, breaking down the barriers between architecture, landscape architecture, ecology & biodiversity, sustainability & water management
- To design a traditional dwelling rooted in the history of the area, that embodies the best traditional architecture prevalent in the Forest of Bowland whilst responding to the practical needs of a country estate
- To understand the importance of isolated country houses & farms in the Forest of Bowland
- To utilise the key views of the surrounding landscape and mature woodland from the site, through the positioning & design of the property which will enrich the relationship & frame views of the new dwelling within the existing landscape

SITE PARAMETERS

- To reflect on historic architectural styles & houses of the area such as Browsholme Hall
- Higher Hodder Bridge is Grade II Listed
- Site is located within the Forest of Bowland AONB
- Study shows a deep historical & cultural understanding of the local area & explains in detail, providing numerous local examples, that a substantial number of country houses in the wider Forest of Bowland exhibit a pure classical Georgian style, & embody the principles of Palladian design, symmetry, order & balance

DESIGN SOLUTIONS

- The simple & unostentatious architecture of the Georgian era is exemplified in this 21st Century dwelling in an honest & sensitive way whilst also bringing significant positive impact both in environmental & landscape terms, developed in response to analysis of an in-depth study of the tradition of country houses in The Forest of Bowland, the Ribble Valley, Lancashire & England resulting in a traditional form & architectural typology - an exemplar of classical architecture based upon the Georgian country villa
- To ensure the design of the property is exceptional & reflects the highest standards in architecture to help raise standards of design in rural areas
- Ensured the proposal is sensitive to the defining characteristics of the local area & designations of the site & landscape
- Exploration of form, materiality & innovative technologies combined with wider expertise to create an exemplar Passivhaus Plus classically designed home

1.1 INTRODUCTION

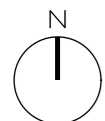
Rural Solutions Ltd have been commissioned by Mr & Mrs Bell to submit a planning application for the construction of a truly outstanding country house on land adjacent to the River Hodder, Lancashire in the Forest of Bowland Area of Outstanding Natural Beauty (AONB).

Planning permission for a new dwelling in the open countryside can be policy compliant according to paragraph 80e (formerly paragraph 79 & 55) of the National Planning Policy Framework (NPPF), which states:

“ 80. Planning policies and decisions should avoid the development of isolated homes in the countryside unless one or more of the following circumstances apply:

- e) the design is of exceptional quality, in that it:
- Is truly outstanding, reflecting the highest standards in architecture, and would help to raise standards of design more generally in rural areas; and
 - Would significantly enhance its immediate setting, and be sensitive to the defining characteristics of the local area

Chapter 5 Delivering a sufficient supply of homes, Rural Housing, Paragraph 80, NPPF July 2021 Ministry of Housing, Communities and Local Government.



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2.1 SITE CONTEXT

The site is an open field situated to the East of the River Hodder which is a County Biological Heritage Site. Lower Hodder Bridge is located 0.20 km North of the site and crosses the river, with Longridge Fell situated 2.85 km to the North-West of the site. The closest settlement to the site is the town of Clitheroe, in the Ribble Valley of Lancashire, which is located 3.60 km to the North-East.

The site comprises of 12.8 hectares. Trees line the boundaries of the site, partially screening it from the adjacent River Hodder and surrounding open landscape. The topography of the site slopes from the East down towards the River Hodder and is surrounded by open fields with views of the neighbouring Longridge Fell.

The site itself is situated within the Forest of Bowland AONB with Site of Special Scientific Interest (SSSI) surrounding the site. These landscape designations will need to be considered as part of the proposal.

The Forest of Bowland is a landscape which is rich in heritage; many of the features present in Bowland today were established in the post medieval period. By the late 14th Century, Bowland comprised of a Royal Forest and a Liberty of ten Manors spanning almost 300 square miles. During the medieval period, the Royal hunting forests were established - the title 'forest' refers to hunting rights and not to woodlands.

- 1 View of the Eastern site from the Public Right of Way running through the site
- 2 Panoramic view to the South West from the central plateau
- 3 A glimpsed view from across the River Hodder



2.2 SITE LOCATION

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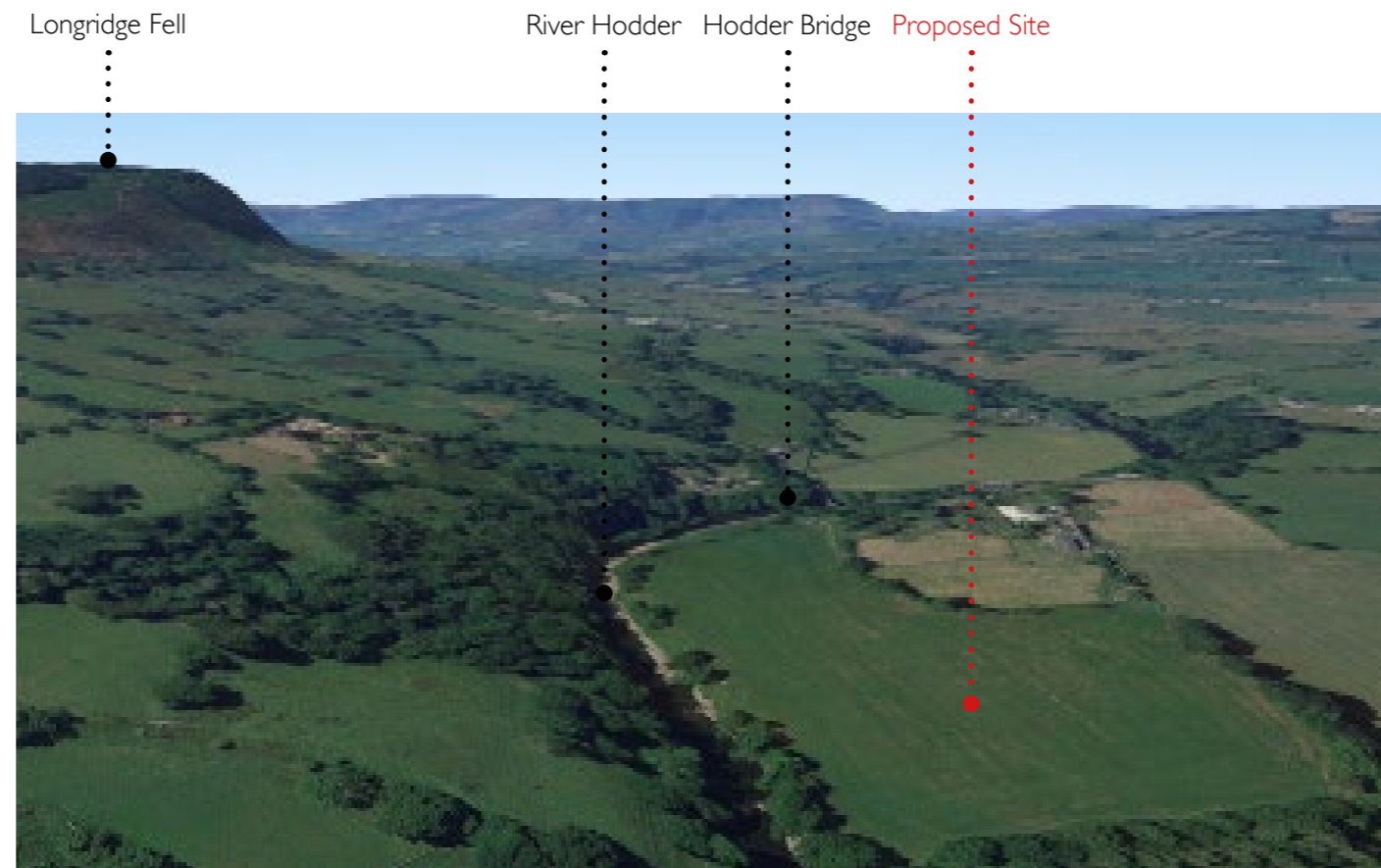
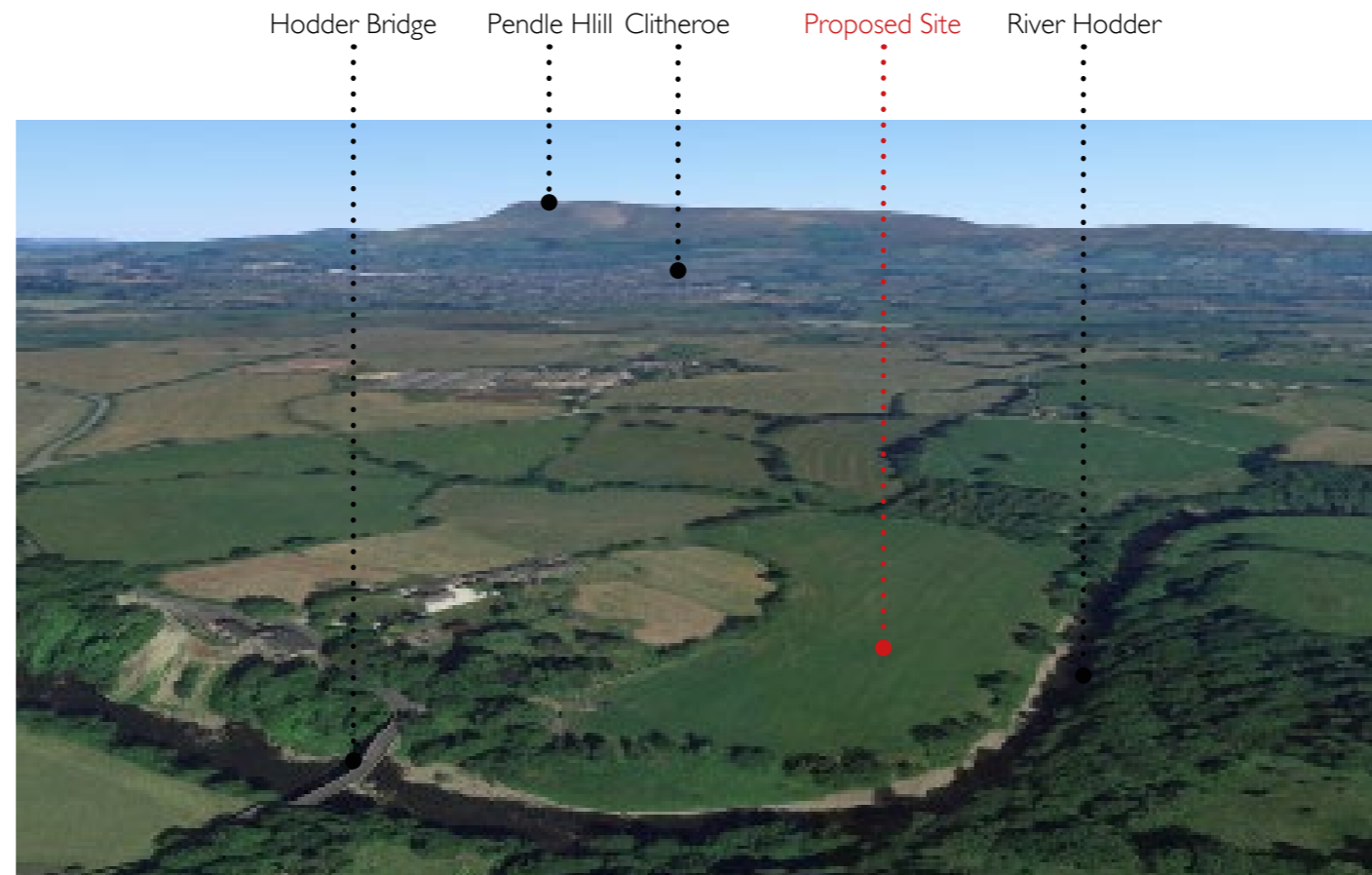
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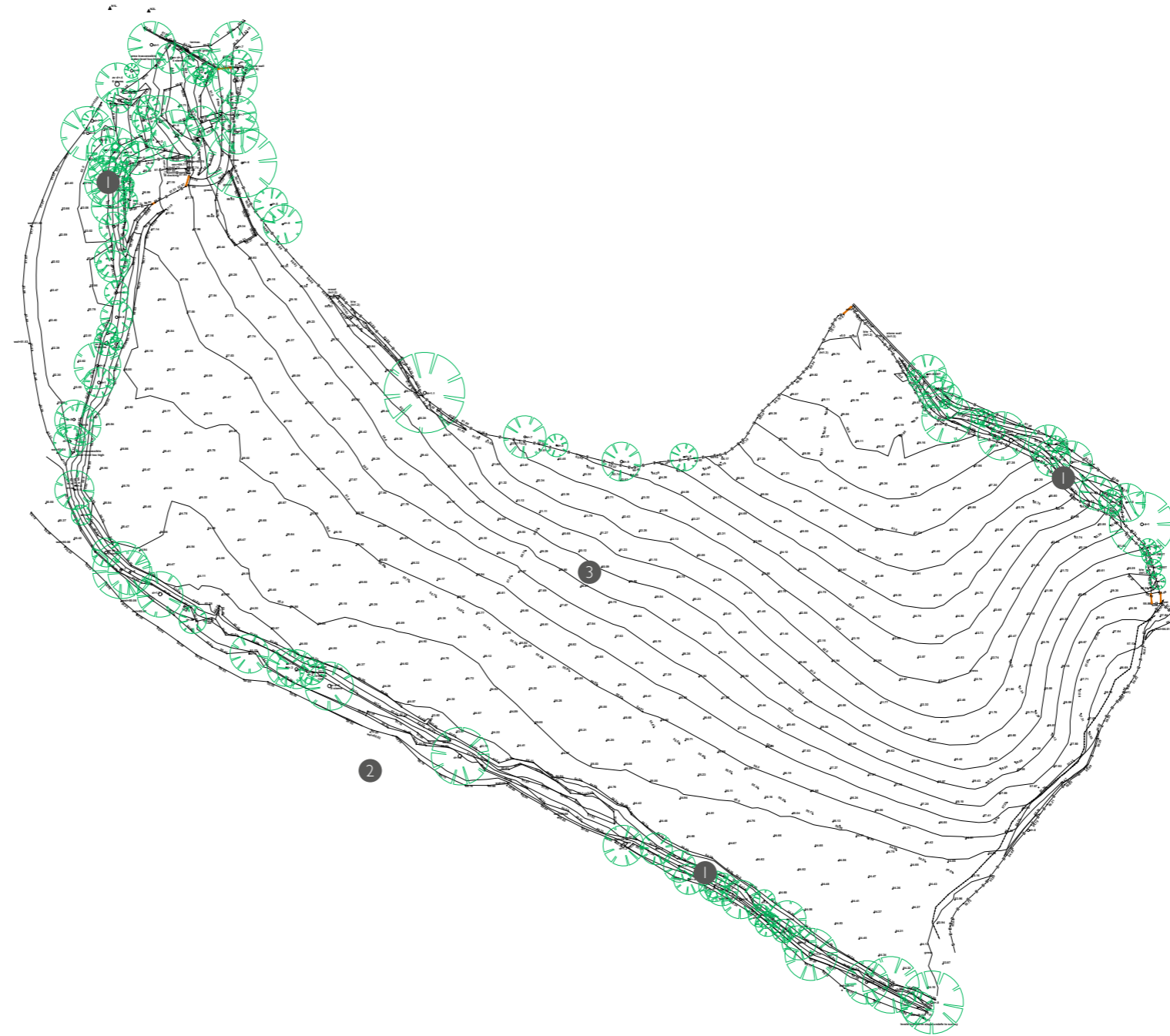
2.3 WIDER CONTEXT



2.4 SITE PLAN_AS EXISTING 1:1000 @ A1

KEY

- 1 Trees
- 2 River Hodder
- 3 Contours



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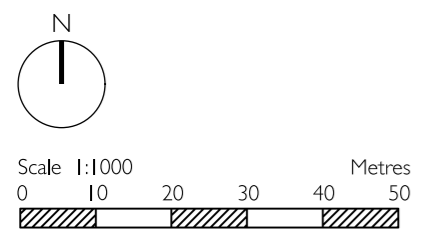
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2.5 SITE DEFINING CHARACTERISTICS

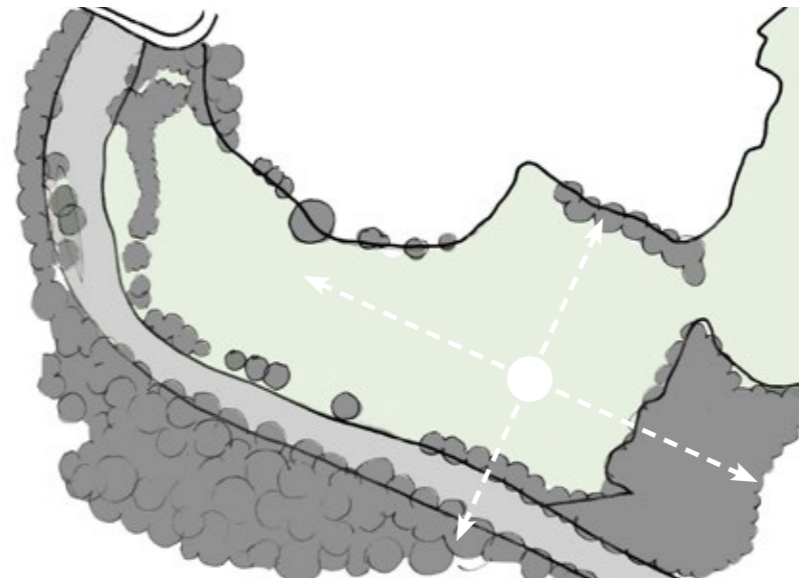
Ecologically degraded field

Provides opportunity for enhancement



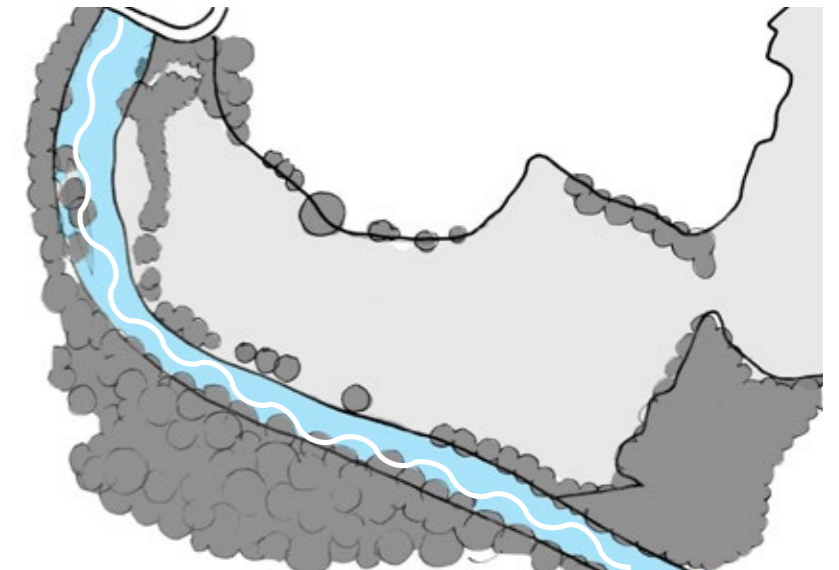
Focal point

At intersection of views within 'Amphitheatre'



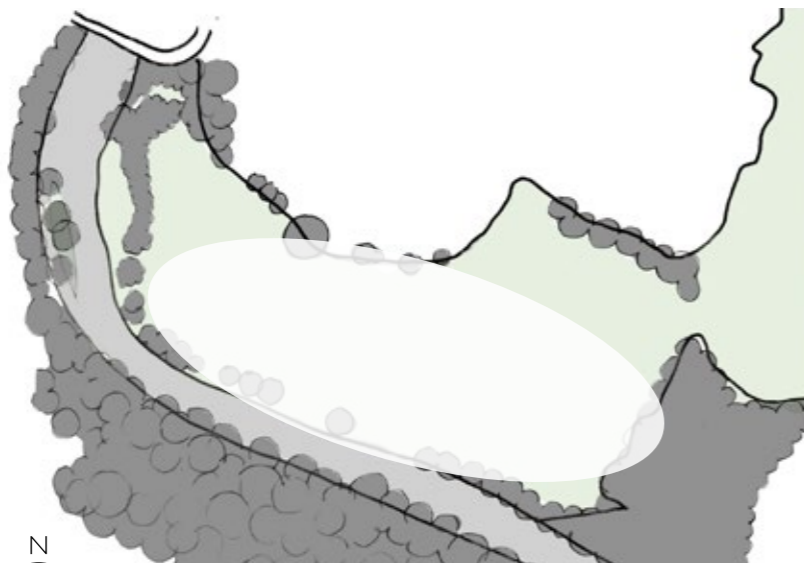
A Bow in the bend of the river

Curving around the site



Trees form a 'Green Amphitheatre'

Creates a natural sense of enclosure



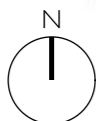
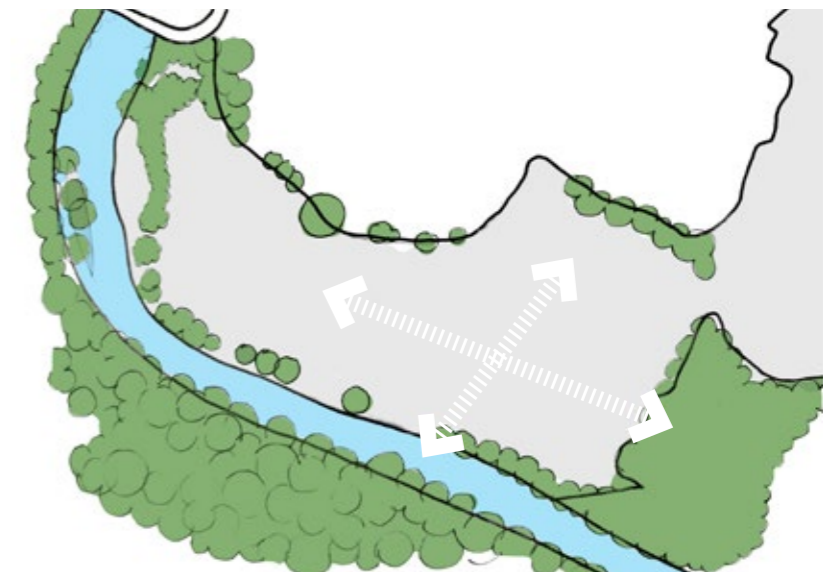
Filtered views

Glimpsed through the trees



Panoramic views

Wide panoramic views of the landscape



2.6 FILTERED VIEWS OF A ROMANTIC CANVAS



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2.7 HISTORICAL MAP ANALYSIS

The adjacent maps of the site and immediate surroundings differ very little from the current context. The built form shown in this area is and has been limited to isolated, dwellings or small clusters. A new dwelling on the proposed site would follow example of other isolated country houses in the area such as nearby Bashall Hall and Browsholme Hall. The former Bashall Lodge, a historic country mansion with barns, garden and land is shown on the last historic map shown adjacent (dated 1886 - 1894). Although the lodge has been demolished, the lodge plantation survives and the outline of the plot remains legible, refer to page 29 of the heritage report.

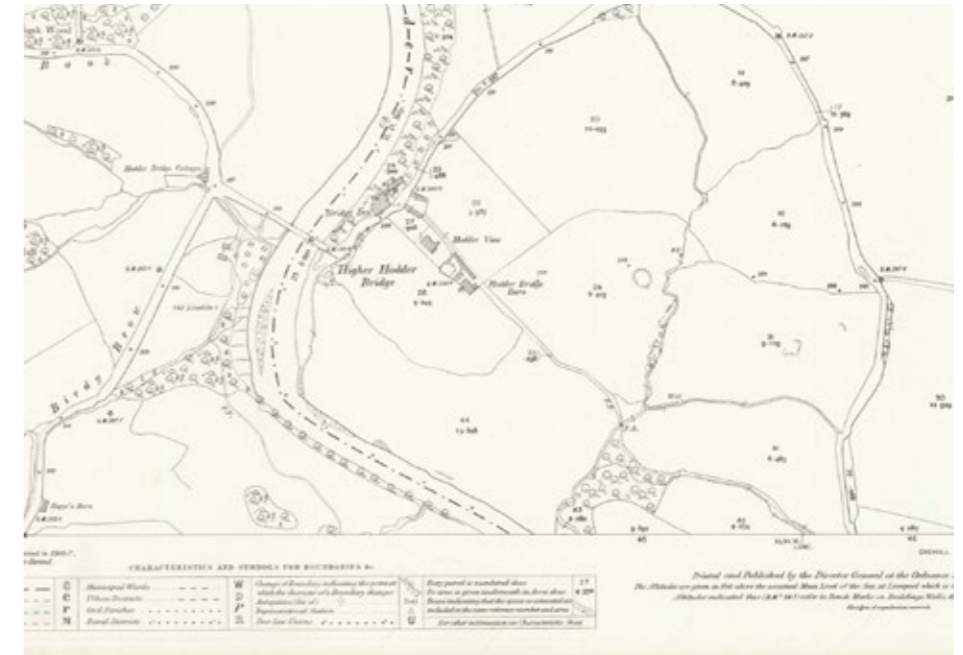
The predominant historic patterns in the Bowland landscape are medieval in date and demonstrate continuity in landownership, community and management over the Centuries. There are variations across the landscape; estate villages, farming settlements, large country estates, larger villages such as Slaidburn and industrial hamlets.

The origins of the name 'Forest of Bowland', the region where the site lies, refers to the meander or 'Bow' of the River Hodder. The proposed site of this project lies in a 'Bow' in the River Hodder. The adjacent maps show development around the Hodder Bridge reinforcing the importance of the bow of the river as a site for building.

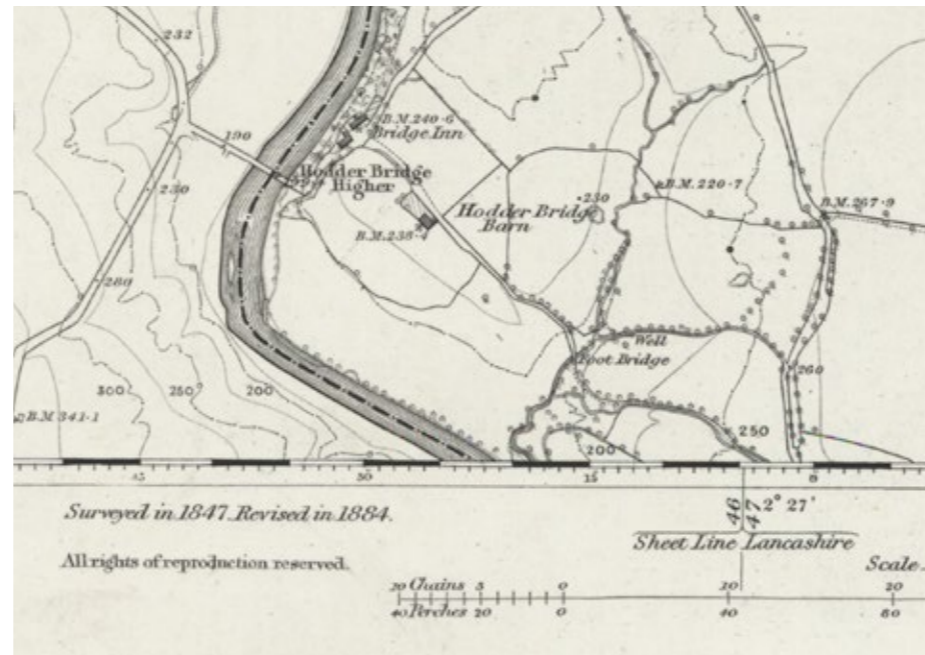
Higher Hodder Bridge is located to the North of the site and this structure is Grade II Listed. There are only limited and intermittent views from the bridge to the site. It is at a much lower level than the site and separated by a bend in the river, therefore, there is little visual connectivity between them.



1850



1901



1884



1886 - 1894

3.1 THE TRADITION OF COUNTRY HOUSES IN THE FOREST OF BOWLAND

'The Tradition of Country Houses in the Forest of Bowland, Ribble Valley, Lancashire and England' by John Hinchcliffe studied the extensive network of historic country houses in close proximity to the site. The study sets out the role of the country house as a 'defining characteristic' of the Forest of Bowland in the wider context of the tradition of country houses.

“ The isolated country houses set in formal parkland, such as Browsholme and Quernmore, are a typical feature of the landscape. A particular feature of this area is the number of large country houses and halls set in parkland, such as Ellel Grange, Waddow Hall, Bolton Park and Leagram Hall, as well as country estates, such as Abbeystead, which have developed from the medieval period.

'Character Assessment' by Natural England

There are many fine examples of stone buildings, built between the 16th and 18th Centuries often to replace earlier timber houses. Grand halls, parks and houses were built such as Browsholme Hall, Leagram, Bashall Hall and Quernmore and from these Estates, the gentry had a controlling influence over the surrounding area. They also hunted in the Forest, traditionally for deer and wild boar but also for rabbits, foxes, hares, pheasants and partridges.

The clients' wish for a new country home in this area is based on the high quality traditional architecture of these examples. The proposal will follow the scale, form and appearance of the local historic country houses, whilst incorporating innovative, modern technologies.



3.2 LOCAL LISTED COUNTRY HOUSES PRECEDENTS



Browsholme Hall, Forest of Bowland (Grade I Listed)



Stonyhurst, Clitheroe (Grade I Listed)



Bashall Hall, Bashall Eaves (Grade II* Listed)



Chaigney Manor, Clitheroe (Grade II* Listed)



Rivington Hall, Rivington (Grade II* Listed)



Whins House, Sabden (Grade II Listed)

3.3 LOCAL LISTED NEO-CLASSICAL GEORGIAN COUNTRY HOUSES PRECEDENTS

In order to draw inspiration for the form, scale and appearance of the dwelling a range of case studies have been gathered, some of these are demonstrated adjacent. These depict the spatial qualities of Georgian architecture, the style the clients requested the proposed dwelling to follow.

'*God is in the detail*' is a quote that resonates not only in modern times but also prior to the 20th Century. The Georgian era can be described as developing a wealth of detail that further enhanced the overall architecture of the period. The importance of these buildings is reflected in the fact that many of them are Grade II or II* Listed status.

There are numerous examples of Georgian architecture in the locality as it described in the separate report on the tradition of country houses in the area. The design of the new house follows this approach and is appropriate to its setting. Townhead Farm and Newton Hall near Slaidburn, shown adjacent, are examples of Georgian country houses in the region of the site.

The adjacent examples help to depict the materials, appearance and style aiming to achieve in the proposed new dwelling.

- 1 Downham Hall, Downham (Grade II* Listed)
- 2 Townhead, Slaidburn (Grade II* Listed)
- 3 Whins House, Sabden (Grade II Listed)
- 4 Cogshall Hall, Comberbatch (Grade II* Listed)
- 5 Parbold Hall, Parbold (Grade II* Listed)
- 6 Casterton Hall, Kirkby Lonsdale (Grade II Listed)



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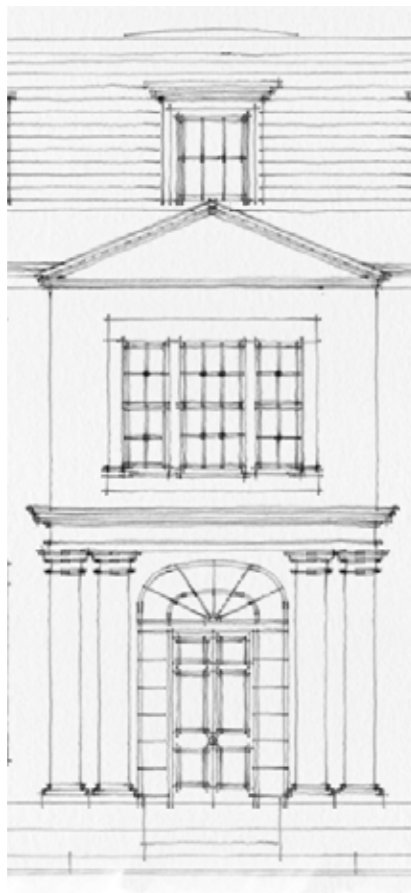
3.4 ARCHITECTURAL REFERENCES TO LOCAL LISTED COUNTRY HOUSES



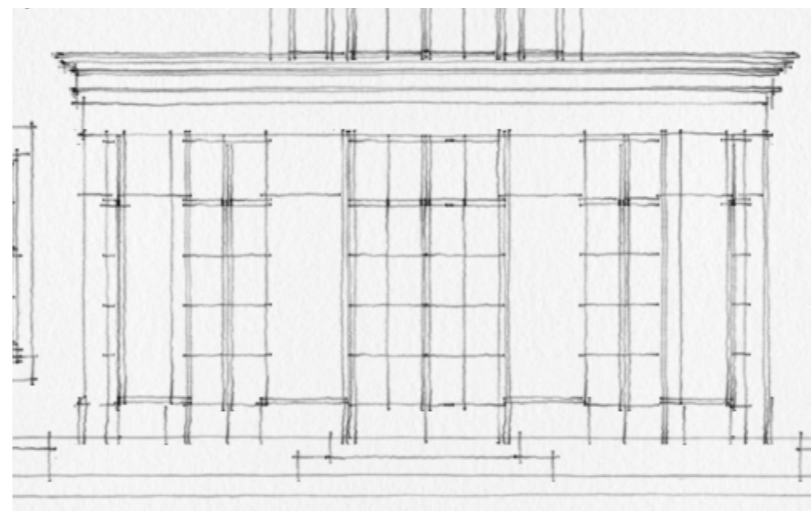
Stone heads and jambs with sliding sash window, Whins House, Sabden



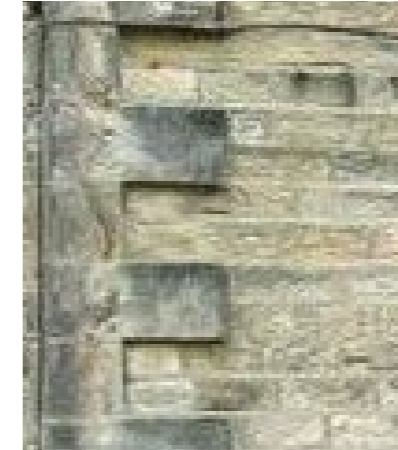
Bowed Portico & Orangery at Casterton Hall, Kirkby Lonsdale (Grade II Listed)



Tower of Orders (reference to Stonyhurst & Browsholme Hall)
North West Elevation_As Proposed



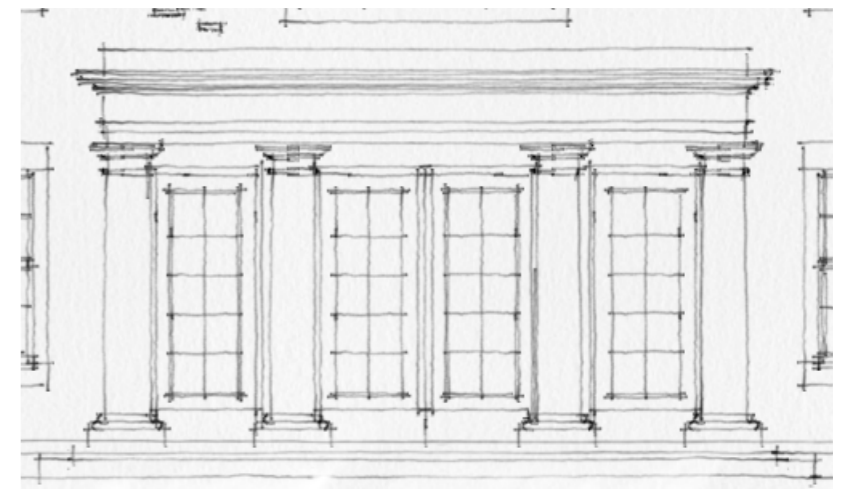
Bowed Portico (reference to Casterton Hall)
South West Elevation_As Proposed



Projecting Quoins at Whins Hall, Sabden (Grade II Listed)



Parapet and cornice at Downham Hall



Row of four columns (reference to Downham Hall)
North East Elevation_As Proposed



Row of four columns, parapet & cornice detail at Downham Hall, Clitheroe (Grade II * Listed)

3.5 GEORGE WEBSTER'S ARCHITECTURE & THE INFLUENCE OF HIS LOCAL EXAMPLES

As explored in John Hinchcliffe's report, 'The Tradition of Country Houses in The Forest of Bowland, Ribble Valley, Lancashire and England', there are fine examples of Georgian in the Ribble Valley and the wider Lancashire and Cumbrian counties. George Webster, in particular, made an impact, designing and constructing several architectural examples of the period. His work was prevalent in Kendal where his family of master designers and craftsmen were known as 'The Websters of Kendal'. The Webster's were historically master masons providing and supervising work to the design of others. George initially took the same position but soon started to design his own buildings and when George Webster retired in the 1840's he was a leading regional architect responsible for many of the finest buildings of the area.

George was responsible for the design of 'Downham Hall', 'Read Hall' and the re-modelling of the front of 'Broughton' Hall', all of which are near to the application site. These fine examples show a particular style reflective of the area and can be clearly understood as a distinct regional variation of Georgian Architecture. This is evident in the following ways:

- The simplicity of the composition combined with a more squat form
- A restrained style where a 'less is more' attitude is employed. See the simplicity of the portico and pediment at Downham Hall.
- Window details have vernacular influences with simple heads, jambs and cills and rarely employ more complex classical detailing
- Pediments are simple with little or no decoration. The pediment at Downham Hall has Roman classical proportions whereas the 4 columns below are of Greek design thus demonstrating a 'play' with various styles to achieve the simple, rural appearance desired.
- Similarly, the entablature and parapet/balustrade are simple, unadorned elements sometimes with a plain solid parapet wall and occasionally castellated as in Downham.
- Bowed porticos are a particular feature of Georgian architecture in this area- as seen in Read Hall, Whins House and Casterton Hall. These are arguably the most elaborate forms within the composition of these buildings, creating a classical focal point in the elevation.

Downham Hall's proportions are low and squat. Central portico steps back above colonnade. Roof's subservience matches low proportions of the design



Broughton Hall showing George Webster's iconic 'Porte Cochere'. To the left, a simple unadorned pediment over recessed ionic order central feature



Read Hall's bowed portico with Ionic order colonnade and balcony above. Tall, plain solid stone parapet



An etching of Dallam Tower showing the remodelled parts by George Webster:

'The architect duly 'aggrandized the house, rendering the brick to imitate stonework,' adding the Tuscan porch and those extended pavilions to produce the 'substantial, gracious and symmetrical country house' we see today. Pevsner



Read Hall's simple tall parapet with large projecting cornice. Central projecting bay and portico



Downham Hall's plain Roman pediment, no decoration above central window and 4 Greek Doric columns



3.6 HISTORICAL STABLES PRECEDENTS



Gibside Stables, Newcastle



Kinston Lacy Stables, Wimborne Minster



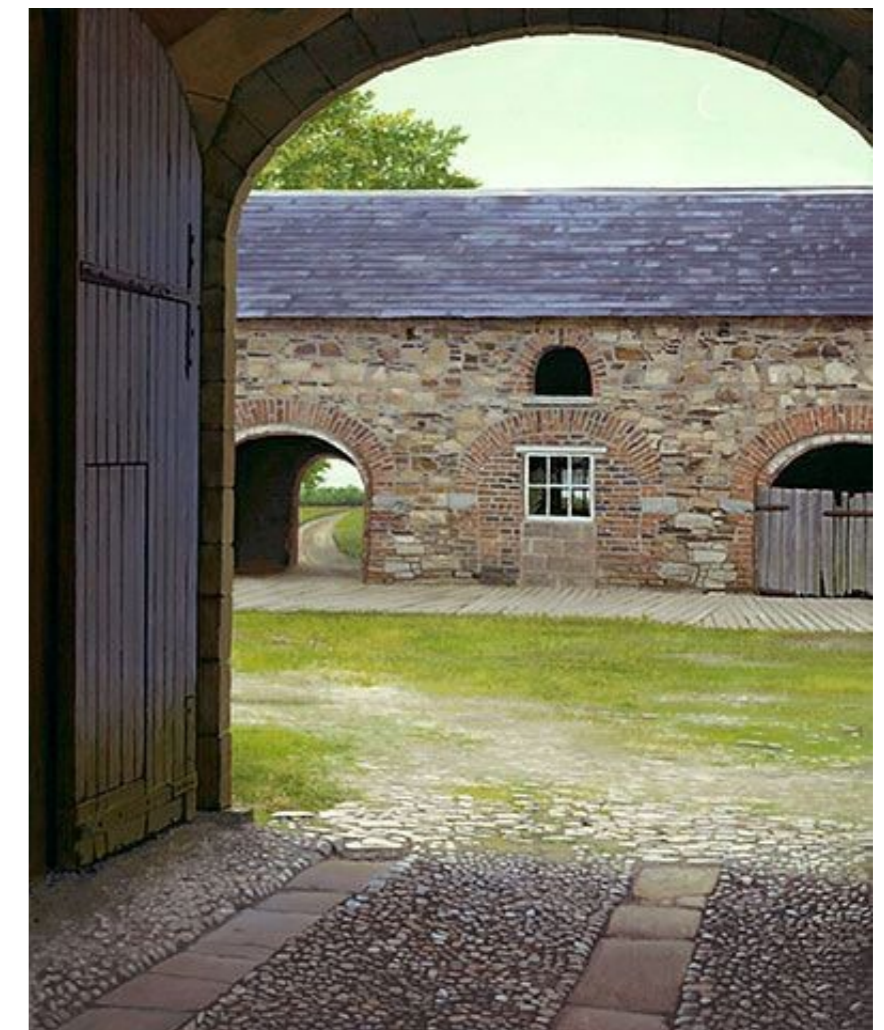
Hall Lane, Antrobus



Stables Cottage Hendersyde



The Courtyard & Stable Yard, The Carriage Rooms, Montalto



Traditional stable yard

3.7 'GENIUS LOCI' & THE INFLUENCE OF ROMANTICISM



To select, combine & concentrate that which is beautiful in nature & admirable in art is as much the business of the landscape painter in his line as in the other departments of art

J. M. W. Turner

3.7 'GENIUS LOCI' & THE INFLUENCE OF ROMANTICISM

A natural green amphitheatre surrounds a sloping field. Where the view from Hodder Bridge meets a shallow basin, there is a confluence of views, a central stage. The place evokes a William Turner painting where the autumn mists cling to the treetops over the bow of the River Hodder. This magical place focuses the eye on its central basin, a blank canvas within the heart of the green backdrop.

When visiting the site, some of the most prominent qualities of the landscape were the colours of the leaves in the surrounding mature woodland dappled by the soft overcast light and mist, which evoked a sense of a William Turner painting.

Positioning the new house on the site in a manner that captures and embraces these qualities depicted by Turner in his paintings will enrich the relationship of the new dwelling with the existing landscape. The position of the proposal, as shown on the proposed site plan in this document, endeavours to frame views that embody these qualities and also reinforce these qualities when viewed within the setting for the benefit of others, in a similar manner to Turner's depiction of Browsholme Hall, adjacent.



Early sketch



William Turner painting of nearby Browsholme Hall



William Turner painting of nearby Eadesford bridge

3.8 PASSIVHAUS DESIGN



Passivhaus Plus Certified UK Precedent Images: Carrstone House, Lark Rise, Leyburn Passivhaus & Bristol Passivhaus Plus - all of these examples demonstrate that Passivhaus Plus designed houses are all contemporary in style

Hodder Grange will be the first classically designed Passivhaus Plus property in the world, The first Passivhaus Plus New Build property in the north-west, & a 'True' Zero Energy / Zero Carbon House. This exemplary home will employ a petrochemical-free building fabric & concrete free foundations setting a new low carbon standard for the rural built environment.

3.8 PASSIVHAUS DESIGN

Passivhaus Plus

Hodder Grange will be:

- A 'True' Zero Energy / Zero Carbon House
- The first Passivhaus Plus new build property in the North West; and,
- The first classically designed Passivhaus Plus property in the world

There are no other known cases of other approved buildings which would meet the Passivhaus Plus standard. Passivhaus Plus is a higher standard of sustainability than the standard Passivhaus accreditation (Passivhaus Classic).

“Hodder Bridge will be one of, if not the most, sustainable houses built in the classically designed tradition, and an exemplar in how classical design can respond to the challenges of the 21st century.

Sustainability Statement by Ecospheric

Passivhaus Planning Package (PHPP)

The design was assessed by Ecospheric at the very earliest stage and was developed with Passivhaus principles. In order to determine whether Hodder Bridge is capable of achieving the esteemed Passivhaus Certification Levels the dwelling was modelled in the PHPP, one of the most powerful and comprehensive building physics engines and calculation tools developed by the International Passivhaus Institute of Germany. *In summary, the high level outputs indicated energy use for heating Hodder Grange is 18% lower than that of a Passivhaus Classic. Passivhaus limiting criteria is 15kWh/m²a for space heating, whereas this house is at 12.3 kWh/m²a.*

“This project offers a unique opportunity to deliver repeatable sustainable solutions, benefiting future generations of designers, landowners and farmers... The House at Hodder Bridge will contribute to all areas of embodied and operational carbon, setting new standards for rural dwelling houses... The final product will be functional, healthy, low maintenance accommodation, capable of producing enough energy on site to power all household and site needs, appliances, lighting, space heating/cooling, domestic hot water and ventilation resulting in over 100% reduced carbon footprint over an

equivalent new build. True innovation will be necessary in order to deliver this ambitious goal, especially in a classically designed country house setting.

Sustainability Statement by Ecospheric

As such, the new dwelling will not only have a very high standard of energy efficiency but it will also represent a unique example of how to achieve this in a traditional country house of this size.

Fabric Construction Type

Juwo Evolved Smartwall blocks have the unique combination of a high thermal insulation and a high thermal mass which provides a constant indoor climate. They have a lifespan of over 100 years and contribute to an ecological and sustainable building.

Ground Floor Construction

Limecrete floor construction has a high thermal mass and the ability to deal with naturally occurring moisture.

Windows

Viking SW17 windows in engineered wood are proposed in a traditional style for their exceptional energy efficiency with class 4 airtightness performance standards.

Renewable Energy Generation

Solecco solar PV tiles in a slate grey are to be positioned on the building's secondary elevations. The Ecospheric Sustainability Statement refers to the site generation and demand figures in relation to a solar PV array. *A 99m² Solecco Solar Slate array, generating 14.5kW peak and a predicted annual 13,500kWh. The second roof mounted system is to be located on the SE roof of the courtyard buildings. A 52m² Solecco Solar Slate array, generating 7.8kW peak and a predicted annual 7,000kWh. Combined site generation of 20,500kWh more than covers the total projected annual site demand of 17,000kWh (including gym, external lighting, security etc).*

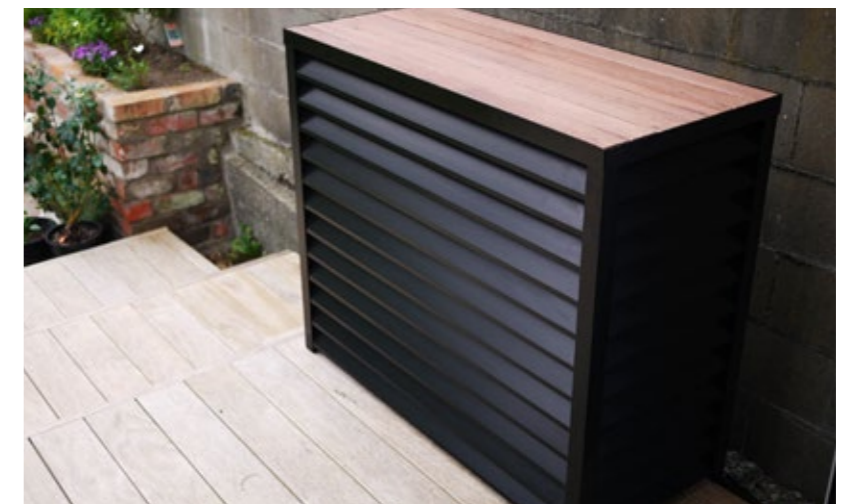
An air source heat pump is proposed to be sensitively-sited inside the courtyard in a concealed location. It will provide the necessary domestic hot water and space heating for the main building. It is located within a slatted container designed for minimal visual and acoustic impact, whilst optimised for pipe run minimisation.



Slate Grey Solecco Solar PV Tiles
(As Proposed for the SE Roof of Courtyard Building)



Juwo Evolved Smartwall



Air Source Heat Pump

3.9 FOOTPRINT COMPARISON OF EXISTING COUNTRY HOUSES

Below is an approximate footprint study comparing the size of some of the established country houses within the Ribble Valley to the proposed dwelling. The adjacent aerial illustrates the proximity of existing country houses to the site for the proposed house. This information demonstrates that Hodder Grange will be sensitive in scale to the characteristics of the local country house tradition.

Chaigley Manor

Chaigley Manor - 481m²
Outbuildings - 101m² & 92m²

Total Footprint = 674m²

0.71 km North West of the site

Browsholme Hall

Browsholme Hall - 1,033m²
Cottage - 105m²

Total Footprint = 1,138m²

4.63 km North West of the site

Bashall Hall

Bashall Hall - 377m²
Outbuilding - 218m²

Total Footprint = 595m²

1.88 km North East of the site

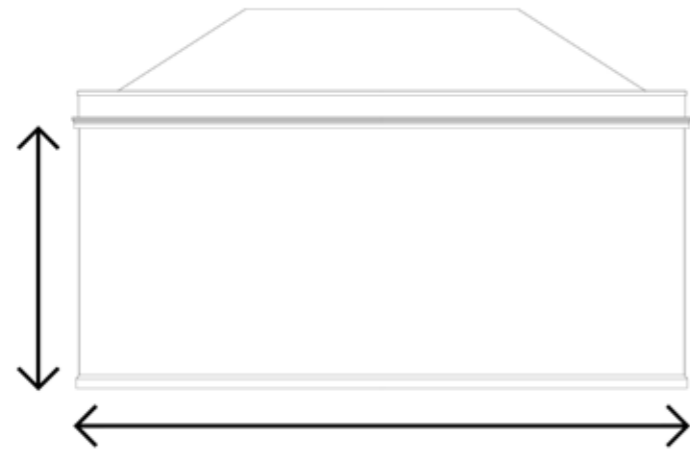
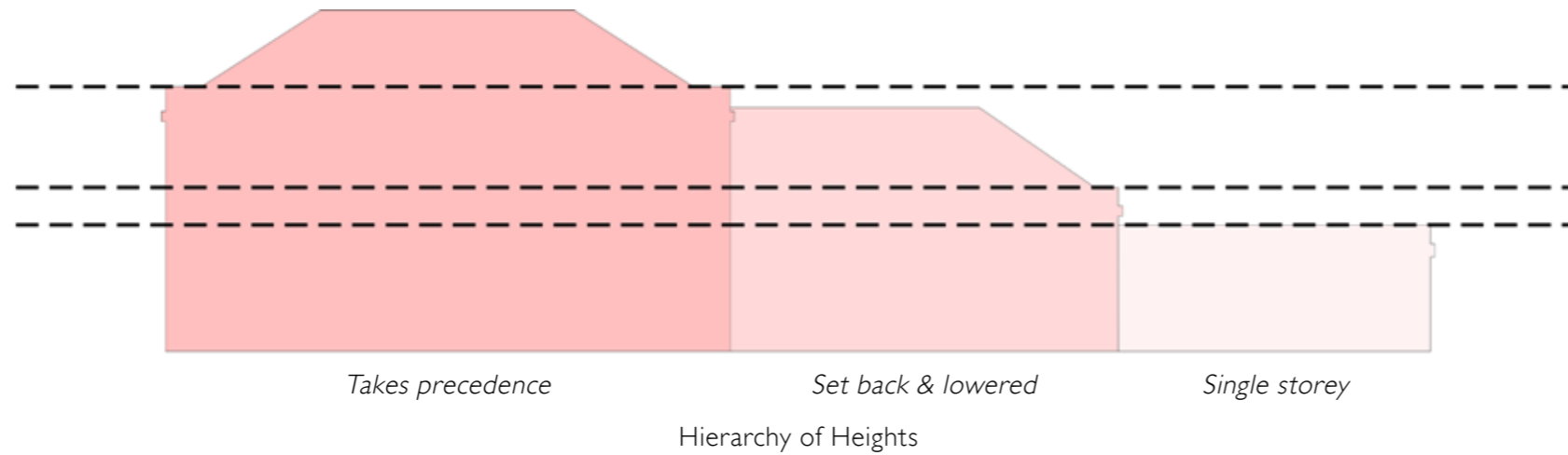
Proposed Hodder Grange

Footprint of proposed dwelling - 460m²
Courtyard Buildings - 309m²

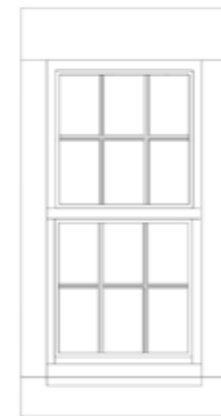
Total Footprint = 769m²



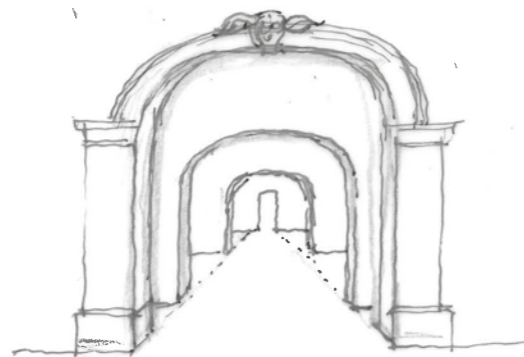
3.10 KEY DIAGRAMS



Low 'squat' proportions similar to Casterton & Chaigley House



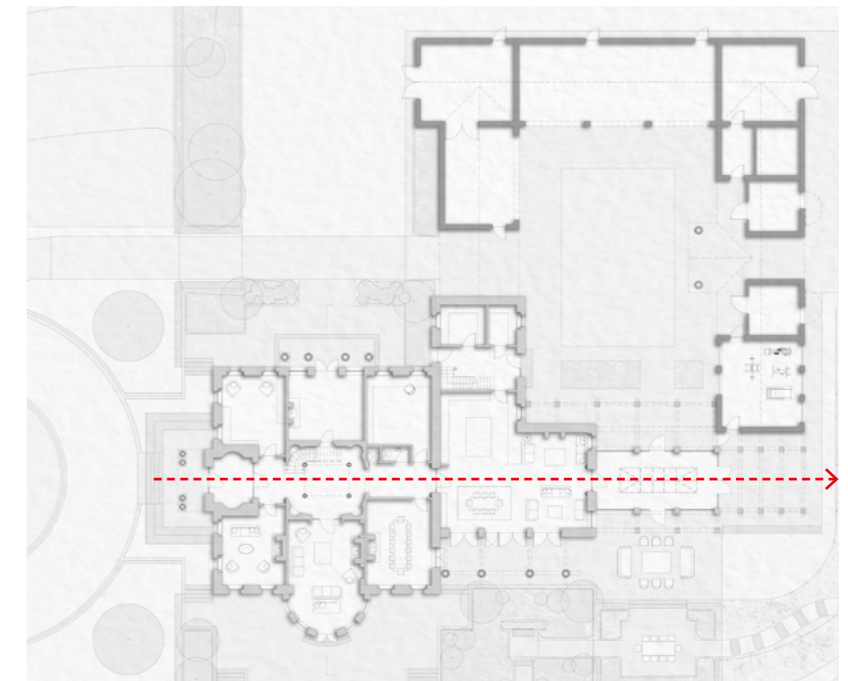
Sash windows based upon golden ratio 1:1.6 & stone jambs, heads & cills typical of houses in Forest of Bowland



Internal detail of repeating arches along an axis typical of Georgian architecture



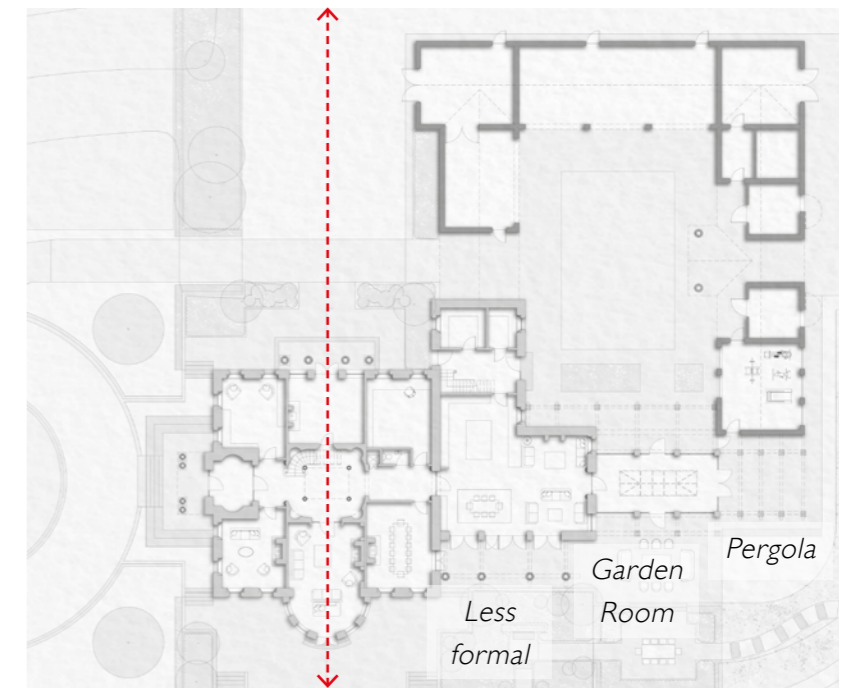
Symmetrical layout of elevation incorporating square bays either side of a central door or feature



Views framed through doors/arches to countryside

Central Axis

FORMAL GARDEN



FORMAL TERRACES & VIEW TO RIVER

Hierarchy of Formality

4.0 DESIGN DEVELOPMENT



Client Commission & Brief | October 2019

Initial Sketch Schemes | December 2019 - March 2020

Country Houses in Forest of Bowland Report Received | April 2020

Further Design Development | March - May 2020

Pre-application Submission | May 2020

Pre-application Written Feedback | June 2020

Post-Pre-application Design Development for DRP | June 2020 - May 2021

Jeremy Musson Site Visit | April 2021

DRP | June 2021

Post-DRP Design Development | June - August 2021

Finalisation of Planning Application Drawings | September 2021

4.1 CLIENT BRIEF



“ The clients' aspirations for their proposed country home embodied, from the outset, the traditions of the homes within the local area; a retreat within the beautiful Ribble Valley setting, with layouts that traditionally served their residents with facilities for their pursuits such as horse riding. Whilst grand in appearance & scale, these homes were also functional.

Sandy Fishpool RIBA CR, Lead Hodder Grange Project Architect

4.2 INITIAL SKETCH SCHEMES (DECEMBER 2019 - MARCH 2020)

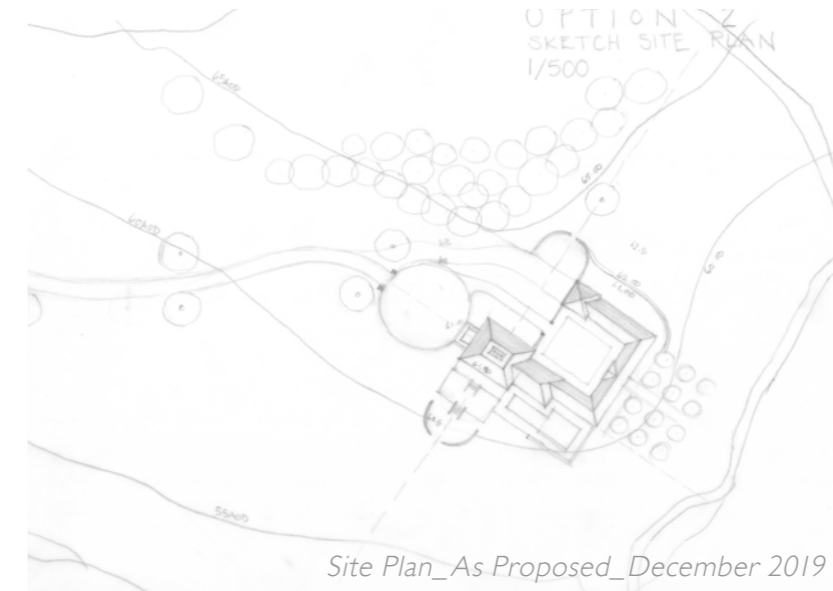
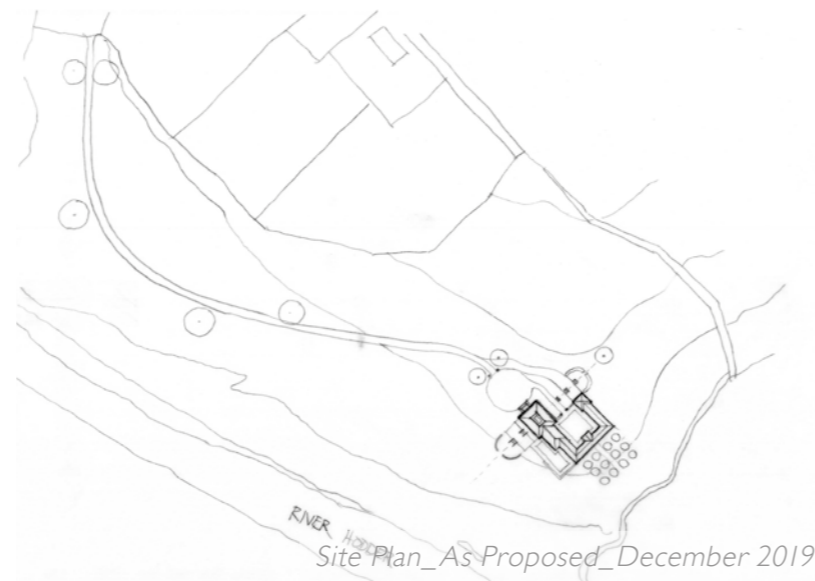
The design of Hodder Grange and its gardens has developed gradually and in well-considered and iterative way. Architectural plans were developed together with the project landscape architect, Alex Robinson. The landscape and architecture were therefore created jointly and in all respects were seen as inextricably linked.

Prior to any detailed design works a conservation expert (John Hinchliffe, a founder member of the IHBC) was commissioned to produce a detailed report on Country Houses in the Forest of Bowland (submitted separately). The heritage study carried out has enabled a clear understanding of the locality, its heritage, cultural background and history. It also created a clear direction for the architectural format of the new dwelling. A design was drafted in the traditional country house style found within the local area. The plethora of examples within the Ribble Valley were a good source to draw upon when drafting the design. These drawings were then presented to the client and the heritage consultant to gauge their views and receive feedback.

The report informed design development based on local precedents such as Browsholme Hall, Chaigley Manor and Bashall Hall. The aforementioned nearby halls and manor have grown overtime in response to cultural and historic changes. This incremental growth has influenced the architectural form and layout. In some instances, a historic hall has been completely re-built. The re-creation and growth of manor houses represents the development and history of the area. This proposal seeks to continue this tradition whilst enhancing the whole site and creating an outstanding and bespoke house.

As initial plans were advanced Jeremy Musson an architectural historian and former architectural editor for Country Life was brought into the team to provide additional expert advice. Jeremy visited site to meet with the lead project architect Sandy Fishpool and also undertook a tour of the notable country houses in the surrounding area including Whins House and Downham.

Adjacent are drawings to show the process which took place to produce the final design of the new country house, from the initial concept sketch to the final agreed design.



HODDER GRANGE
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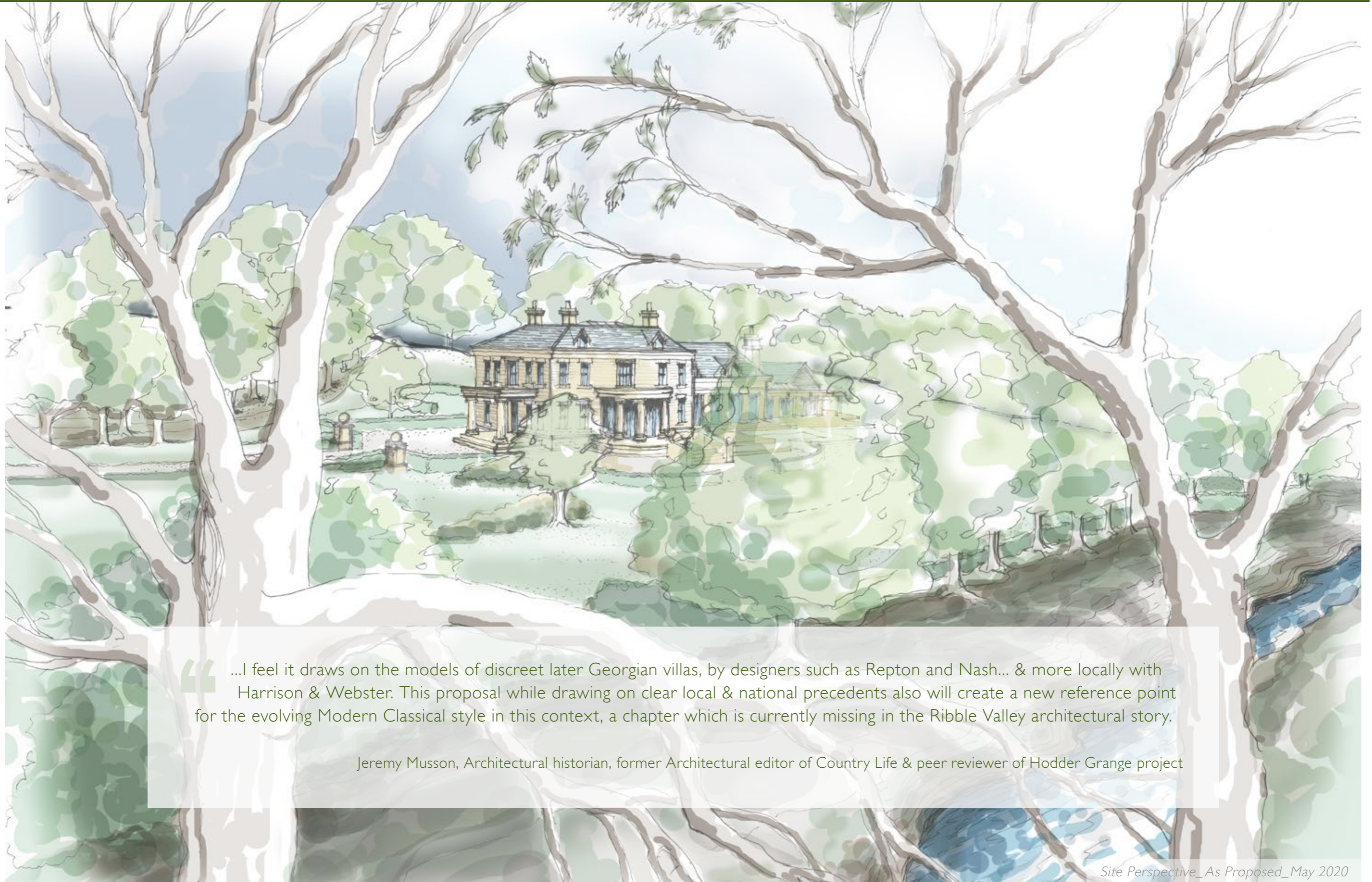
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4.3 PRE-APPLICATION (MAY 2020)



“...I feel it draws on the models of discreet later Georgian villas, by designers such as Repton and Nash... & more locally with Harrison & Webster. This proposal while drawing on clear local & national precedents also will create a new reference point for the evolving Modern Classical style in this context, a chapter which is currently missing in the Ribble Valley architectural story.

Jeremy Musson, Architectural historian, former Architectural editor of Country Life & peer reviewer of Hodder Grange project

4.4 PRE- APPLICATION FEEDBACK & RESPONSE (JUNE 2020)

The proposal was submitted for a pre-application consultation with the Ribble Valley Borough Council in May 2020.

The report highlighted in order to meet paragraph 80 (formerly para 79/55) criteria the design must be of the highest quality and outstanding in terms of architecture and landscape design and significantly enhance its immediate setting and wider surroundings. Introduced in 1997, the policy provides an opportunity to secure permission for new country houses (and other development) to continue and add to the tradition of building stately homes in the English countryside. The proposal should be sited well within the site and the design should respond positively to the setting in terms of materiality, scale and form. Paragraph 80 schemes should demonstrate that proper account has been taken of the defining characteristics of the local area, including local and regional building traditions and materials.

“Stonyhurst, Browsholme etc. provide the context and ‘set the bar’ for the exceptional (outstanding/innovative) architectural quality encouraged by paragraph 79e. In this respect, I note Pevsner suggests of Stonyhurst that “with its frontpiece of four orders of paired columns it is one of the proudest in England”.

Pre-Application Response 17/06/2020

The officer's advice was very helpful in developing the design further. Fine local examples of country houses were visited and their details, proportion and design examined. The proposed design was then developed with reference to these local examples, in particular the front facade (North West elevation).



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4.5 DESIGN REVIEW PANEL (JUNE 2021)



“ The resulting pavilion form of the house speaks both to its functionality as well as the romantic notion of discovery of the house as a temple or folly nestled in the landscape... The Panel applaud the extent to which the applicant has analysed the site & the detail put into the consideration of the design the project has the potential to achieve an exceptional design to be truly outstanding.

Traditional Architecture Group (TAG) Design Review Panel Report 21/06/2021

North West Elevation_As Proposed_June 2021

4.6 DESIGN REVIEW PANEL FEEDBACK & RESPONSE (JUNE 2021)

In June 2021, the scheme was presented to the Traditional Architecture Group (TAG). TAG is a linked society of the Royal Institute of British Architects and is the national expert in design review of traditional architecture schemes.

The emerging proposals were presented to TAG to receive peer review / panel feedback and ensure that the final proposals for Hodder Grange could be considered of exceptional quality.

A TAG panel visited the site on 21st June 2021 and a panel session was received on 30th June 2021.

The DRP articulated confidence in this scheme and we were able to draw the following conclusions from their report (continued overleaf).

Position of the House

The DRP expressly endorsed the house siting, and its relationship to the surrounding levels.

“ The Panel were in agreement with the choice of position for the new house and the logic of orientation and placement in section/level.

TAG Design Review Panel Report 21/06/2021



Site Plan_As Proposed_June 2021

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4.6 DESIGN REVIEW PANEL FEEDBACK & RESPONSE (JUNE 2021)

Passivhaus Design

“ The building process that would be part of this project in itself would be a significant exceptional and innovative departure from the norm. Subject to the production of more detailed information and further evidence to support the ability of the design to achieve the Passivhaus standards (which formed an integral and high;y important aspect of the proposal) in association with further development of the design with regard to the impact in the setting this has the potential to be truly outstanding.

TAG Design Review Panel Report 21/06/2021

Building Form & Language

“ It is understood by the Panel that the building form is driven not just by an historical aesthetic set by precedent but also by the science driving the energy performance of the building. The simple square and rectangular forms of the plan are necessary to maintain a good surface to volume ratio of the building and to make the most of the efficient orientation.

TAG Design Review Panel Report 21/06/2021

“ The cast of the building as a more formal farmhouse is understood and a good choice.

TAG Design Review Panel Report 21/06/2021

“ The square Palladian planning of the main house works well in ordering the formal interior spaces and the principal of the hierarchy of building form language and material was explained to the Panel. The main house was to be of more refined stuff and as one progresses back to the ancillary buildings and stable courtyard these materials and details would become less formal (more course) so the nature and status of parts of the building can be read in form and material. The Panel thought this to be an essential component of the breadth and depth of the design that will add to its exceptional qualities.

TAG Design Review Panel Report 21/06/2021

Further Considerations

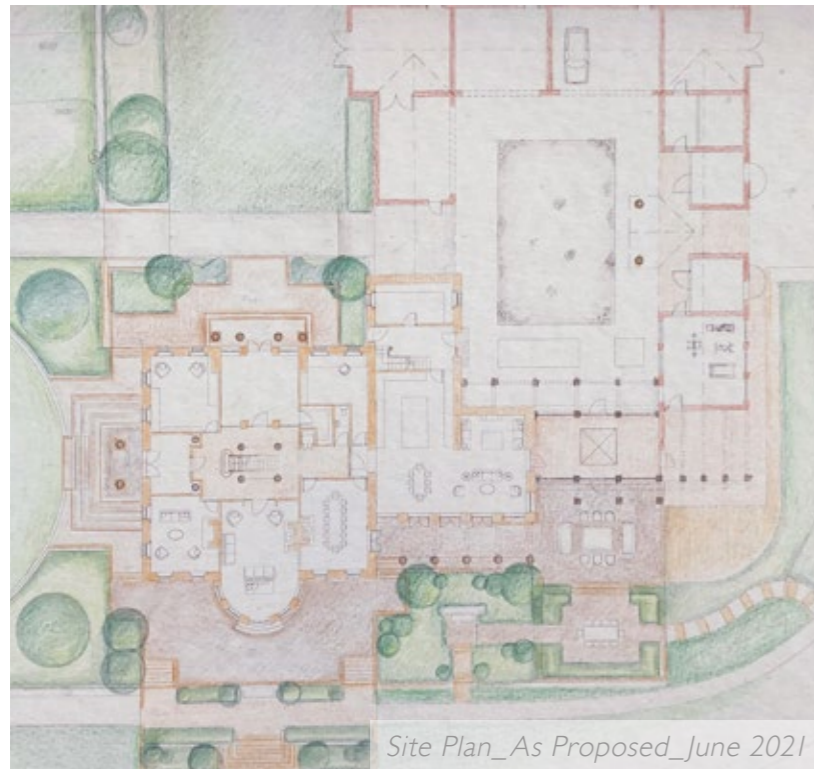
The DRP also notably made a series of recommendations to elevate the architectural response, in particular the classically led set pieces, to outstanding detailed below:

- Strengthen the North West entrance composition of front porch, tripartite window with bracketed cornice feature & dormer above in terms of vertical hierarchy
- Diminish the depth of the porch as seen from the South West
- Reconsider the junction between the main house parapet & kitchen family wing roof - there is an imbalance here between the forms & the proportions which may only require a minor adjustment to resolve
- Review & refine the classical details such as columns, cornices surrounds, quoins & parapets & continue to reference local vernacular
- Explore the position of the central staircase which currently interrupts the axial arrangement running west to east through the building
- Minimise lanterns & roof lights to be less evident from viewing from ground level

Each of these elements were addressed and amended in retrospect of the comments made and subsequent to receiving the Panel's written feedback.



4.7 FINAL DEVELOPMENT (JUNE - NOVEMBER 2021)



A dialogue with Jeremy Musson and other peer review experts was maintained and the design was developed further with details being critiqued and then refined.

Amendments to respond to TAG suggestions:

- Curved walls around staircase with niche
- Amendment to parapet wall & cornice (reference to Downham Hall)
- Addition of two dormers on the south east elevation
- primary roof to create a row of three
- Removal of quoins above the cornice
- Removal of quoins to lesser wings
- Reduction in size of parapet & cornice over kitchen wing
- Addition of balcony & doors out from master bedroom
- Amendment to tripartite window to include pilasters
- Amendment to rooflight to form round oriel
- Amendment to rooflight over orangery
- Addition of detail to fanlight over front door
- Projection of wall on front elevation (north west) to emphasise its importance
- Correction of roof position in relation to parapet wall
- Addition of section showing principal axis & stairwell
- Amendment to show 140mm thick walls

September 2021 iterations following further TAG suggestions:

- Adjustment to the North East portico: this is now slightly taller The detail of the cornice, frieze & pediment has been corrected
- The North East tripartite window: this has been widened slightly
- Bowed portico: the astragals in the fanlights above the windows/doors have been added so that this appears elegant & seamless with the windows/doors below.
- Stone balustrading to balcony: these have been moved inwards - curved stone balustrading over the curved portico to be recessed from the edge of the overhang
- The tripartite window to the South-West Elevation: central vertical astragal has been removed on the sides
- The front portico: this has been heightened slightly & the columns have been moved together as well, giving it a more vertical appearance. - this also connects it better visually with

the tripartite window above.

- Added an additional slab of stone over the top of the front porch

October -November 2021 amendments:

TAG members gave further advice in October with regards to final refinements. Further research into George Webster's architecture in the local area and wider Northern region led to a simplification of the design. This was an important step and resulted in the following changes:

- Simplification of front porch on the North-West entrance elevation to form a projecting porch with triangular pediment over Doric columns, reminiscent of Webster's 'Downham Hall'.
- Doric columns to front porch adjusted to show correct proportions.
- Pediment above provides a simple plain frontispiece without adornment, but provides a reserved yet formal central focus to this elevation, further reflecting local precedents.
- Rationalisation of the windows on the North-West elevation to create a harmonious composition. Widening of central window to enhance this central feature and provide a balanced composition with 4-column portico below.
- Development of South-West elevation to form a simple focal point above the bowed porch, thus rationalising the Ground Floor and First Floor elements in the facade. The precedent of Webster's Read Hall influenced the final adjustment of this elevation.
- Adjustment of the parapet to reflect the plain but tall parapet details prevalent locally.
- Kitchen Doric columns changed to Tuscan to reflect the simpler aesthetic of this area of the house.
- Refinement of central hall to allow greater space within the hall and around the columns. Columns also adjusted to reflect their doric proportions.
- Entrance hall refined and adjusted to create a formal Georgian entrance with niches.
- Staircase to upper floor rationalised to reflect the edge of the landing.

5.0 PROPOSED DESIGN



80. Planning policies & decisions should avoid the development of isolated homes in the countryside unless one or more of the following circumstances apply:

e) the design is of exceptional quality, in that it:

- Is truly outstanding, reflecting the highest standards in architecture, & would help to raise standards of design more generally in rural areas; &
- Would significantly enhance its immediate setting, & be sensitive to the defining characteristics of the local area

National Planning Policy Framework, July 2021

5.1 SITE PLAN_AS PROPOSED



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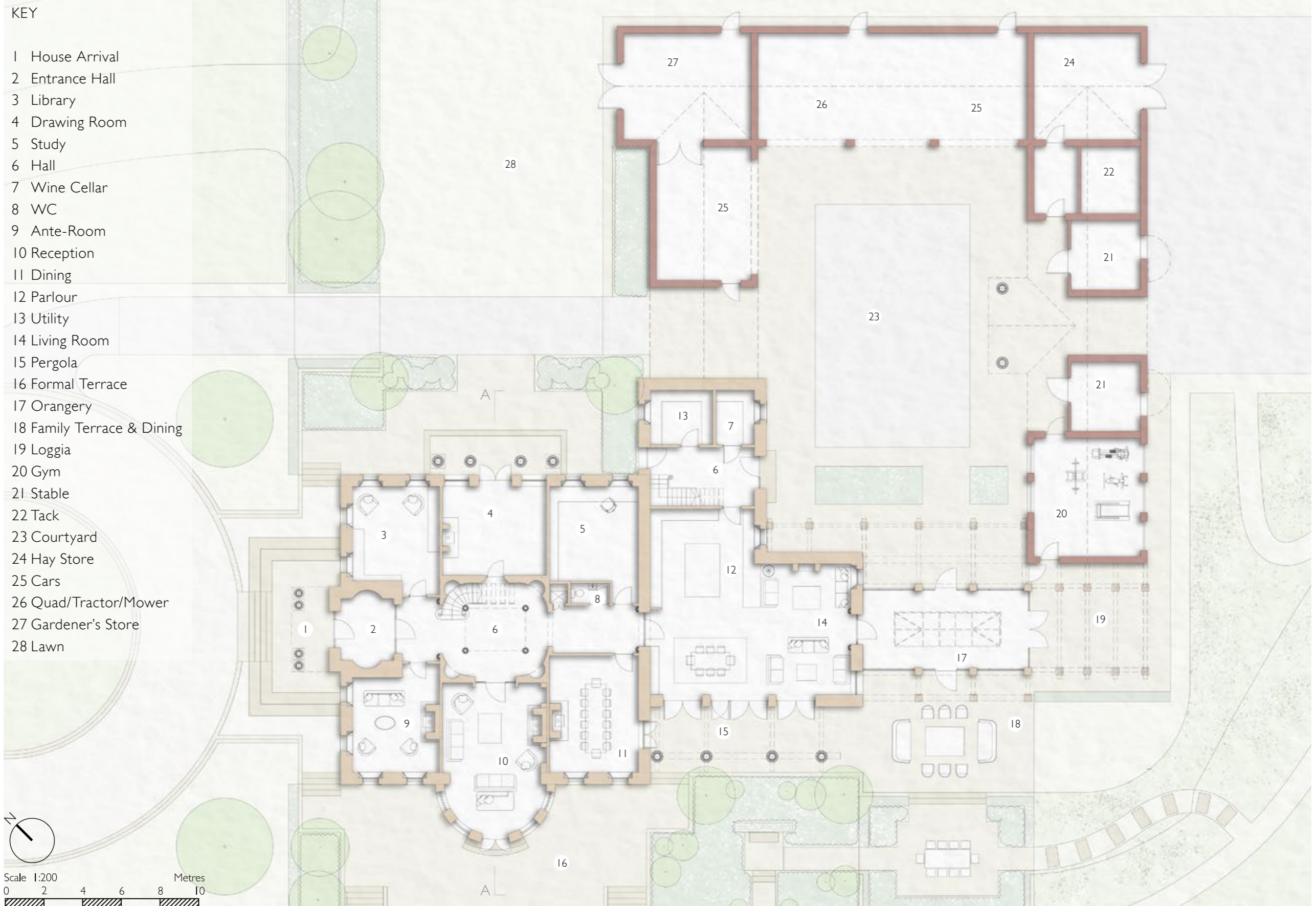
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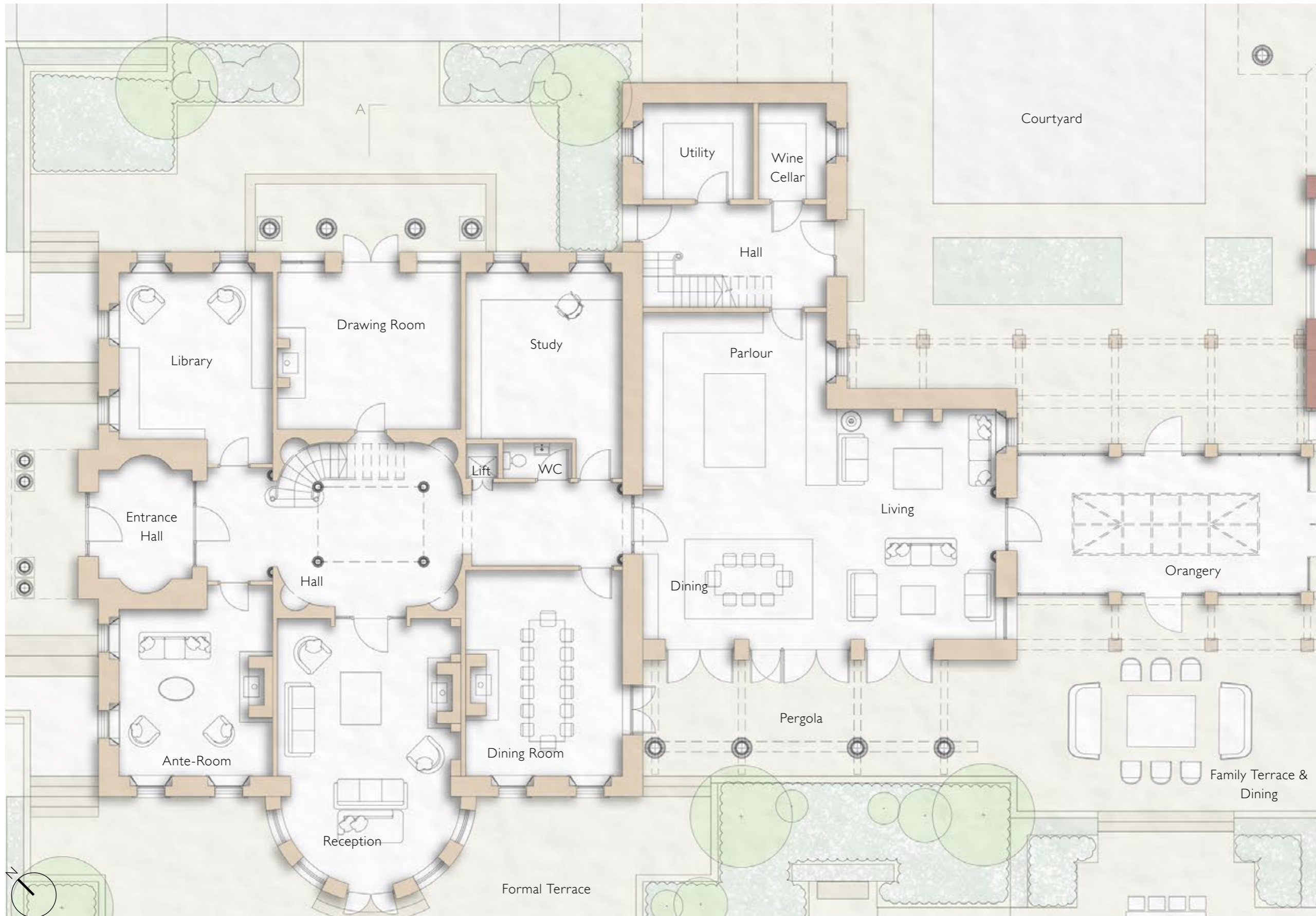
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5.2 GROUND FLOOR_AS PROPOSED 1:200 @ A3



5.3 MAIN HOUSE GROUND FLOOR PLAN_AS PROPOSED



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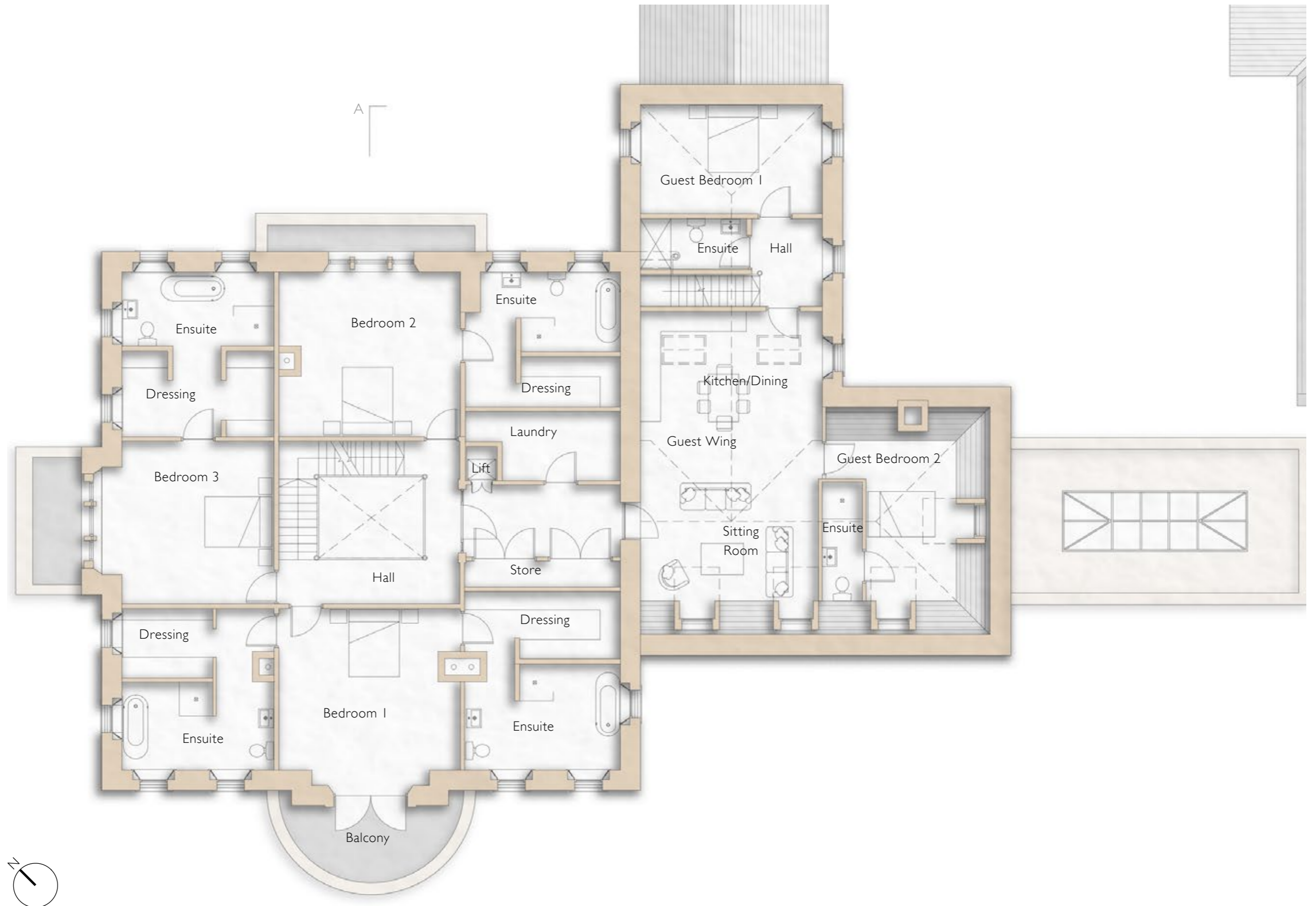
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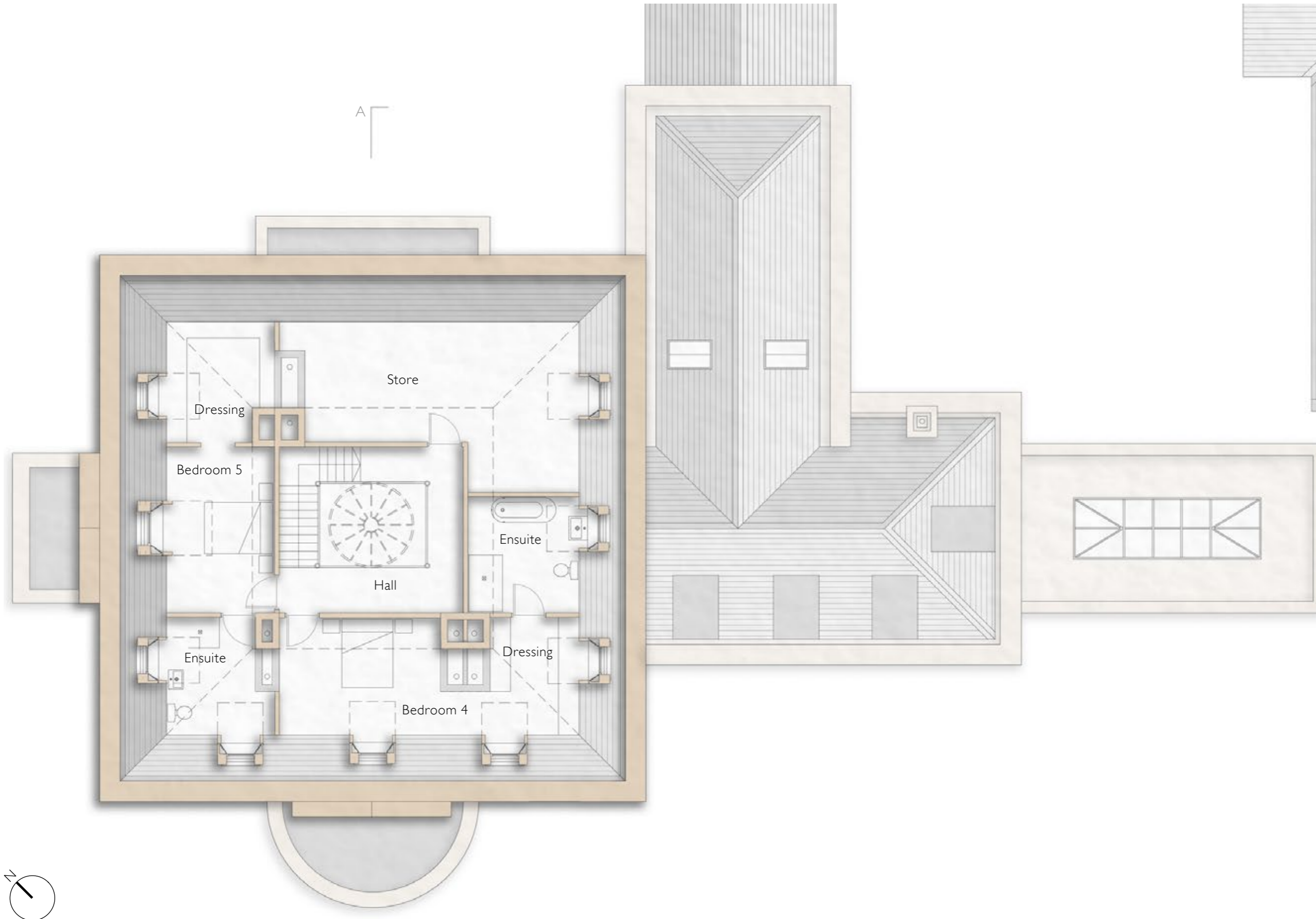
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5.4 FIRST FLOOR PLAN_AS PROPOSED



5.5 SECOND FLOOR PLAN_AS PROPOSED



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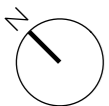
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5.6 NORTH WEST ELEVATIONS_AS PROPOSED



5.7 SOUTH WEST ELEVATIONS_AS PROPOSED



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5.8 NORTH EAST ELEVATIONS_AS PROPOSED



5.9 SOUTH EAST ELEVATIONS_AS PROPOSED



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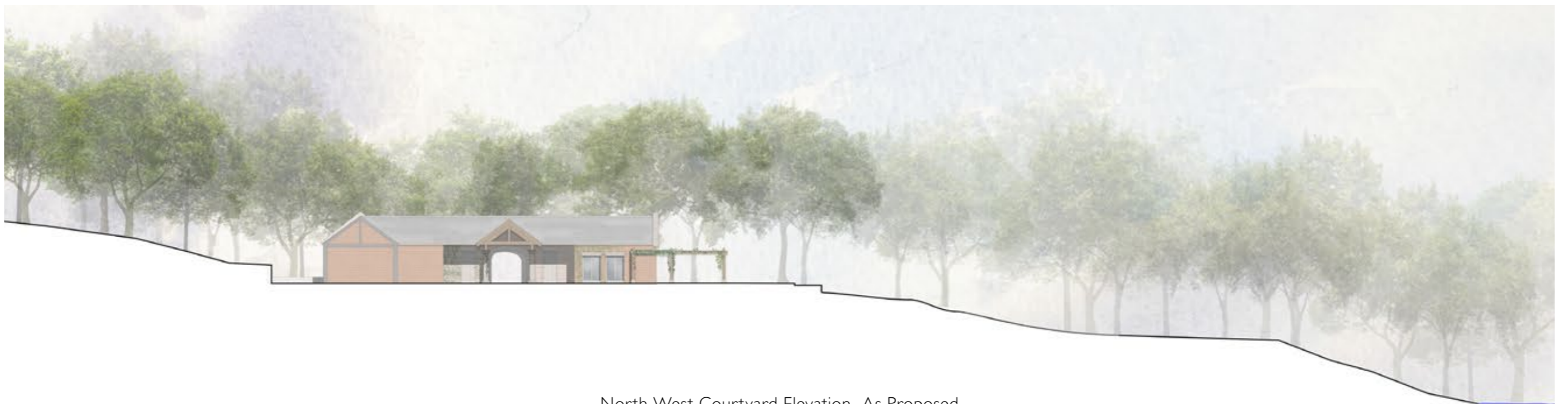
5.10 COURTYARD ELEVATIONS_AS PROPOSED



South West Courtyard Elevation_As Proposed



North East Courtyard Elevation_As Proposed



North West Courtyard Elevation_As Proposed

5.11 MATERIAL PALETTE_AS PROPOSED

As the proposal is to design a new dwelling of exceptional quality and the highest level of design the scale, form and choice of materials have been carefully and thoughtfully considered.

The size and architectural style of country houses in North-East Lancashire and the area around Hodder Bridge varies but the choice of materials is constant and provides unity in their appearance. The properties are generally constructed from the following materials:

- Local Millstone grit (sandstone)
- Ashlar stone
- Blue/grey slate roof tiles
- Red/brown brick
- Painted timber windows & doors
- Black powder-coated aluminium rainwater goods

It is proposed to use Ashlar stone for the principal elevations and details and uncoursed square rubble (masonry which uses stones which have straight bed and sides) millstone grit for the subservient courtyard buildings. This will provide a hierarchy and variety throughout the scheme.

Materials where possible will be sourced locally and reflect the many local examples of stately Georgian homes.

The symmetry and details within the facade will reflect the traditional Georgian style of architecture which the dwelling will follow.

The Georgian style will also be carried out into the grounds of the property, providing an formal gardens immediately around the house and a barn courtyard incorporating stables.

Adjacent are an array of materials to help depict the overall appearance of how the proposed dwelling will look, and the elements wishing to incorporate into it.

Please refer to the full materials schedule overleaf as proposed.



HODDER GRANGE
PARA 80e

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5.11 MATERIAL PALETTE_AS PROPOSED

Materials Schedule

Roof to Main House & Barns:

- Reclaimed blue-grey slate laid in diminishing courses
- Code 4 lead roof to flat roof areas with traditional lead rolls

Walls to Main House

- Buff/grey local Millstone grit/sandstone, pointed in a standard lime mortar mix
- Matching heads, cill, jambs, quoins, water tables, entablature, plinth, columns & parapets
- Gritstone sample & wall panel to be provided

Walls to Barn Courtyard

- Natural heritage red/brown brick, pointed in standard lime mortar mix - English bond

Windows, glazed screens & doors to Main House

- Handmade painted (white) solid timber sash windows in Georgian format (see detail) with slim astragals (to be recessed 150mm from front face of stone)
- Handmade painted (white) timber screens, both fixed & opening
- Handmade painted (white) timber glazed doors recessed 150mm from front face of stone

Windows & doors to Barns

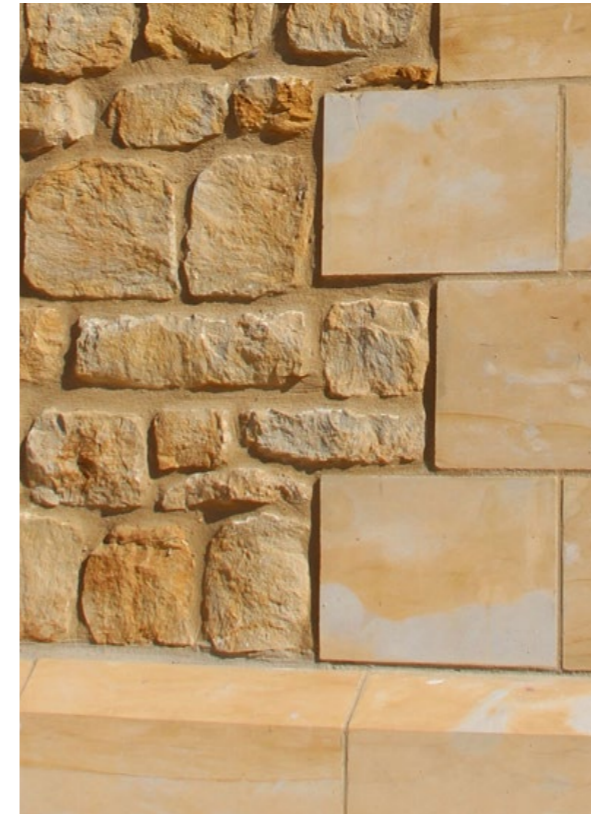
- Simple, timber casement windows (no astragals), recessed 100mm from front face of brickwork
- Solid timber doors, vertically-boarded ledged & braced doors, painted white

Rainwater goods

- Black powder-coated aluminium



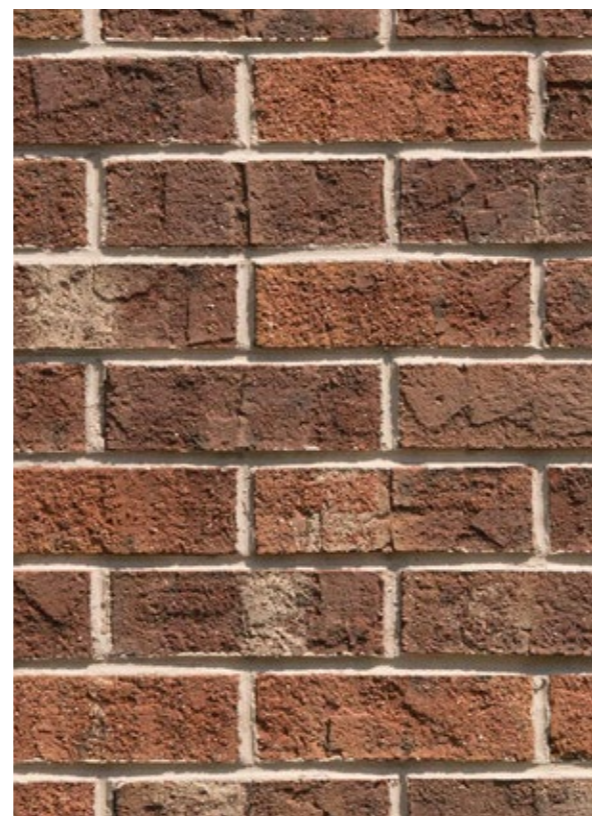
Local Millstone grit (sandstone)



Ashlar Stone quoins



Blue/grey slate tiles



Heritage red/brown brick



Painted timber sash window



Soft landscaping

5.12 SECTION_AS PROPOSED 1:100 @ A3

HODDER GRANGE
PARA 80e

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Scale 1:100 Metres
0 1 2 3 4 5

5.13 VIEW OF THE PROPOSAL FROM RIVER HODDER



5.14 GEORGIAN ARCHITECTURAL DETAILS 1:50 & 1:20 @ A3

HODDER GRANGE
PARA 80e

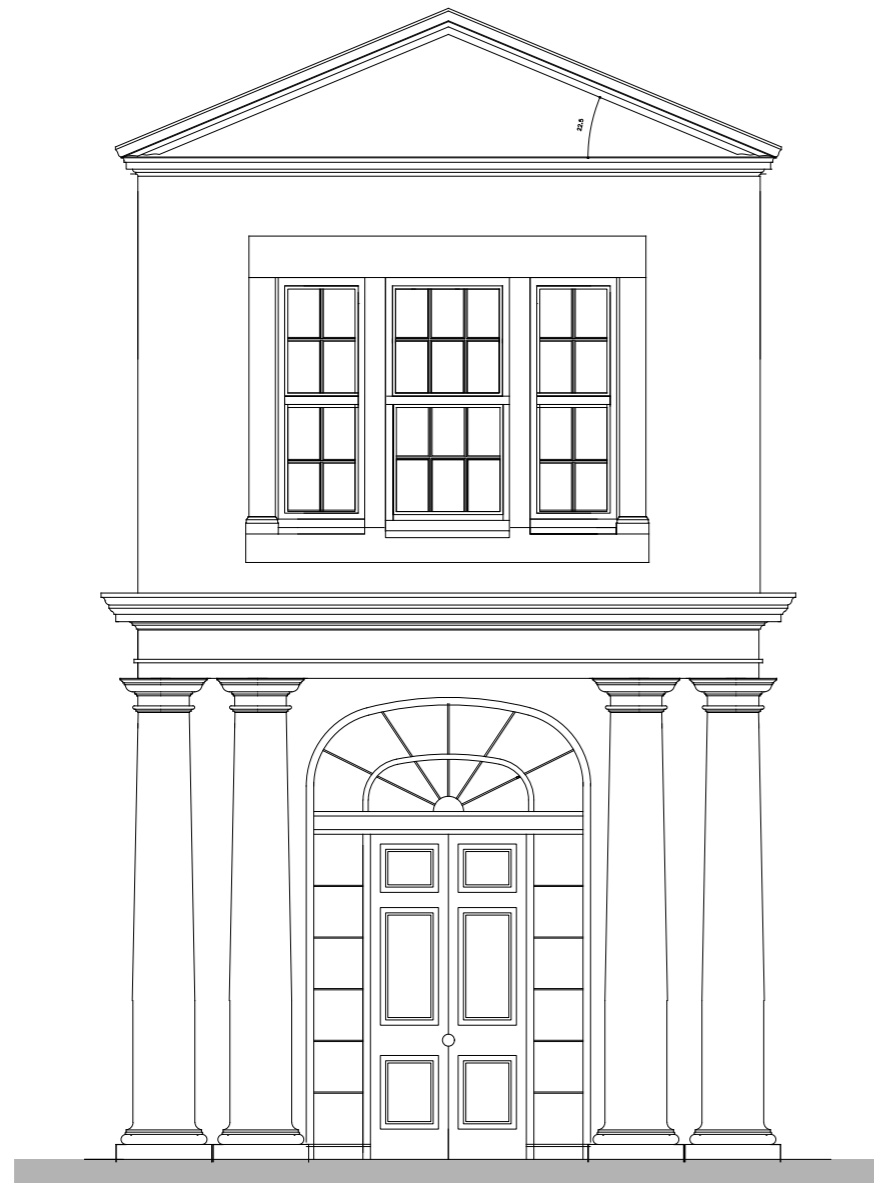
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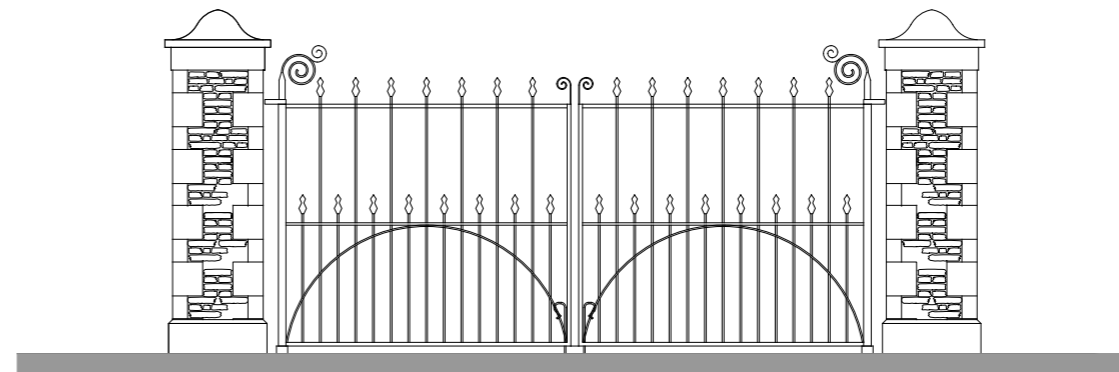
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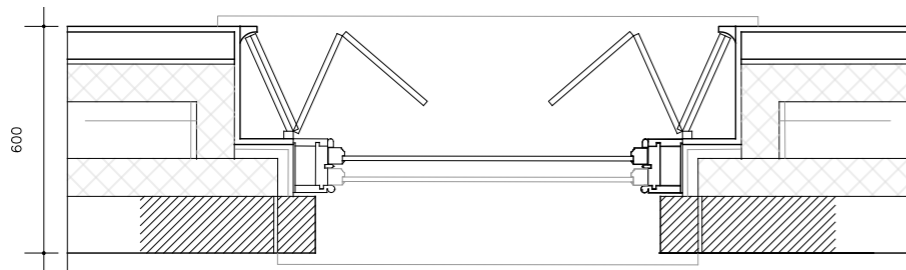
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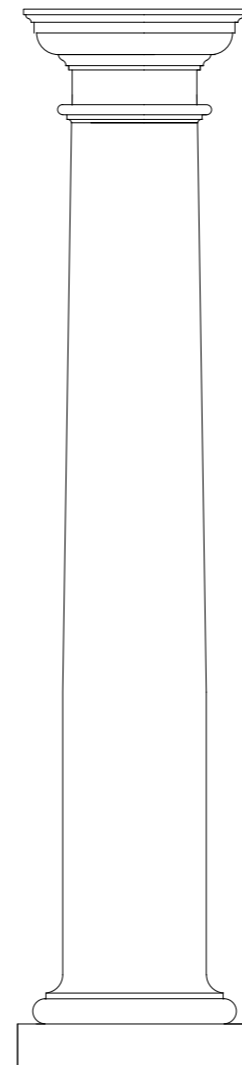
Entrance, Front Door & Tripartite Window 1:50



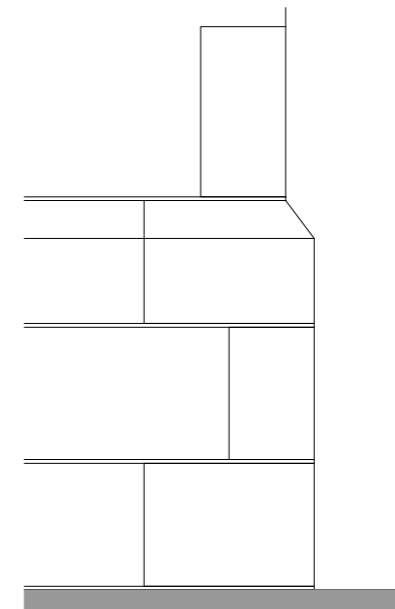
Entrance Gates 1:50



Plan of Sash Window 1:20

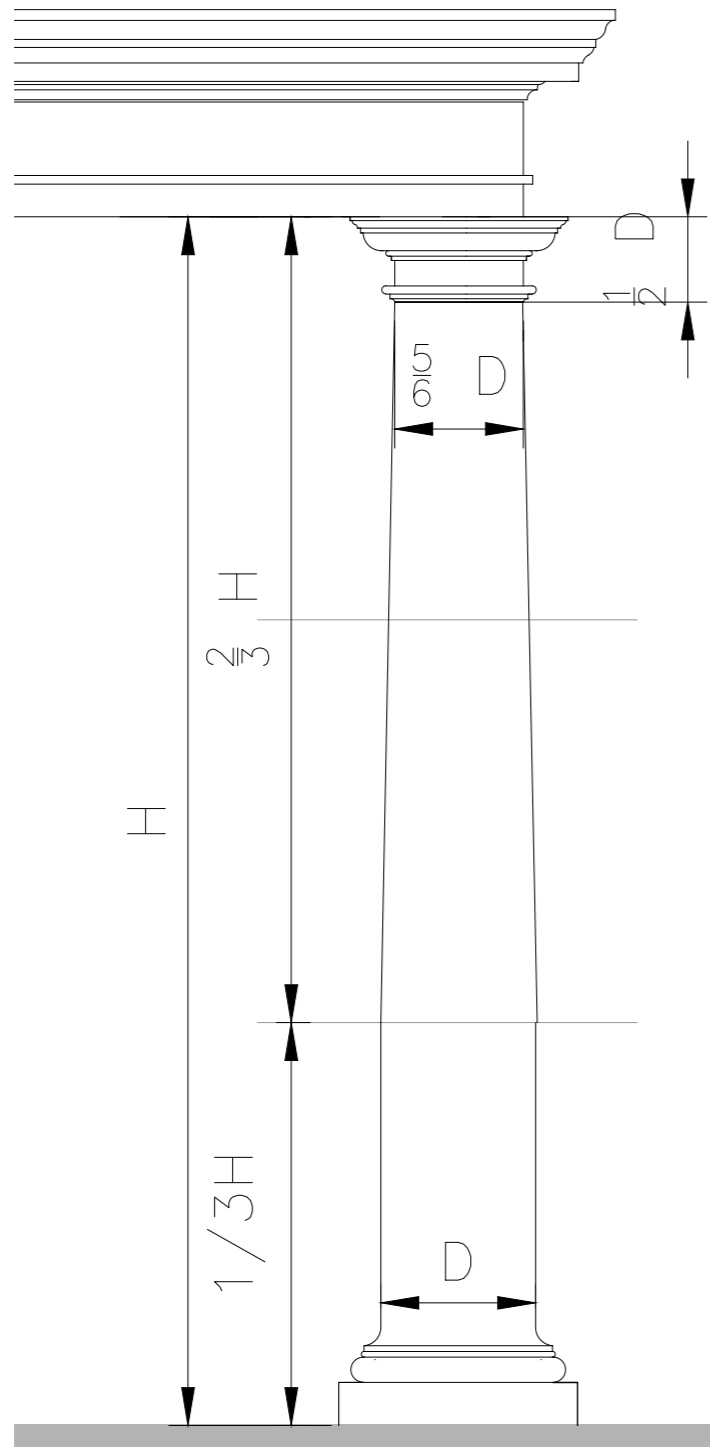


Tuscan Column 1:20

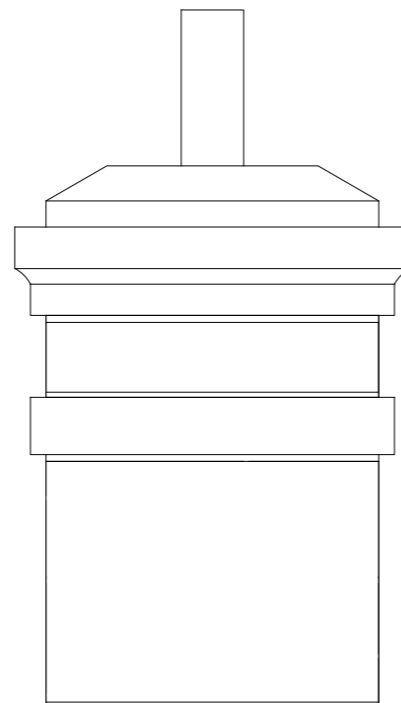


Stone Plinth 1:20

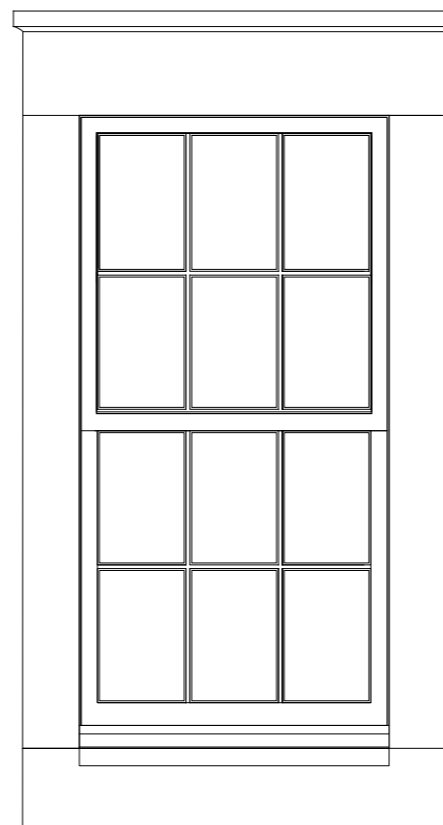
5.14 GEORGIAN ARCHITECTURAL DETAILS 1:20 @ A3



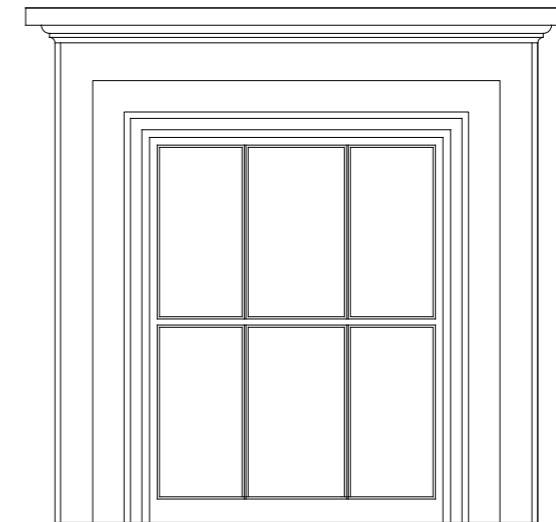
Doric Order Stone Column 1:20



Elevation of Chimney 1:20



Sash Window 1:20



Dormer Window 1:20



Stone Entablature 1:20 (see below)



Reference to the parapet & cornice detail at
Downham Hall, Clitheroe (Grade II * Listed)



Reference to the projecting quoins at Whins
Hall, Sabden (Grade II Listed)

5.15 INTERNAL GEORGIAN ARCHITECTURAL DETAILS 1:20 & 1:5 @ A3

HODDER GRANGE
PARA 80e

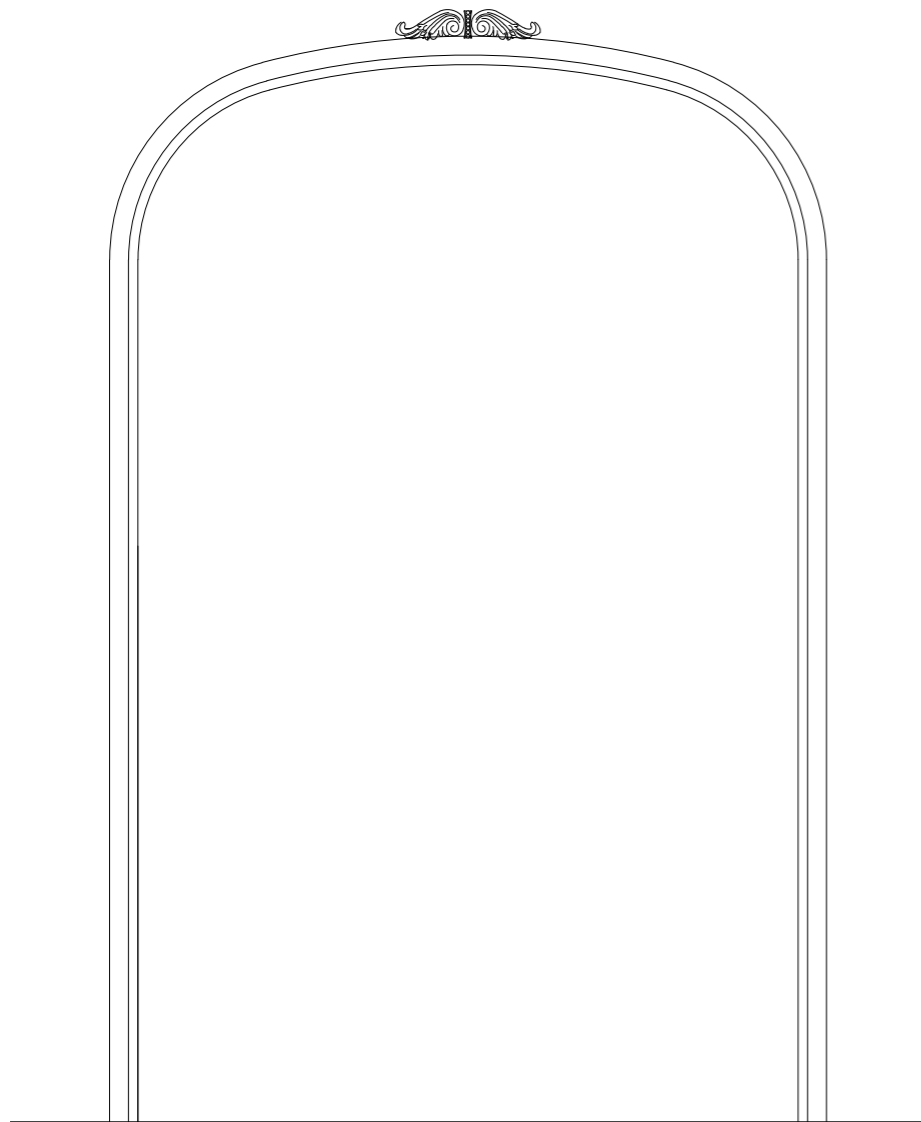
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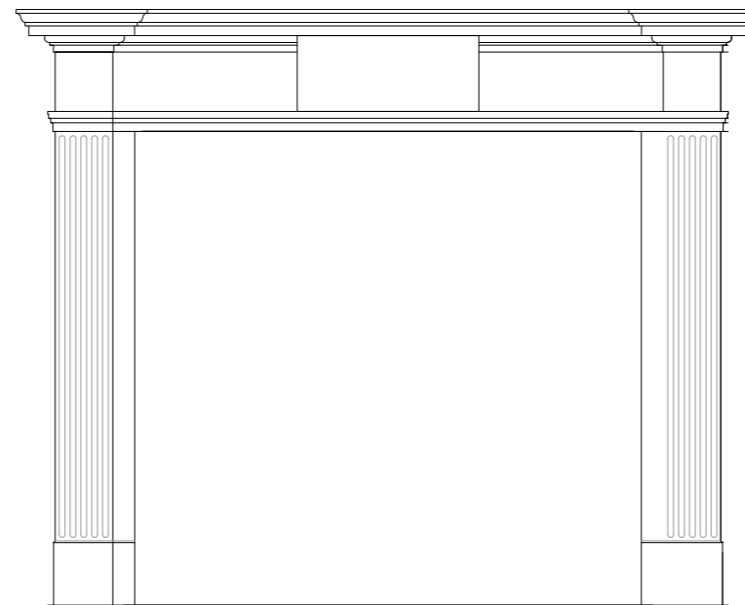
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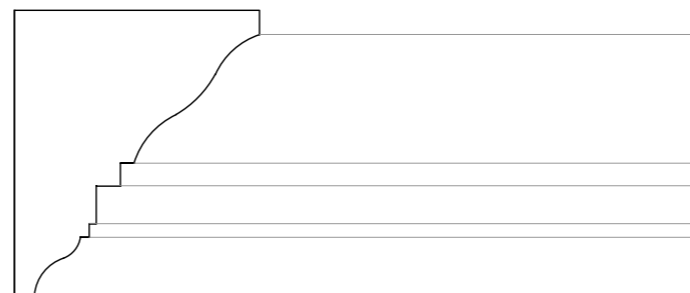
2490 / REVISION B



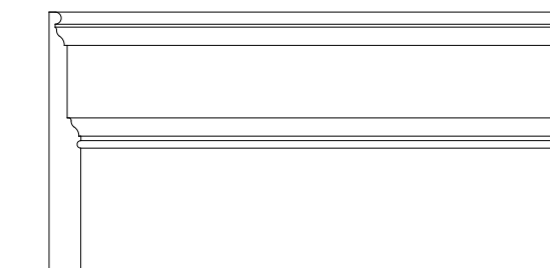
Internal Arch 1:20



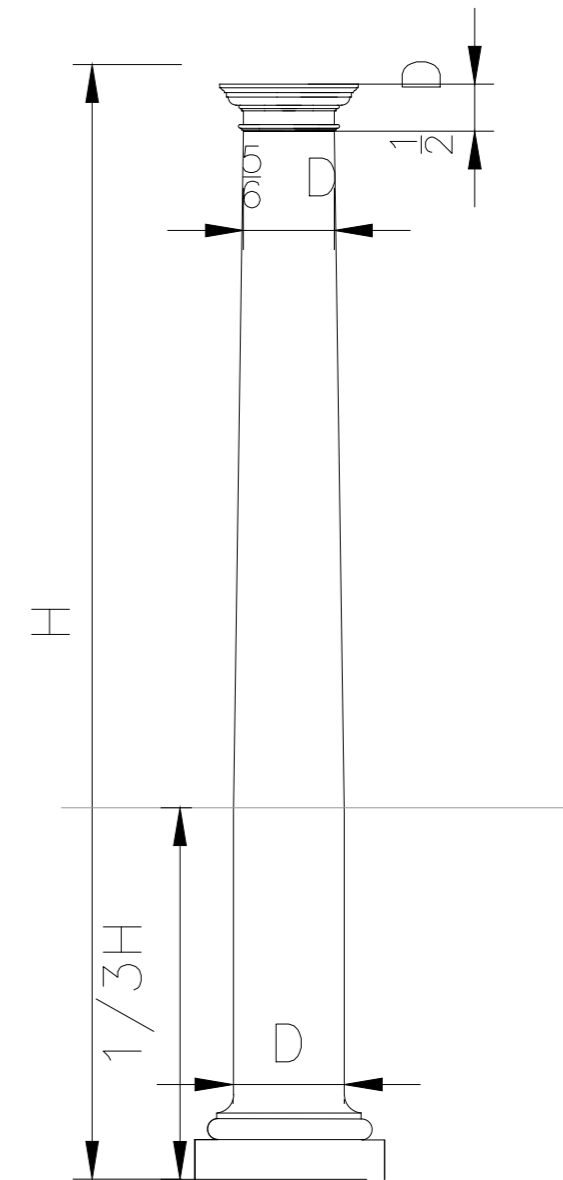
Fireplace 1:20



Coving 1:5



Skirting Board 1:5



Doric Order Stone Internal Column 1:20

6.1 LANDSCAPE MASTERPLAN



6.2 LANDSCAPE ENHANCEMENTS

HODDER GRANGE
PARA 80e

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1:1250

LANDSCAPE ENHANCEMENTS



- DECIDUOUS SEMI NATURAL WOODLAND**
14,000M² – 1.4HA – 3.45A

Creation of a long-term native deciduous woodland assists in nestling the house in a wooded setting and increases the quantity of woodland cover in the landscape. Typical varieties would reflect locally abundant species and include a dominant percentage of oak supplemented with alder, sycamore, beech, a small quantity of sweet chestnut and Scots Pine. A mid-level layer would include larger bushy species to form thickets with species such as holly, hawthorn and hazel. The mid-level layer would be further supported by a rich ground layer of spreading and naturalising varieties such as wild garlic, ferns and shade tolerant grasses. Within the woodland bird/bat boxes and hibernaculas are promoted to ensure opportunities are provided for as wide a species diversity to colonize. A primary function of the woodland is to ensure the house is positioned within a permanent managed setting, as the woodland matures it will hug and nestle the house within the landscape.
- HEDGEROW PLANTING**
1,120M

A mixed native hedgerow is proposed at woodland and landscape corridor edges around the site, recreating lost habitats and providing valuable biodiversity and connectivity with the wider landscape. Species would typically include a mix of fruiting, flowering and scented varieties for year-round interest and the opportunity to support extended seasonal foraging. Typical species would include, hawthorn, blackthorn, field maple, holly, elder, honeysuckle, privet, hazel and dog rose.
- REINSTATE HEDGEROWS AND HEDGEROW TREES**
255M

The northern field boundary consists of a broken remnant hedgerow with a variety of established trees. As part of the enhancement the broken hedgerow is gap filled and reinstated with the next generation native hedgerow trees.
- SPECIES RICH GRASSLAND MARGINS**
12,000M² – 1.2HA – 2.96A

Species rich grasslands are located predominantly at the margins of proposed landscape corridors around the base of trees and buffer planting. The area of long grass recreates lost meadow grass habitats, encourages biodiversity and wider connectivity between the site and wider ecological network. Grassland to be under-planted with seasonal naturalizing native wild-flowers such as Ox-eye Daisy and Cow Parsley to reinforce the rural character.
- BUFFER PLANTING LANDSCAPE CORRIDORS**
8250M² – 0.825HA – 2A

Field margins, stream corridors and historic field boundaries are enhanced with a 10m corridor of additional native tree and shrub planting. Specimen deciduous and fruit trees are included to provide varying habitat types and foraging opportunities. Within the corridors containing streams and ditches, water tolerant species are included to promote the creation of marginal aquatic zones and riparian woodlands. The scalloped corridors create generous corridors for ecological connectivity and habitat creation, both on the ground and for flying species, whilst functioning to reinstate a lost rural character.

- PARKLAND**
28,500M² – 2.85HA – 7A

2.85ha of intensively managed farm pasture is reverted from crop production to a simple parkland pasture and over sown with a native meadow mix then managed through sheep grazing to maintain the sward. Additional planting of Oak and native hardwood trees in small groups and specimens, seeks to reinforce parkland character. The additional tree planting creates a more visually varied experience of the setting and utilize trees to subtly frame and direct views. To permit unhindered grazing and consistency of sward, sheep are permitted to roam the land with unhindered access between the north and south of the house.
- ESTATE ENTRANCE**

A formal gated entrance appropriate to a country home is positioned south of the Hodder Bridge to ensure the listed structure remains in a setting of its own. The new estate entrance is located beyond the Anglers Association club hut and parking to ensure conflict and setting of each are respected. An estate railing gate and piers provides a rural yet quality arrival experience within a small tunnel of woodland. The darker wooded arrival opens to a wide parkland to enhance the arrival journey.
- DRIVE**

A simple parkland drive follows an established contour to ensure construction has minimal impact on the existing landscape. Through careful and considered construction the drive could be subtly sunk within the landscape to screen views from the south and Public Right of Way.
- RIVER HODDER**

Periods of high water have eroded the root zone of trees and banks along this section of the River Hodder. Next generation planting along the bank edges seeks to promote long term bank stability and continuity of visual character.
- ATTENUATION AND DRAINAGE**

High levels of ground water movement are addressed through a series of woodland streams and scrapes to capture and slow inherent ground water movement. Clean water runoff collected from house will be captured and piped to a seasonal attenuation pond in the wider parkland absorbed by woodland planting. Large hard surfaces are proposed as permeable and where possible water runoff is to be captured and stored in woodland ditches and scrapes. Where new water bodies, ditches and scrapes are proposed water tolerant species and marginal aquatic zones will be introduced to offer further opportunities for ecological enhancement and improved biodiversity.
- PUBLIC RIGHT OF WAY (PROW) PROW RUNNING THROUGH THE SITE**

The open character of this corridor is retained and where possible the landscape either side enhanced to improve the quality of setting and experience. Views to the wider landscape are retained with directional views and glimpses to the Fells beyond provided. The proposed woodland will screen views of the house and stable complex whilst its organic form and parkland tree planting will provide an attractive setting and maintain privacy.

- PROW ACROSS THE RIVER HODDER**

Additional tree planting along the Banks of the River Hodder further diffuse views from the PROw whilst permitting isolated glimpses of the parkland and proposed house as an example of high-quality architecture in a rural setting.
- ACCESS TRACK**

The secondary access route is provided via a carriageway constructed to appear like a rural track with a central grass margin. The access track reinforces the rural character and gently follows the existing contours upon arrival at the house. On the final house approach the track utilises cattle grids for ease of movement and travels through a short section of woodland to provide a dramatic reveal of the stable complex.
- DRY STONE WALLS**

Existing dry-stone walls are restored to ensure the long-term landscape character is maintained for future generations.
- RETAINED AGRICULTURAL PASTURE**

Productive agricultural pasture is retained for either light grazing or horse paddocks to support the stables.
- DOMESTIC SETTING HOUSE ARRIVAL**

A simple permeable gravel turning circle and mown lawn formalizes arrival without competing with built form. Views and a fluid connection with the parkland are appreciated through a classic estate railing boundary.
- FORMAL TERRACE**

The principal rooms benefit from a formal south west facing set of three terraces which provide opportunities to entertain and appreciate the view from. The three terraces embrace the inherent level change within the site and ensure the house sits comfortably in the elevated location. Seating, steps and planting additionally soften any retaining walls ensuring the house is not competed with or views of the house dominated with walls. The lower half moon lawn terrace sits 1.2m above the parkland at its highest point permitting livestock close to the house setting. Steps and a gated access provide opportunities to walk and enjoy the wider landscape directly from.
- NORTH AXIS AND FORMAL LAWN**

Internally the house layout is established along a north-south axis with a drawing room located central to the northern elevation. As an important room to retire to a simple yet formal north facing space draws the eye to the wider landscape, formal grass terraces, feature tree and woodland beyond. A timeless estate railing fence ensures views of the wider landscape remain unhindered.
- STABLE COURTYARD**

Cars, vehicles, deliveries and daily life is supported by the generous courtyard which ensures all vehicular movement is contained within the built form. A generous band of high-quality cobbles flanks the edge whilst a central zone of permeable macadam permits practical uses. Within the courtyard garaging, covered bays, stables, garden store and gym all overlook and interact with the space creating a lively bustle and heart of the estate. A small section of soft landscape and pergola de-marks the domestic curtilage, softening the transition to living space.
- FAMILY TERRACE AND DINING**

A smaller set of terraces provides intimate family space directly accessed from the core family room and benefiting from an undisturbed east-south-west aspect. Ornamental planting surrounds these spaces to provide colour, texture, scent and animation throughout the year, whilst not competing with wider views. From these spaces are a series of walking options with access to the formal terraces, orchard, and wider landscape. Along these routes are a variety of seating areas to enjoy the setting from.
- WILD-FLOWER ORCHARD AND MOWN WALKWAYS**

A simple orchard and wild-flower bank provide a managed level of informality which transitions from the house to wider landscape. Within the orchard banks generous swathes of naturalizing bulbs provide spring animation.
- WORKING YARD**

A simple secondary yard for stable deliveries, midden store, back of house access and overflow parking.



1:500

6.3 HARD & SOFT LANDSCAPING



Tarmac used for the sweeping driveway, forecourt, service access & stable yard

New trees planted to screen the house & site from the surrounding open fields & provide privacy for the occupants

To plant box hedging to provide low borders & frame the edge of the drive

Limestone pavers (locally sourced stone) for external patio

Incorporate landscaped grass island to middle of the entrance forecourt

Stepped patio to continue the traditional georgian style into the grounds of the house

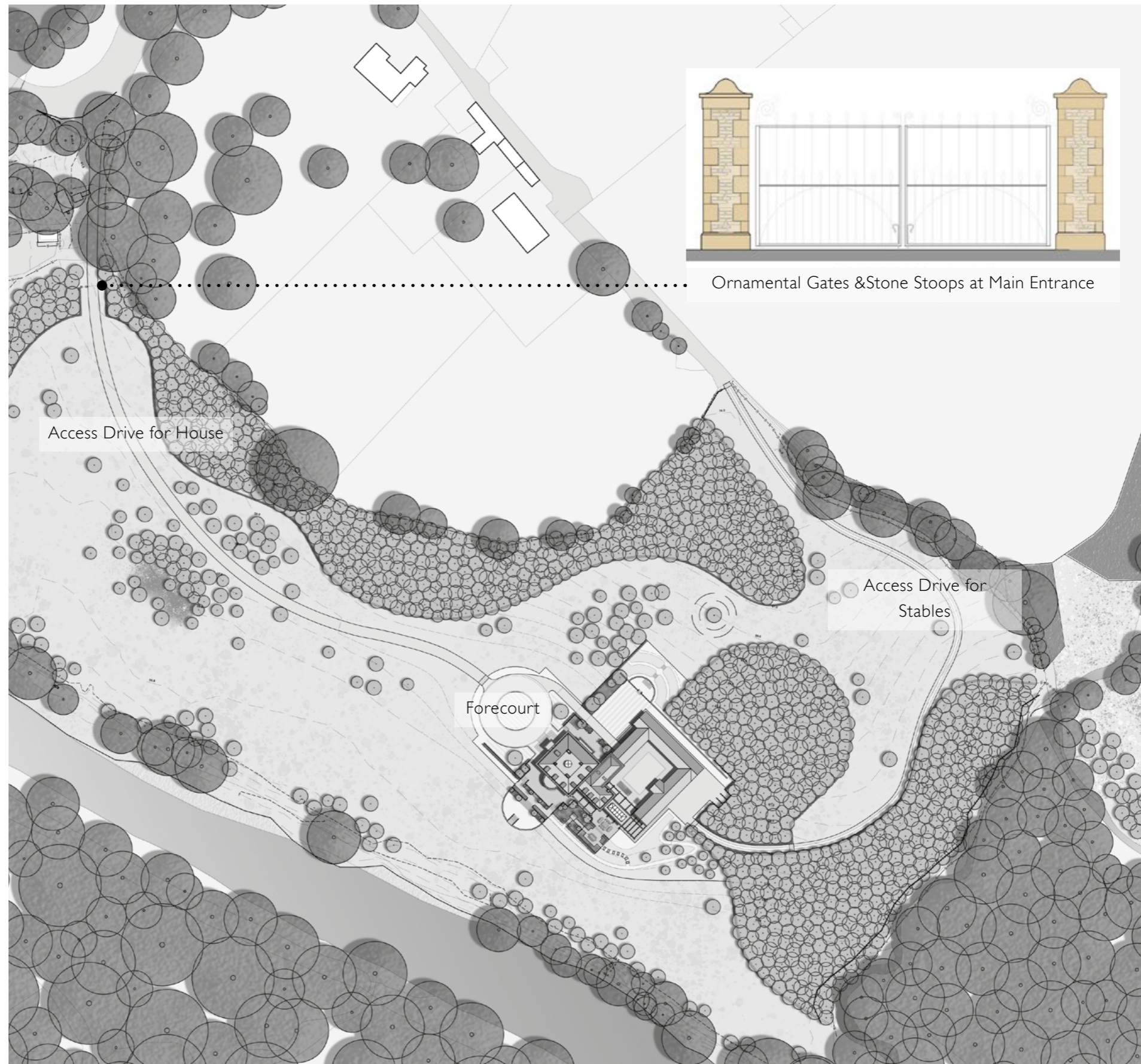
6.4 VEHICULAR ACCESS

Ornamental gates in the Georgian style will adorn the entrance of the access drive to the house. The design for the entrance gates is shown adjacent.

Like many houses within the Forest of Bowland, these refined architectural gateways will announce the presence of the house from public routes. It gives people an impression of the style of house which lies beyond the gates. The gates will be positioned to the end of the access drive North-East of the house. The proposed access drive will be long and sweeping to create a dramatic approach for vehicles as they approach the house.

The layout of the entrance forecourt enables vehicles to manoeuvre efficiently in order to exit the grounds of the property.

The connecting stable yard will have a separate access route to the rear of the house, keeping it separate from the main access drive to the property. This route will be used by service vehicles, additional tree planting will help to screen views of this track from the house and surrounding grounds.



HODDER GRANGE
PARA 80e

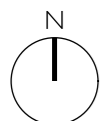
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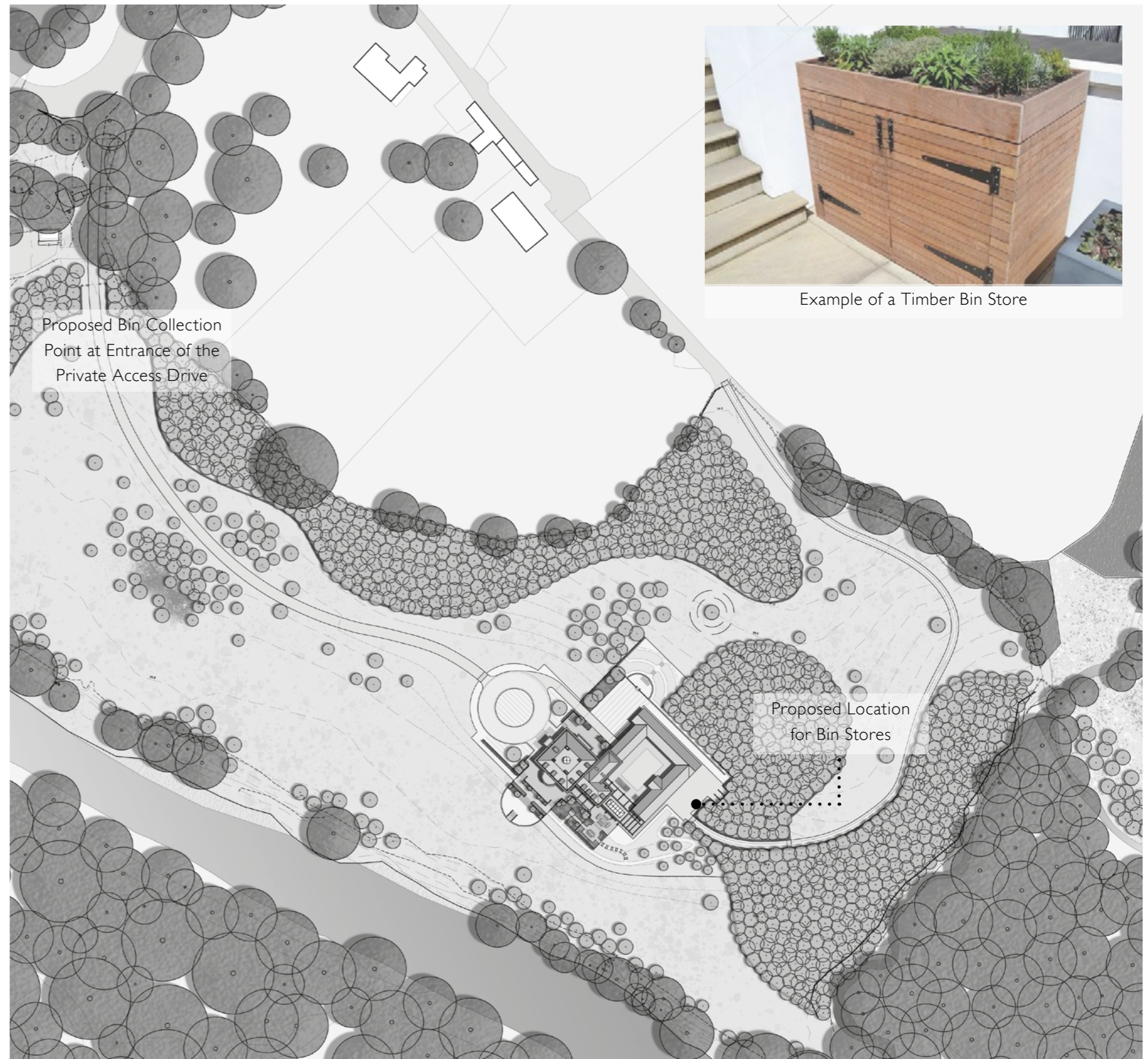


6.5 REFUSE ARRANGEMENTS

It is proposed to store household waste in timber bin stores so they do not detract from the appearance of the house and setting of the site. These bin stores will also provide the residents with a fixed place to store their waste ready for collection.

Due to the length of the proposed private access drive, refuse vehicles will not be able to come to the property to collect the bins. Instead, the bins will be left by the entrance gates so refuse vehicles can access them on the collection days.

Examples of how refuse stores can be stored are shown adjacent. The adjacent site plan shows the proposed position of the timber bin stores.



Example of a Timber Bin Store

6.6 INTEGRATED SUSTAINABLE SYSTEMS

The proposal will incorporate innovative technologies, demonstrating how high-quality architecture can have a positive environmental impact and how the landscape and setting influences the principal design. Passivhaus Plus has been considered from the very beginning and the exacting requirements of this energy-efficiency standard have been incorporated into the design through energy-producing technologies, construction methods and built form. As such, the new dwelling will not only have an extremely high standard of energy efficiency, but it will also represent a unique example of how to achieve this in a traditional country house of this size.

The site borders the River Hodder where flooding can occur at the lower levels of the site. Currently, water run-off exacerbates the flooding in this section of the river and as such, it constitutes a site where flooding could be reduced and bring wider benefits to the areas surrounding the River Hodder. Advice has been taken from hydrologists on how to significantly reduce the water run-off and provide storage on site in the event of extreme weather conditions. A host of water management enhancements have therefore been incorporated into the design such as swales, retention ponds, tree planting, water recycling and SUDS, thus exceeding the requirement for surface water run-off into the Hodder whilst bringing many ecological, landscape and architectural benefits. The water management is an integral part of the whole design and impacts every part of the proposal.

The collective contribution of the house, its landscape design and environmental enhancements is an excellent example of 'the whole is greater than the sum of the parts'.



HODDER GRANGE
PARA 80e

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6.7 DRAINAGE STRATEGY



6.8 UTILITY SUPPLIES



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6.9 LIGHTING STRATEGY_PRECEDENTS

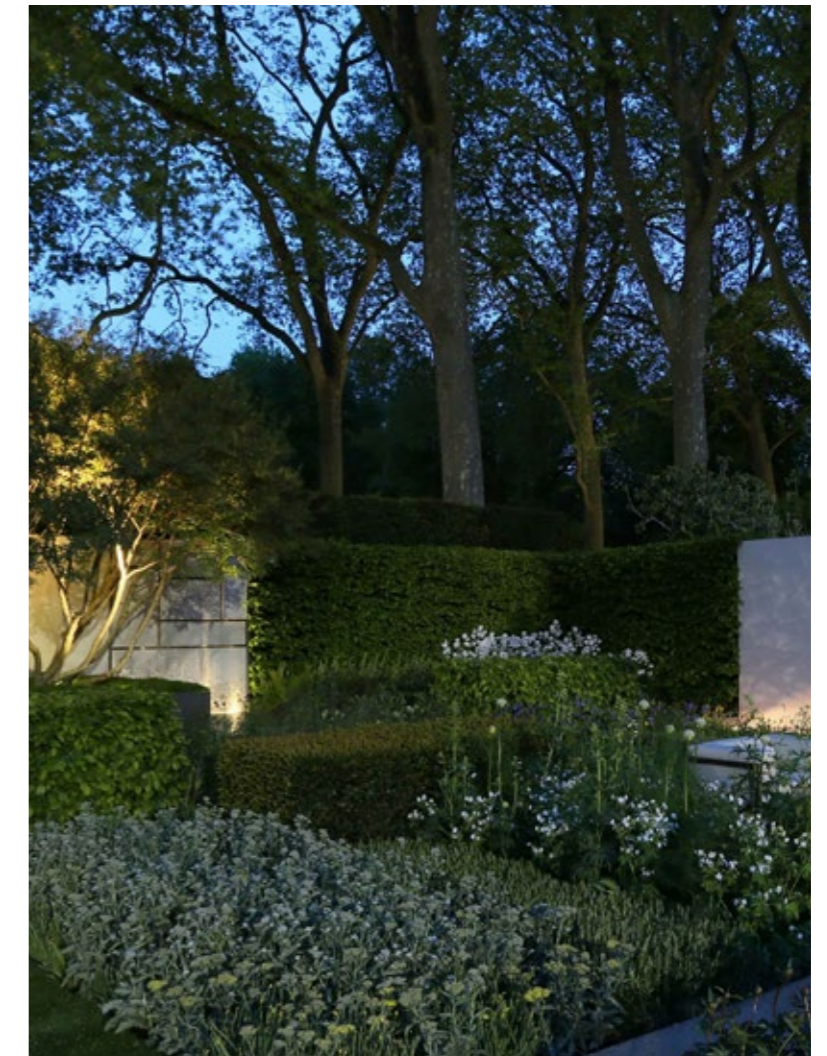
Situated in an AONB and isolated in the open countryside with beautiful views of the sky during the hours of darkness, inadequately considered and inefficiently utilised lighting can cause unnecessary light pollution. From upward light or too much indirect reflected light, careful design are essential for mitigating obtrusive light, spill light, glare, light trespass and sky glow.

With careful consideration to the factors above, along with the impact on the surrounding ecology, the concept lighting scheme has been designed to be low key and purposeful, whilst minimising its' effects on the surrounding environment.

The proposed strategy is designed to subtly provide task lighting and to aid wayfinding through exterior space. Careful consideration to the application and proposed specification of lighting to each area was given, whilst ensuring the balance of its necessity, form and function.

The exterior lighting is to be fully integrated with the interior lighting schemes, control of each lighting element with dimming, switching, time clocks, photocells and PIRs is essential.

The images adjacent illustrate the desired aesthetic and allude to the types of lighting proposed at Hodder Grange.



6.10 HODDER GRANGE LIGHTING STRATEGY DESIGN CONSIDERATIONS

Exterior Lighting

Arrival Forecourt

- Subtle approach carefully defining the forecourt boundaries with low level features
- Deep recessed downlights closely offset from the front door, accents the main entrance & provides task lighting with a controlled pool of light

Terraces

- Discreet, low key navigation lighting & localised task based lighting
- Surface/recessed wall lights provide soft, low level illumination to depict the start & end of level changes, accentuating the steps

Stable Courtyard

- Minimal low to mid level illumination

Family Terrace & Dining

- High level wall/surface downlights providing concealed dappled lighting to the loggia

Orchard & Walkways

- Spotlights mounted within the trees create functional, soft, dappled pools of light
- Low profile floor marker lights to aid wayfinding
- Warm, white spectrum of 2700K-3000K to be used to reduce the impact on wildlife

Working Yard

- Task lighting with focus on safety

Interior Lighting

Hodder Grange

- Traditional & sympathetic lighting scheme designed to enhance the architectural features



SUMMARY

HEADLINES

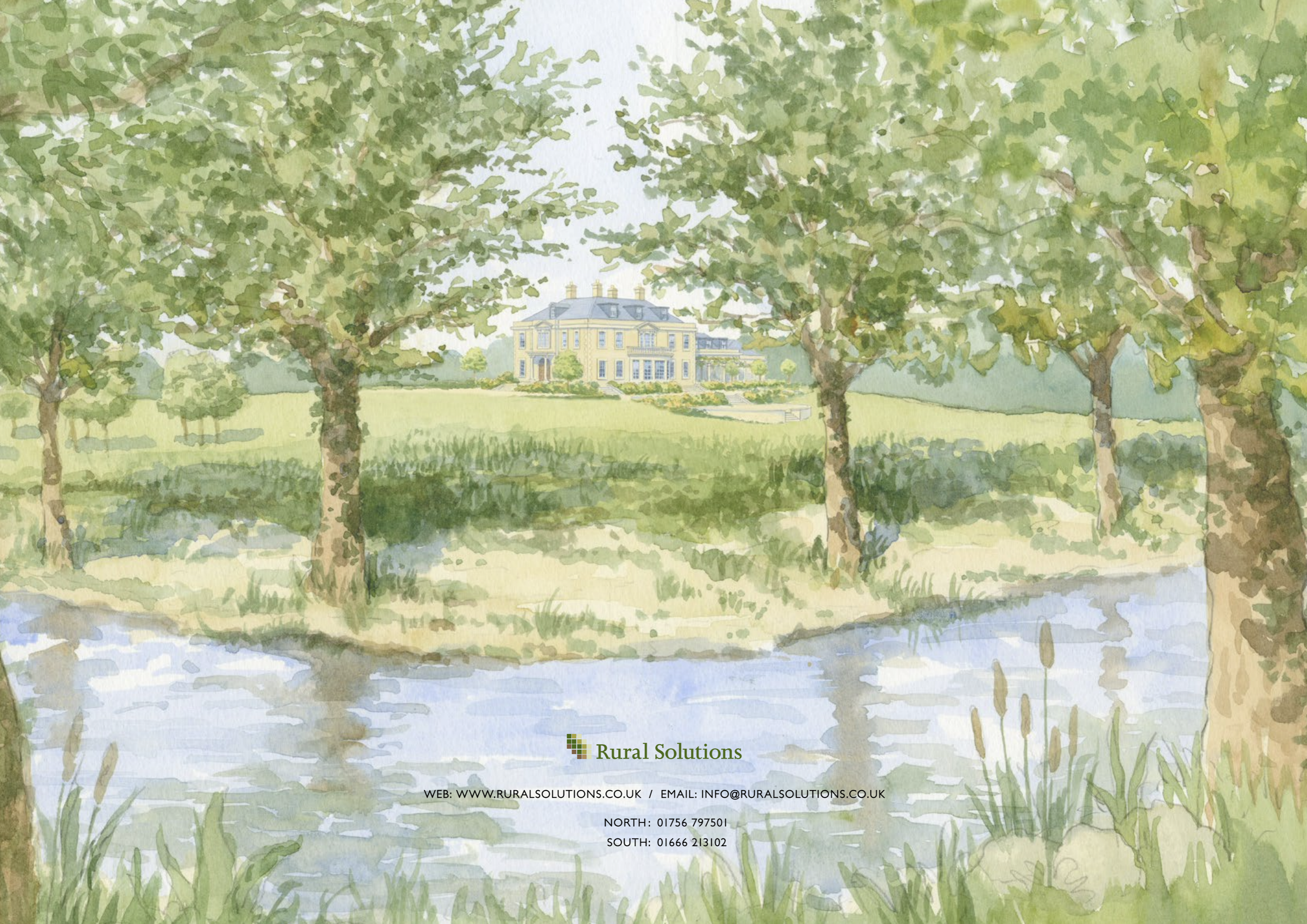
- To design a new private country residence for Mr & Mrs Bell who wish to continue to live in the area & enjoy the countryside whilst managing the wider site
- To design the first Passivhaus Plus new build property in the North West & the first classically designed Passivhaus Plus property in the world
- To bring significant ecological & environmental benefits to the wider landscape (to deliver an outstanding array of enhancements to the site of which the new traditional house is the centre-point)
- To create a dwelling of exceptional design
- To take a holistic approach that demonstrates the integration of disciplines within the site, breaking down the barriers between architecture, landscape architecture, ecology & biodiversity, sustainability & water management
- To design a traditional dwelling rooted in the history of the area, that embodies the best traditional architecture prevalent in the Forest of Bowland whilst responding to the practical needs of a country estate
- To understand the importance of isolated country houses & farms in the Forest of Bowland
- To utilise the key views of the surrounding landscape and mature woodland from the site, through the positioning & design of the property which will enrich the relationship & frame views of the new dwelling within the existing landscape

SITE PARAMETERS

- To reflect on historic architectural styles & houses of the area such as Browsholme Hall
- Higher Hodder Bridge is Grade II Listed
- Site is located within the Forest of Bowland AONB
- Study shows a deep historical & cultural understanding of the local area & explains in detail, providing numerous local examples, that a substantial number of country houses in the wider Forest of Bowland exhibit a pure classical Georgian style, & embody the principles of Palladian design, symmetry, order & balance

DESIGN SOLUTIONS

- The simple & unostentatious architecture of the Georgian era is exemplified in this 21st Century dwelling in an honest & sensitive way whilst also bringing significant positive impact both in environmental & landscape terms, developed in response to analysis of an in-depth study of the tradition of country houses in The Forest of Bowland, the Ribble Valley, Lancashire & England resulting in a traditional form & architectural typology - an exemplar of classical architecture based upon the Georgian country villa
- To ensure the design of the property is exceptional & reflects the highest standards in architecture to help raise standards of design in rural areas
- Ensured the proposal is sensitive to the defining characteristics of the local area & designations of the site & landscape
- Exploration of form, materiality & innovative technologies combined with wider expertise to create an exemplar Passivhaus Plus classically designed home



 Rural Solutions

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SOUTH: 01666 213102



HODDER GRANGE
PARAGRAPH 80e
DRAWING PACKAGE

MR & MRS BELL
NOVEMBER 2021
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| AUTHOR | VERSION | CHECKED | DATE | DESCRIPTION |
|--------|---------|---------|------------|---------------------------------|
| SF/RC | REV - | | 16/09/2021 | DRAFT |
| SF/RC | REV A | | 28/09/2021 | FOR PLANNING SUBMISSION |
| SF/RC | REV B | | 16/11/2021 | REVISED FOR PLANNING SUBMISSION |



LOCATION PLAN 1:1250 @ A1

HODDER GRANGE
PARAGRAPH 80e

KEY

- Site Boundary
- - - Domestic Curtilage

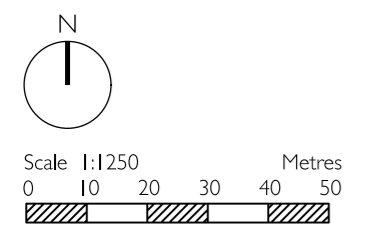
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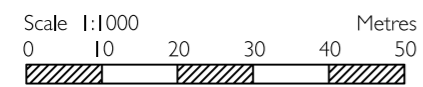
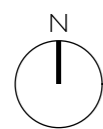
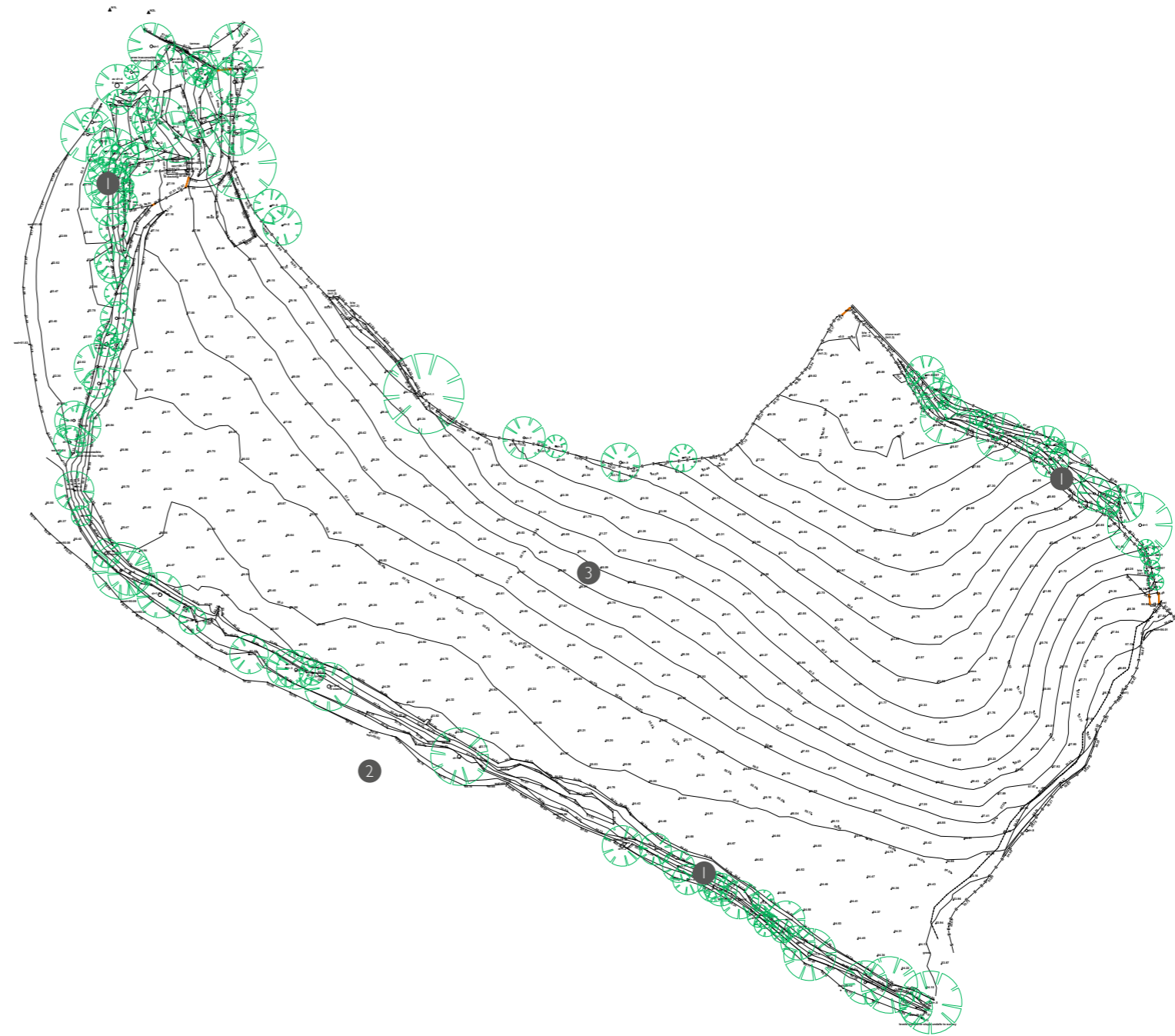
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KEY

- 1 Trees
- 2 River Hodder
- 3 Contours



SITE PLAN_AS PROPOSED 1:500 @ A3

HODDER GRANGE
PARAGRAPH 80e

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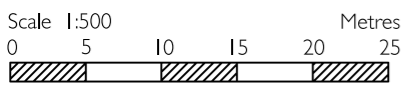
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- KEY
- 1 House Arrival
 - 2 Hodder Grange
 - 3 Formal Terrace
 - 4 Formal Lawn
 - 5 Stables
 - 6 Stable Courtyard
 - 7 Family Terrace & Dining
 - 8 Orchard & Mown Walkways
 - 9 Deciduous Woodland
 - 10 Hedgerow Planting
 - 11 Working Yard
 - 12 Proposed Parking



GROUND FLOOR PLAN_AS PROPOSED 1:200 @ A3

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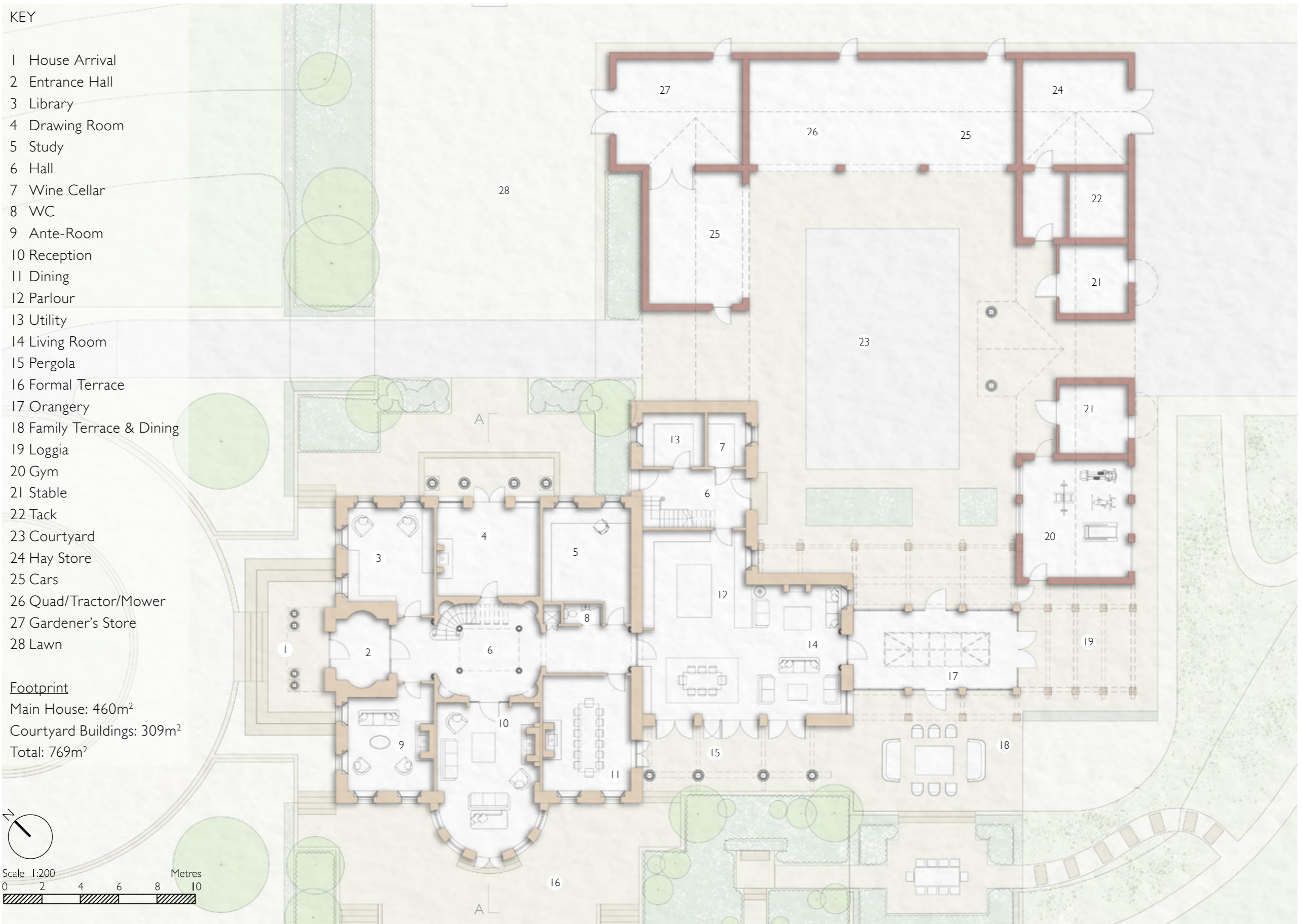
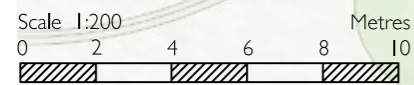
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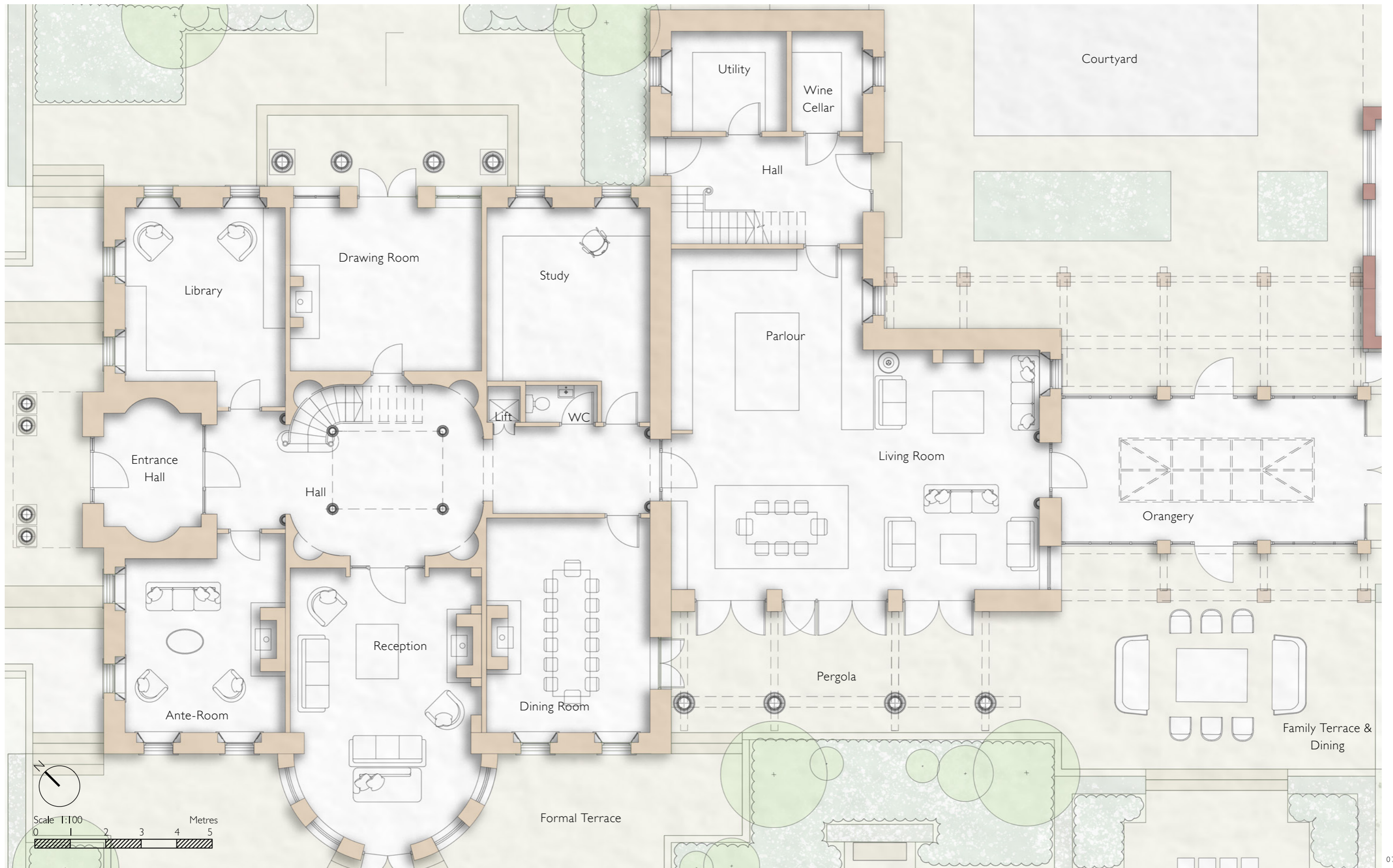
KEY

- 1 House Arrival
- 2 Entrance Hall
- 3 Library
- 4 Drawing Room
- 5 Study
- 6 Hall
- 7 Wine Cellar
- 8 WC
- 9 Ante-Room
- 10 Reception
- 11 Dining
- 12 Parlour
- 13 Utility
- 14 Living Room
- 15 Pergola
- 16 Formal Terrace
- 17 Orangery
- 18 Family Terrace & Dining
- 19 Loggia
- 20 Gym
- 21 Stable
- 22 Tack
- 23 Courtyard
- 24 Hay Store
- 25 Cars
- 26 Quad/Tractor/Mower
- 27 Gardener's Store
- 28 Lawn

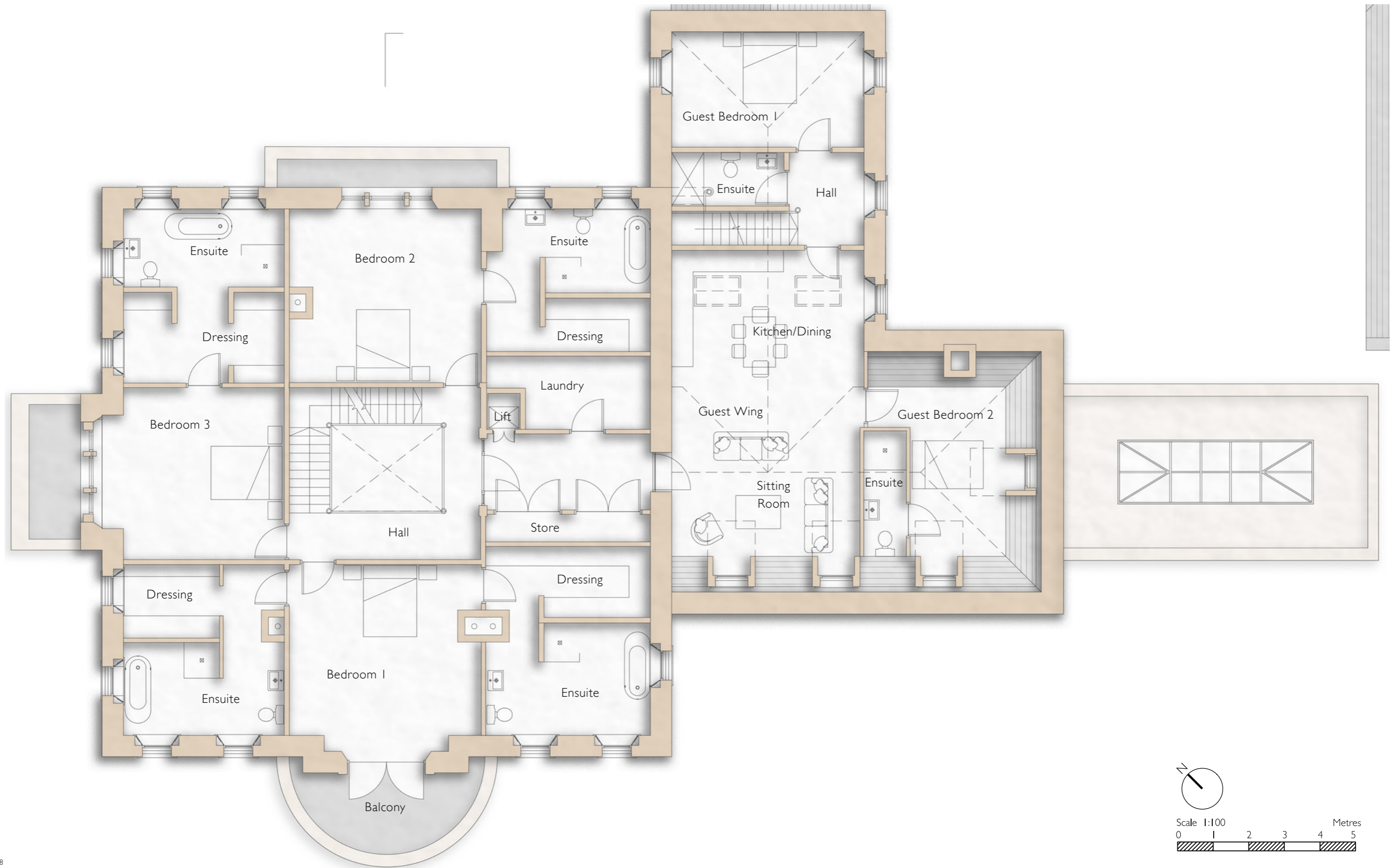
Footprint

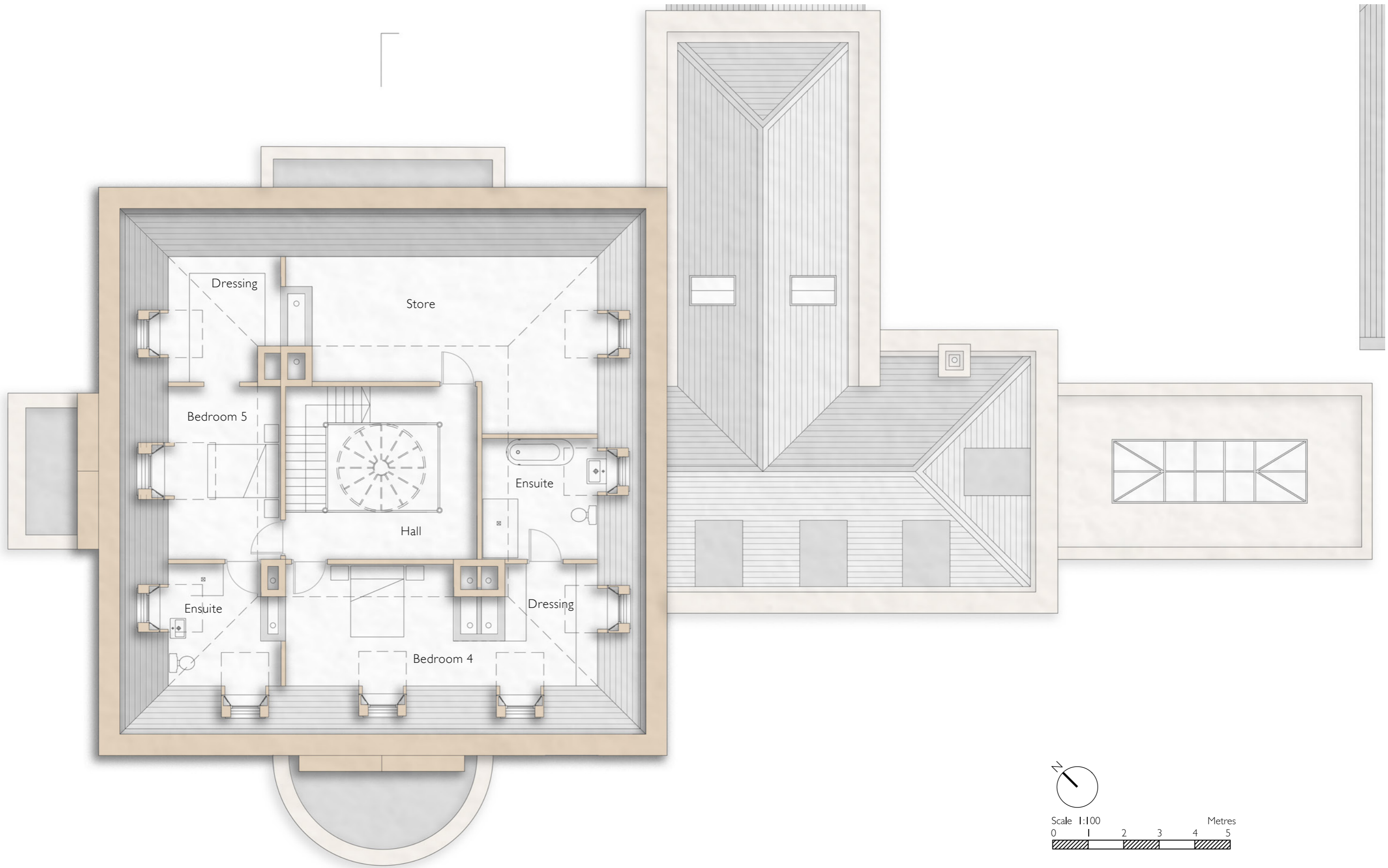
Main House: 460m²
Courtyard Buildings: 309m²
Total: 769m²





FIRST FLOOR PLAN_AS PROPOSED 1:100 @ A3





NORTH WEST ELEVATIONS_AS PROPOSED 1:500 & 1:125 @ A3



SOUTH WEST ELEVATIONS_AS PROPOSED 1:500 & 1:125 @ A3

HODDER GRANGE
PARAGRAPH 80e

DRAWING PACKAGE

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NOVEMBER 2021

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Scale 1:500 Metres
0 5 10 15 20 25



Scale 1:125 Metres
0 1 2 3 4 5

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Scale 1:500 Metres
0 5 10 15 20 25



Scale 1:125 Metres
0 1 2 3 4 5

SOUTH EAST ELEVATIONS_AS PROPOSED 1:500 & 1:125 @ A3

HODDER GRANGE
PARAGRAPH 80e

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Scale 1:500 Metres
0 5 10 15 20 25



Scale 1:125 Metres
0 1 2 3 4 5

SOUTH WEST COURTYARD ELEVATIONS_AS PROPOSED 1:500 & 1:125 @ A3



Scale 1:500 Metres
0 5 10 15 20 25



Scale 1:125 Metres
0 1 2 3 4 5

NORTH EAST COURTYARD ELEVATIONS_AS PROPOSED 1:500 & 1:125 @ A3

HODDER GRANGE
PARAGRAPH 80e

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Scale 1:500 Metres
0 5 10 15 20 25



Scale 1:125 Metres
0 1 2 3 4 5

NORTH WEST COURTYARD ELEVATIONS_AS PROPOSED 1:500 & 1:125 @ A3



Scale 1:500 Metres
0 5 10 15 20 25



Scale 1:125 Metres
0 1 2 3 4 5

SECTION_AS PROPOSED 1:100 @ A3

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Scale 1:100 Metres
0 1 2 3 4 5

VIEW OF THE PROPOSAL FROM RIVER HODDER

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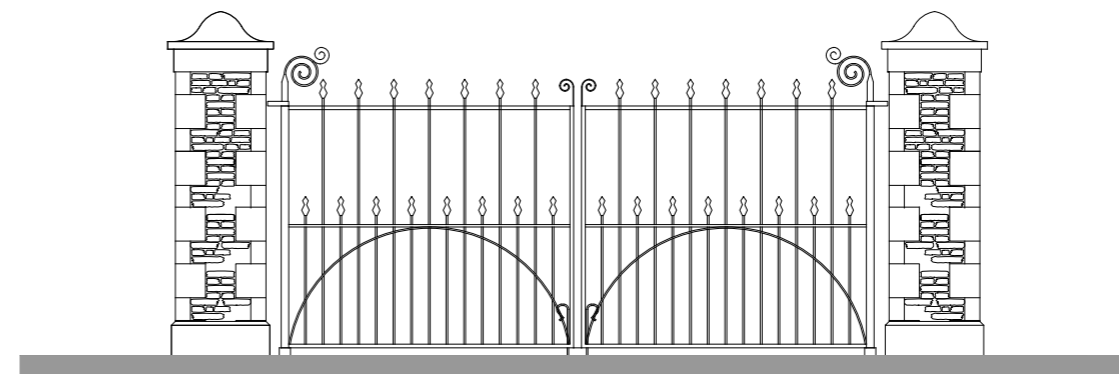
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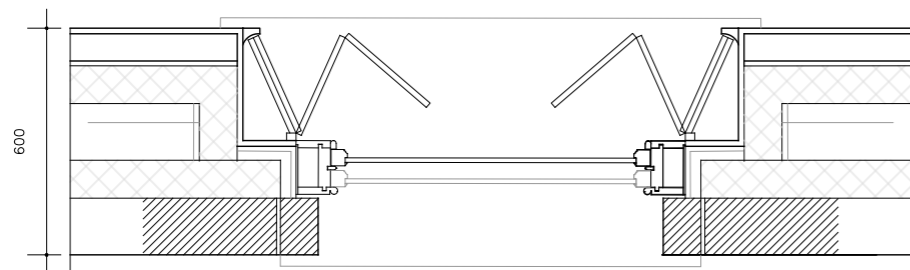




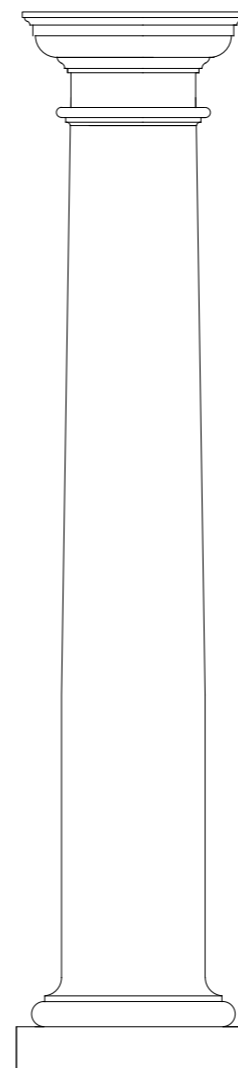
Entrance, Front Door & Tripartite Window 1:50



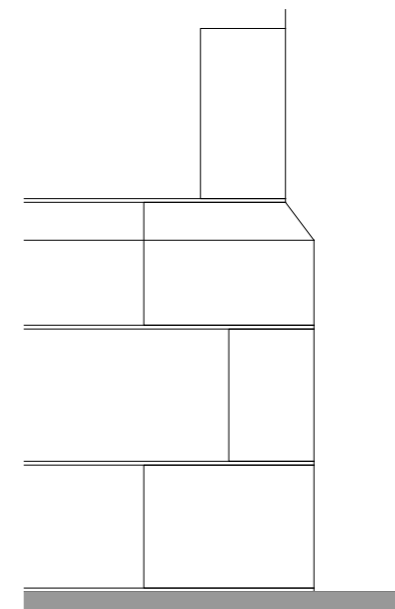
Entrance Gates 1:50



Plan of Sash Window 1:20



Tuscan Column 1:20



Stone Plinth 1:20

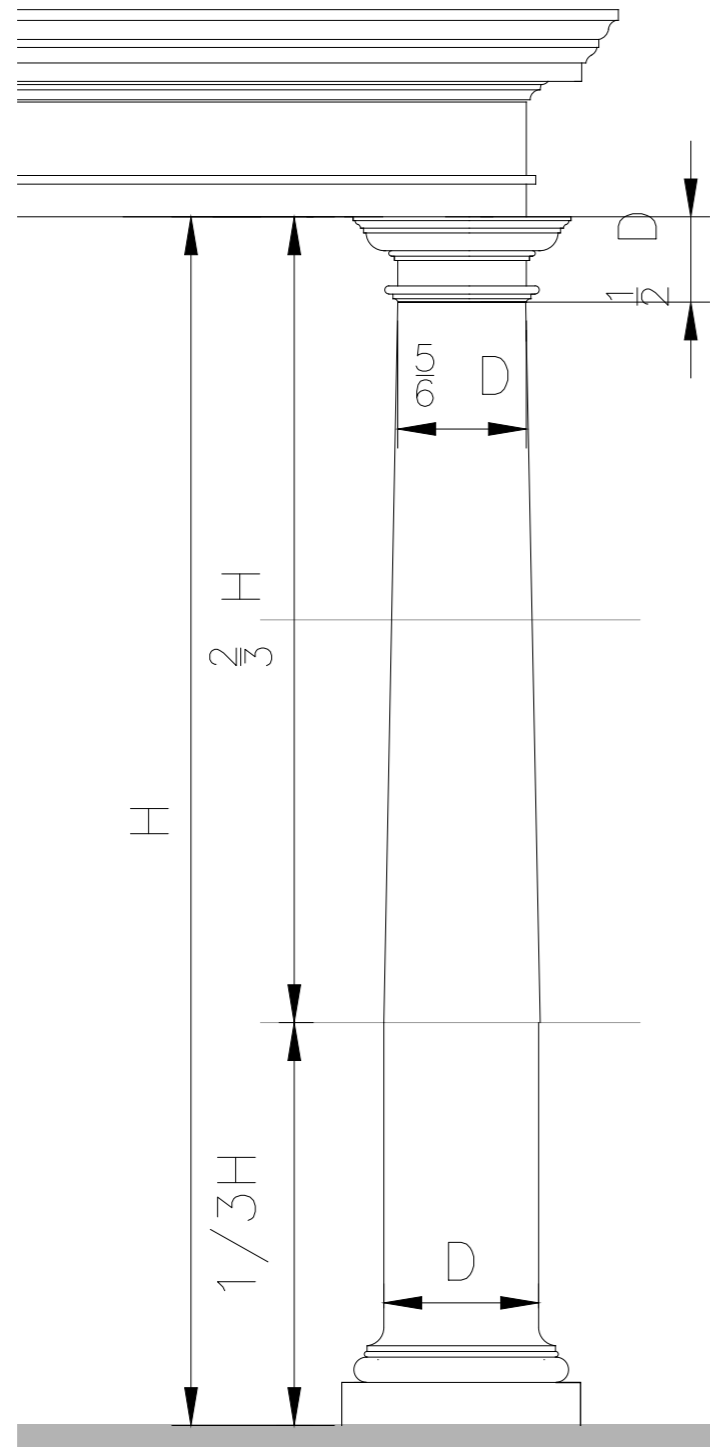
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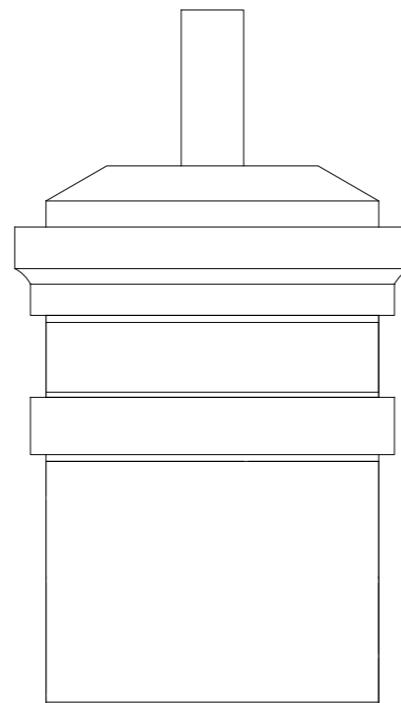
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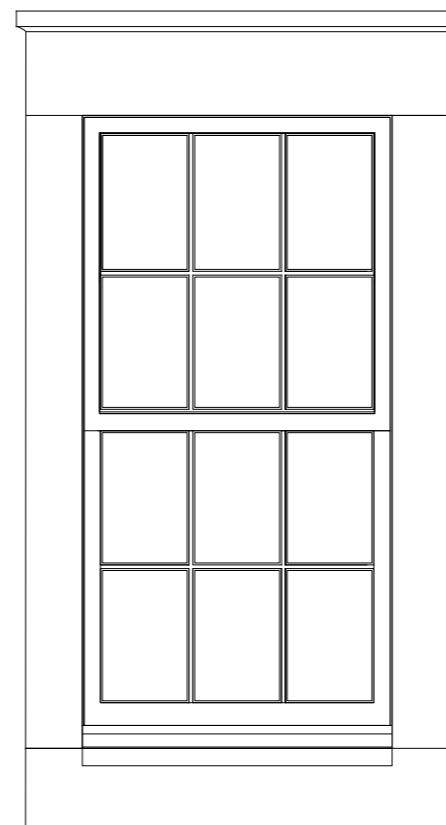
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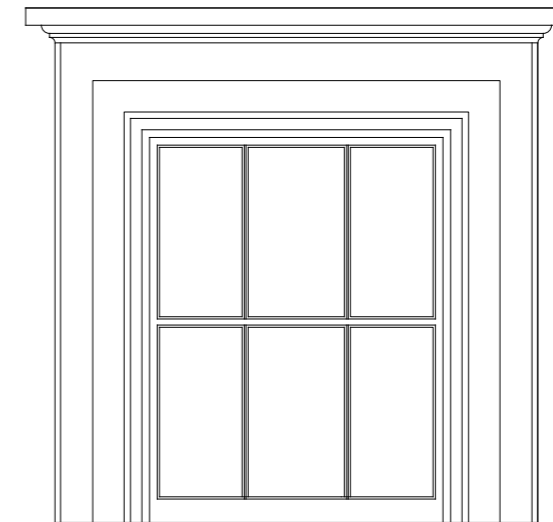
Doric Order Stone Column 1:20



Elevation of Chimney 1:20



Sash Window 1:20



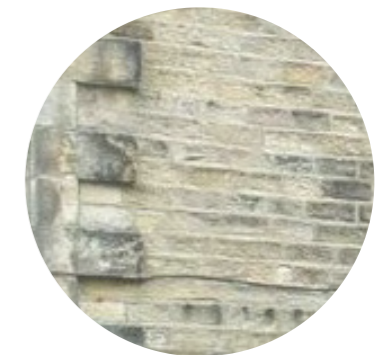
Dormer Window 1:20



Stone Entablature 1:20 (see below)



Reference to the parapet & cornice detail at
Downham Hall, Clitheroe (Grade II * Listed)



Reference to the projecting quoins at Whins
Hall, Sabden (Grade II Listed)

INTERNAL GEORGIAN ARCHITECTURAL DETAILS 1:20 & 1:5 @ A3

HODDER GRANGE
PARAGRAPH 80e

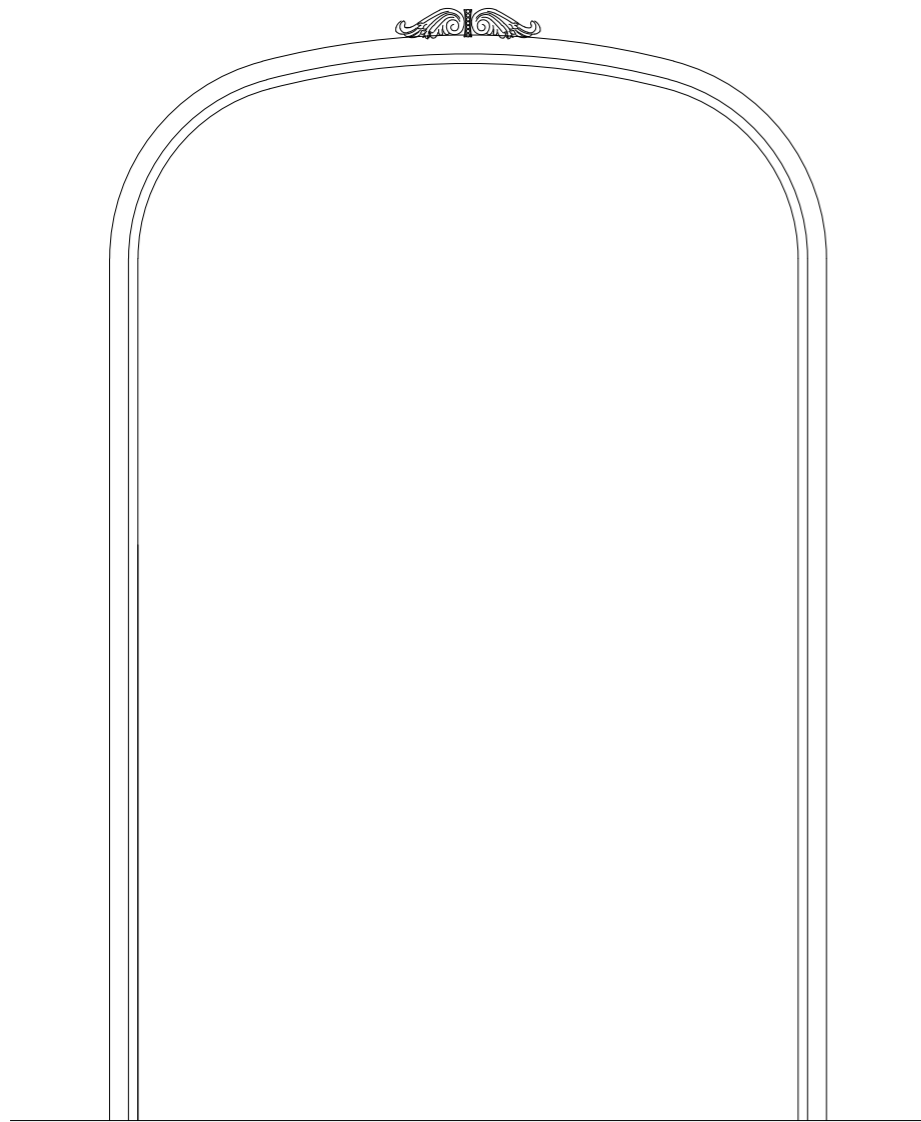
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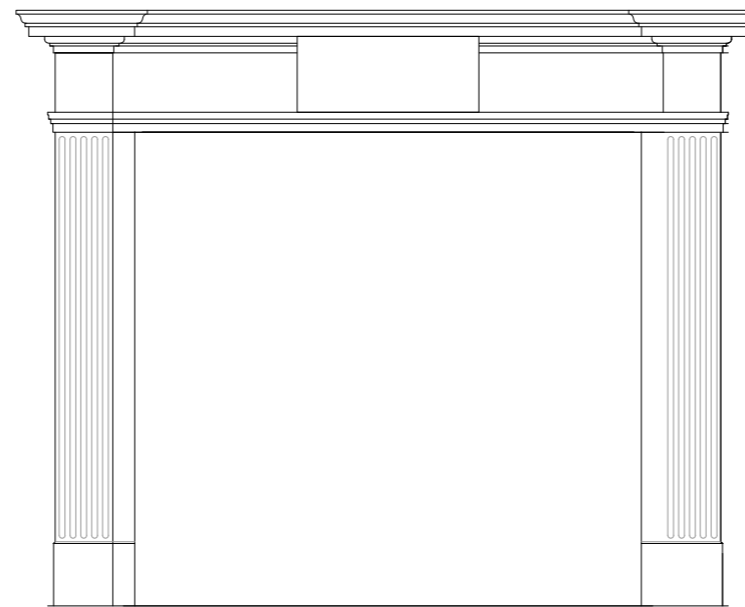
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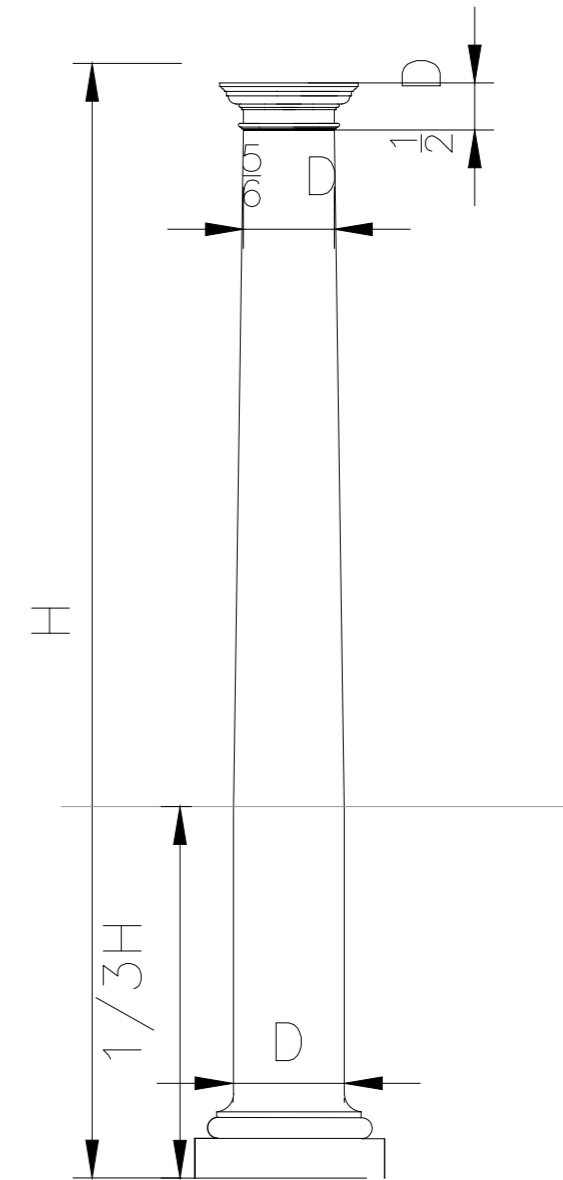
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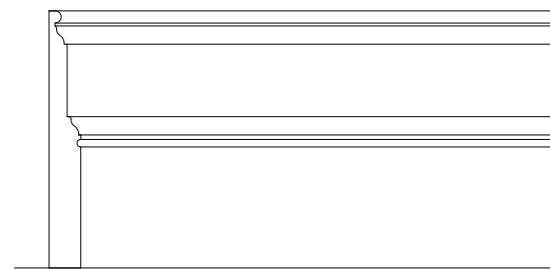
Internal Arch 1:20



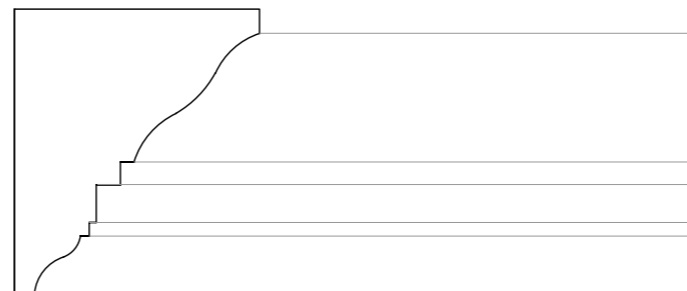
Fireplace 1:20



Doric Order Stone Internal Column 1:20



Skirting Board 1:5



Coving 1:5

LANDSCAPE MASTERPLAN

DRAWING PACKAGE

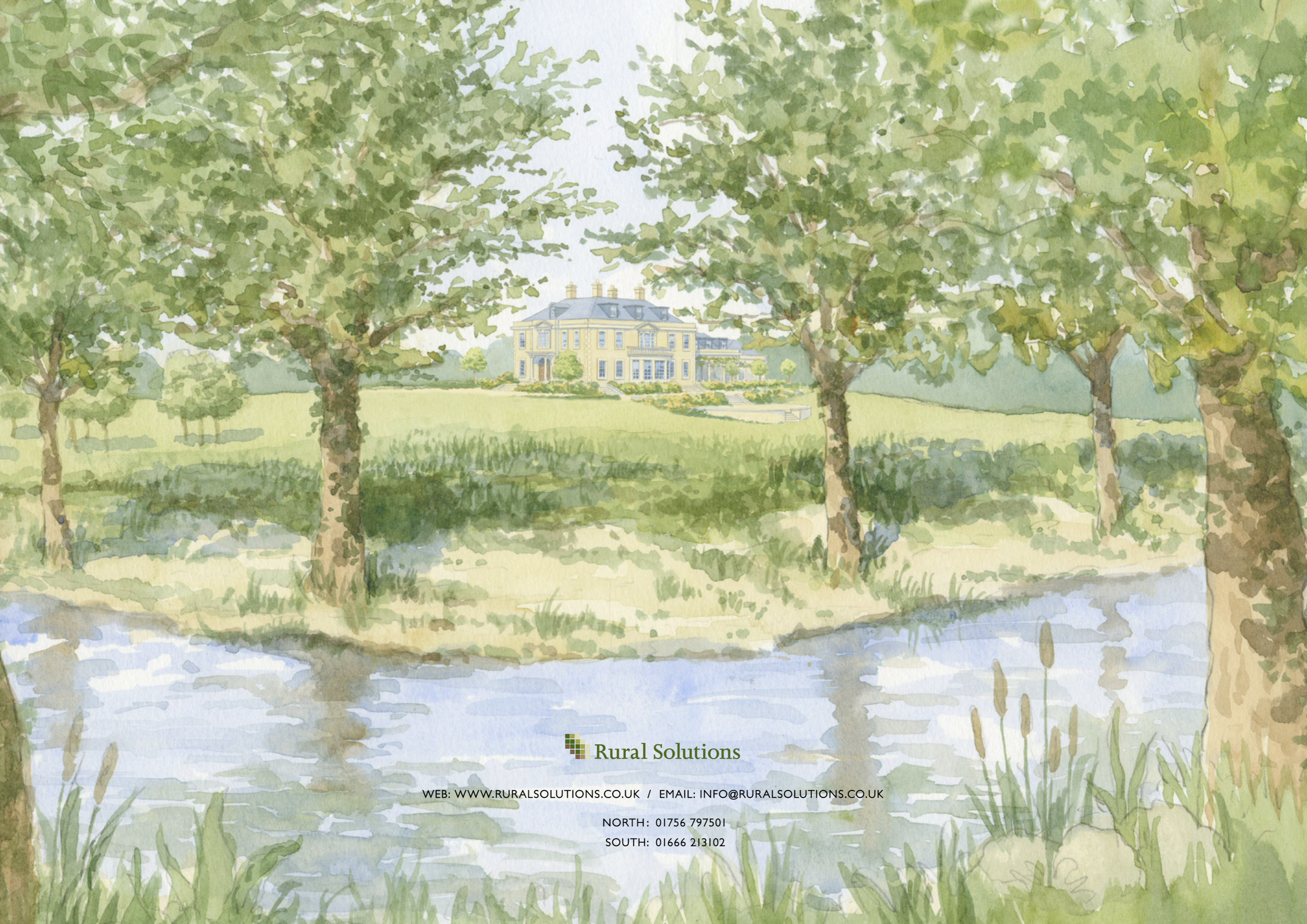
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